

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 12/12/2017  
Agenda Item: 3**

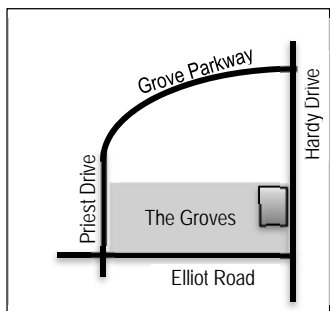
**ACTION:** Request for a Development Plan Review for a new 88,089 square foot commercial building for AT HOME, located at 1050 West Elliot Road. The applicant is Parkway Construction.

**FISCAL IMPACT:** There is no fiscal impact on City funds.

**RECOMMENDATION:** Approve, subject to conditions

**BACKGROUND INFORMATION:** AT HOME (PL170305) is located within the Groves Commercial Development on the north side of Elliot Road. The property is zoned PCC-2 and is located in the Southwest Overlay District. There is an existing vacant building attached to the east end of other tenants within the center. The proposed project would remove the existing building and replace with an 88,089 s.f. building that expands both north and south of the existing building footprint. The proposed building height increase from 40 to 47 feet is to accommodate a pitched roof element on the south, front side of the building; the remainder of the building is approximately 31 feet to the top of the parapet. The request includes the following:

1. Development Plan Review including site plan, building elevations, and landscape plan



Existing Property Owner	Pacific Castle Groves LLC, c/o Vestar Properties Inc.
Applicant	Michael Solis, Parkway Construction
Zoning District	PCC-2, Southwest Overlay District
Gross / Net site area	4.98 acres
Total Building Area	88,089 s.f.
Lot Coverage	41% (50% maximum allowed)
Building Height	47' on south elevation (65' maximum allowed in SOD)
Building Setbacks	257' south front, 0' west side, 100' east side, 63' north rear (0' front, 0' common wall side, 0' street side, 30' rear min.)
Landscape area	17% (15% minimum required)
Vehicle Parking	260 spaces (294 min. required retail, 36 required for furniture retail, 1,117.5 maximum allowed)
Bicycle Parking	16 spaces (9 min. required for retail)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT(S):** Diana Kaminski, Senior Planner (480) 858-2391

Department Director: Chad Weaver, Community Development Director

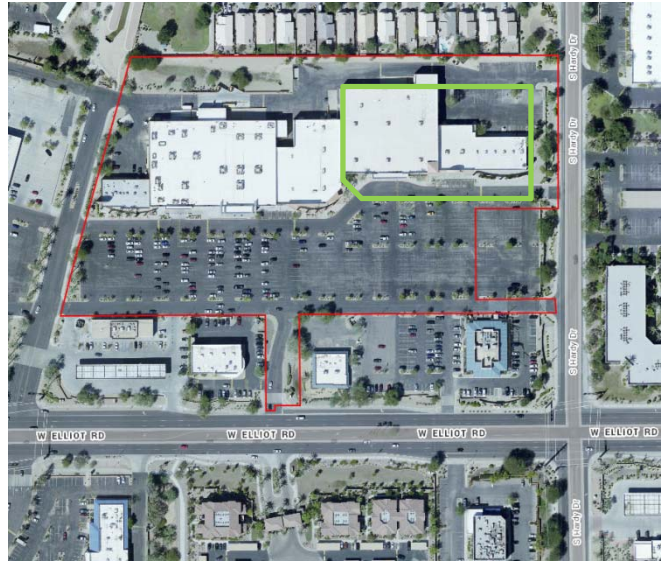
Legal review by: N/A

Prepared by: Diana Kaminski, Senior Planner

Reviewed by: Suparna Dasgupta, Principal Planner

## COMMENTS:

This site is located east of Priest Drive, adjacent to and west of Hardy Drive, on the north side of Elliot, within an existing 45-acre development of 10 commercial lots. The development is bisected by a private drive that aligns over a portion of the Highline Canal. The five-acre site is at the east end of The Groves commercial center, with R1-4 single family residences to the north, and GID general industrial uses to the east. Restaurant pads within The Groves front Elliot Road, with this site at the north end of the existing parking lot. The area was originally developed in the early 1990s with most recent activity being tenant improvements. Staples is the adjacent building to this site, Paddock Pools occupied a portion of the existing building on the site. The proposed development would remove the outlined buildings and replace with a building in approximately the area of the box. This modification would push the building both north and south of the existing structure and require relocation of one driveway on Hardy further south. This request includes the following:



1. Development Plan Review which includes: site plan, landscape plan and building design review for a single-story 31' tall building with an architectural building element that extends to 47' tall on the south elevation at the building entrance. The proposed use is a furniture retailer within 88,089 s.f. of building area on 4.98 acres.

The applicant is requesting the Development Review Commission take action on these two items.

## PRELIMINARY SITE PLAN REVIEW

July 5, 2017 Site Plan Review Comments:

- Staff expressed a safety concern about parking spaces added behind the new building, and requested removal of these spaces.
- Building elevations were unclear in detail to materials proposed, elevation references were made for concrete masonry units (CMU) and tilt slab construction, however the material board and key notes referenced exterior insulation finish systems (EIFS) and paint. Staff referred to the design criteria for the expected level of material quality and continuity with site architectural details, recommending integral colored masonry with honed/split faced or other finishes for accent as well as pre-cast textured panels for greater architectural interest, in lieu of an all EIFS stucco product.
- Staff requested more architectural detail on the north, east and south elevations, particularly on the south, with the addition of storefront windows in character with the retail center.
- The Groves emblem, the existing arcade and architectural detail of the existing building attached to the new building had no visual continuity to the proposed building. Staff requested a visual connection to the remainder of the center.

August 23, 2017 Site Plan Review Comments:

- Provide architectural detail in masonry to match what was currently on site, the proposed building had no masonry detailing on the east or north sides of the building.
- The color elevations were warm neutral colors that tied in with the existing center, however the sample material board was six shades of grey, staff asked for clarification on the colors.
- Provide storefront windows, glass block or spandrel glazing on the south elevation for more architectural variation in the building elevation along the pedestrian frontage.
- Incorporate building architectural forms and colors from the existing center into attached building; this does not require replication, but a level of visual continuity and transition between buildings.
- Recess the south west corner of the building to match the angle of the adjacent suite, rather than create an acute angle at the seam between buildings.
- Remove parking to the north of the building and reduce the drive aisle to meet minimum fire and truck circulation

requirements. The reasons for this comment were safety concerns with adding parking to the north side of the building where no other activity occurs, quality of life for residents in not introducing parking adjacent to the north side, environmental effort to reduce the amount of paving on site and increase the landscape area, and technical provision for sufficient room for required tree buffer to the residents in an area identified with utility conflicts.

October 4, 2017 Formal Submittal Review Comments:

- Removal of parking spaces on the north side of the building. The applicant wishes to keep existing and add spaces to maintain general retail parking ratio of 1 per 300 s.f. rather than the lower parking ratio of furniture retail.
- Modification of the color on the arcade to a warmer grey that ties in more with the existing building colors and providing more variation within the grey palette of the new building. Colors were modified to include warmer tones and more material variation with three masonry colors and three masonry finishes.
- More architectural variation on the upper portion of the north elevation, which is closer to and more visible to residents to the north. Elevations were modified to address staff comments.

## **PUBLIC INPUT**

- Neighborhood meeting is not required for this request
- At the completion of this report, staff has received no calls of inquiry or concern regarding this project.

## **PROJECT ANALYSIS**

### **GENERAL PLAN & ZONING**

The site is designated Commercial Land Use in the Projected Land Use Map of General Plan 2040. The proposed redevelopment of the building will provide a new anchor tenant at the east end of the shopping center, and become a catalyst for further site improvements including future paint updates. The property is zoned PCC-2, Planned Commercial Center, and the proposed development is meeting the development standards.

### **DEVELOPMENT PLAN REVIEW**

The applicant has provided a letter of explanation for the development design.

### **Site Plan**

The site is oriented to the south, with the loading area and back of house facing north toward the residential area. The project has driveway access from Hardy Drive and will be moving the middle driveway further south with the building expansion. The new drive will closer align with the existing frontage drive to the west of this site. The northernmost drive will provide access to the loading area while minimizing conflicts with the customer parking areas. The new building will attach to the existing Staples building to the west. A new sheltered arcade will flank the main entrance to the building, providing shade for bike parking and tying back to the existing architectural forms on site.

### **Building Elevations**

The building provides a departure from the existing glass store frontages with a more protected interior for the products sensitive to sunlight and fading. The 88,000 s.f. big box furniture retail store is modeled after a corporate image including colors and the storefront double gabled entry façade, but is attached to an existing commercial center with a unified identity for The Groves development, including architectural colors, forms and details. The applicant has indicated that a recent change in ownership will trigger updates to the existing center; however, the timing and scope of these has not been determined. This building is being evaluated within the existing context as an attached anchor to the center. The front of the building faces south and incorporates a split faced CMU block arcade similar to the free-standing arcade in front of the existing buildings to the west, with the addition of an attached standing metal seam roof to provide shade to pedestrians, bike parking areas and the south face of the building for energy conservation. The design includes three colors of integral colored split face block, one plain faced and two honed surface block finishes to add texture within the masonry walls. The metal roof elements break up the massing of the building and provide a change in materials. The entry consists of an offset gable façade made of dark grey stucco and a shadowed element of vertically mounted metal panels. The lower portion of the building is a dark grey split faced CMU and the upper portion is a beige and warm grey EIFS stucco finish in colors that tie in to the existing building architecture to the west, while updating from the existing color palette with a more contemporary look.

The west side of the building is attached to the adjacent building with a fire rated wall. The east side faces Hardy Drive, and is a combination of split faced CMU and EIFS. The location of the bundle storage yard for recyclables and the screen wall to the loading bay break up the wall plane with different levels of building materials. The north elevation includes three truck bays for deliveries and exit doors. The building is an integral colored split faced CMU in a taupe color.

### Landscape Plan

The project is removing a portion of parking lot in the front of the building, and replacing landscape that is removed with that construction. Enhancements will be made along Hardy Drive to replace any dead or missing materials from the existing landscape design. The north side of the site is currently missing a significant number of trees required by the landscape buffer adjacent to single family uses. In reviewing the project, it was determined that existing electric, water and sewer utility easements may have previously overrode design approvals in fulfillment of the zoning code, to accommodate utilities. The modification to the site provides an opportunity to install a landscape buffer, with consideration for the utilities, by expanding the landscape area further south, similar to what occurs at the west end of the development. As the new building is pushed further north toward the residences, staff requested removal of the 36 parking spaces to provide more landscape area that would allow trees to be planted between easements, with root barriers. The proposed species is the Bottle Tree, which is a columnar form with a light green leaf is non-deciduous. Understory plants are proposed to fill in the planting area but are not required to be a specific density. This area is visible from Hardy Drive. Desert Museum Palo Verde, Desert Willow and Hybrid Mesquites are proposed along the east side of the site, and Evergreen Elms are proposed within the landscape islands on the south side. A 10' screen wall adjacent to the loading dock will have tombstone rose trellised to visually break up the wall, smaller plants providing color and texture are proposed in front of the trellises. The entry drive is enhanced with landscape that wraps the southeast corner of the building in front of an arcade wall. This planting area screens the storage yard walls from view.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the building expands from the existing building footprint to align on the south side with the building to the west, and expands north. The site is behind a freestanding pad building located on the Elliot frontage, and is significantly set back from the property line. The streetscape is predominantly the view from the field of parking, which is enhanced with new landscape islands and the shaded arcade along the building front.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the proposed design uses a combination of dark and light colors, with the darkest portion of the building shaded by the arcade along the front, or separated from the building as part of the screen walls on the east. There are limited windows to add to interior heat gain and landscape has been added to enhance shade within the area surrounding the building.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings*; the proposed design utilizes a variety of materials, including four colors of EIFS stucco, three colors of CMU block, standing metal seam roof and a metal panel system at the entry; the materials provide variety while complementing the existing commercial center and appropriate to the surrounding quality of development.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings*; the building is proposed to be taller at the entry, but in scale to the surrounding commercial structures. The landscape is used around the perimeter, within the parking areas and adjacent to the east wall to create a layering of vegetation.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level*; the building masses are broken up with changes in color and material, with limited change in horizontal plane. The use of the arcade provides a sense of rhythm that visually draws the eye across the front of the structure and ties it to the remaining buildings to the west.

6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* the site's greatest visibility is the eastern elevation along Hardy Drive, there is more architectural variety than the existing building provided.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* there is an existing bus stop to the north of the site, adjacent to the residences and there is bus service along Elliot Road, the new building does not change the infrastructure of the larger development, and therefore does not impact access to transit.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* the site utilizes the existing parking in front of the business and to the east side of the business. The proposed parking in the rear is neither conducive for public parking nor ideal for employee parking for pedestrian access, and potential noise to the residents to the north from car alarms or radios or car doors.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* the proposed building has limited natural surveillance of the area with limited fenestration to the building. Access is controlled and the introduction of a new anchor tenant will support more activity at the end of the center with enhanced maintenance from the new owners.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* landscape is provided for shade in the parking areas, for the required buffer to the residences, enhancement of the street side, as well as along the eastern side of the building, to soften the building wall adjacent to the loading dock and enhance the drive entry view of the building corner.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located;* signage has been considered with the elevation design and will be submitted for separate review and approval.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.* Lighting will meet code requirements and have been conditioned to prevent glare to the residences to the north.

#### **REASONS FOR APPROVAL:**

1. The project meets the General Plan Projected Land Use for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions.

#### **DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:**

##### **General**

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations dated October 16, 2017 and landscape plan dated October 16, 2017. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. Art in Private Development (AIPD) is required. The developer has chosen to contribute to the AIPD fund for arts in Tempe. Contact the Community Services Arts & Culture Division, Public Art Director Rebecca Rothman, regarding implementation of this requirement prior to receiving building permits.

## Site Plan

3. Provide service yard and mechanical yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. Locate electrical service entrance sections inside the service yard, as indicated.
4. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
5. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
6. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
7. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

## Building Elevations

8. The materials and colors are approved as presented:
  - Roof – flat with parapet
  - Roof elements/accents (R1) – Standing Seam Metal with integral color prefinished Zinc Gray
  - Roof elements/accents (R2) – Standing Seam Metal with integral color prefinished Shasta White
  - Primary Building (CB)– Split Faced CMU Old Castle - *Colonial White* (gray)
  - Building Banding (CB2)– Smooth Faced CMU Old Castle - *Colonial White* (cool light gray)
  - Secondary Building and Arcade (CE)- Split Faced CMU York - *Ash* (warm medium gray)
  - Building Banding (CE2) - Smooth-faced CMU Honed CMU York - *Ash* (warm medium gray)
  - Tertiary Building (CF) - Split Faced CMU York - *Slate Gray* (cool dark gray)
  - Building Banding (CF2) – Honed CMU York - *Slate Gray* (cool dark gray)
  - At Home House Form and Building Accent (E1) – Integral colored EFIS Dryvit System Sandblasted Finish - Dark Gray
  - At Home House Form and Building Accent (E2) – Integral colored EFIS Dryvit System Sandblasted Finish – Light Gray
  - Building Accent (E3) – Integral colored EFIS Dryvit System Sandblasted Finish – Pure Cream
  - Paint (P2) - Sherwin Williams – Light Gray
  - Paint (PA) – Dunn Edwards – Crisp Muslin (off-white)
  - Paint (PB) – Dunn Edwards – Play on gray (light warm gray)
  - Paint (PE) – Dunn Edwards – Calico Rock (medium warm gray)
  - Paint (PF) – Dunn Edwards – Iron-ic (dark warm gray)
  - Windows – Kaweer system storefront - Anodized aluminum frame
  - Glazing – Insulated clear glass (tempered glass shall be replaced with laminated glazing per condition 13 below)
  - Trim and overhead doors - Painted metal to match adjacent walls

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.
9. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
10. Conceal roof drainage system within the interior of the building or within architectural elements on the exterior that fully screen the gutters.
11. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where

exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.

12. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
13. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

### Lighting

14. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.
15. Provide fully shielded or recessed fixtures on the north side of the building to prevent visual glare to residents to the north of the site.

### Landscape

16. **In the event that utilities on the north end of the site restrict the planting area necessary to provide the required landscape buffer, the drive aisle may be narrowed or parking spaces removed to increase the landscape area for provision of trees.**
17. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing.
  - d. Hardwire power source to controller (a receptacle connection is not allowed).
  - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
  - f. Provide temporary irrigation to existing landscape for period of time that irrigation system is out of repair. Design irrigation so is irrigated as part of the reconfigured system at the conclusion of this construction. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project.
18. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
19. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

### Building Address Numerals

20. Provide address numerals on the building elevation facing north and south only.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
    - 3) Internally-illuminated.
    - 4) On multi-story buildings, locate no higher than the second level.
    - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

### CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN

## EXHAUSTIVE LIST.

**SITE PLAN REVIEW:** Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

**DEADLINE:** Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

## STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

**BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

**COMMUNICATIONS:** Provide emergency radio amplification for the area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: <http://www.tempe.gov/home/showdocument?id=30871>. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.

**PUBLIC ART:** Provide public art for this development in conformance with the Art in Private Development Ordinance and ZDC Sec. 4-407 and ZDC Appendix D.

**WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: [www.tempe.gov/modules/showdocument.aspx?documentid=5327](http://www.tempe.gov/modules/showdocument.aspx?documentid=5327). Contact the Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.

**HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

## POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Refer to Tempe City Code Section 26-70 Security Plans.
- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian



environments and places of concealment.

- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

#### TRAFFIC ENGINEERING:

- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801). Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE: Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.

#### CIVIL ENGINEERING:

- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

#### SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

#### PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE: Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.

**LIGHTING:**

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

**LANDSCAPE:**

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at [www.azda.gov/ESD/nativeplants.htm](http://www.azda.gov/ESD/nativeplants.htm) . Follow the link to "applications to move a native plant" to "notice of intent to clear land".

**SIGNS:** Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to [www.tempe.gov/signs](http://www.tempe.gov/signs).

**DUST CONTROL:** Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/aq/>.

**HISTORY & FACTS:**

December 13, 1984	City Council approved a subdivision for Sanders Ranch Unit 1 (7 tracts on 182 acres) and Unit 2 (4 tracts on 75 acres, including the subject site with a regional mall designation. This initiated subsequent approvals on various lots within the development.
1985	City Council approved zoning changes for 74 acres from AG to R/O and PCC-1, in addition to General Plans of Development for Anozira at the Groves and a final subdivision Plat for the Groves, consisting of 7 tracts on 74 acres, including the subject site.
1991	City Council approved a zoning change from R/O to PCC-2 and an Amended General and Final Plan of Development for Walmart store on 13.98 acres at the northeast corner of Priest and Elliot. This approval included a variance to increase the height of the parking lot lighting. City Council approved a Final Subdivision Plat for the Groves, consisting of 11 lots on 76 acres. Later in the year, Council approved a rezoning from PCC-1, AG (public streets) and R/O to PCC-2 and an Amended General Plan of Development for a 297,250 s.f. commercial center on 27.57 acres, including a use permit for gas sales and variances (the method of entitlement used under the General Plan of Development process).
1992	Design Review Board approved five separate design cases ranging from signage and landscape to full building design on various lots within the commercial development.
1993	City Council approved an Amended and Final General Plan of Development for a restaurant with a drive through. City Council approved a rezoning and Amended and Final General Plan of Development and a Subdivision Plat.

- 1994 City Council approved an Amended and Final General Plan of Development for a restaurant on Lot 3 and a variance for a reduced rear yard setback. Between 1994 and 2004, development occurred with subsequent design entitlement approvals from the Design Review Board for each lot.
- 2004 Walmart expanded on the west end of the site, requiring amendments to the General and Final Plans of Development and received variances for east and west side yard setbacks.
- 2005 The Zoning Ordinance was adopted eliminating the General Plan of Development process. Subsequent changes to individual tenant spaces have been minimal, including signage, building paint modifications, minor landscape changes, etc.
- 2017 The proposed modification at the east end of the site is the first major site change since 2004.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review

# DEVELOPMENT PROJECT FILE

for  
AT HOME  
(PL170305)

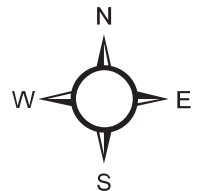
## ATTACHMENTS:

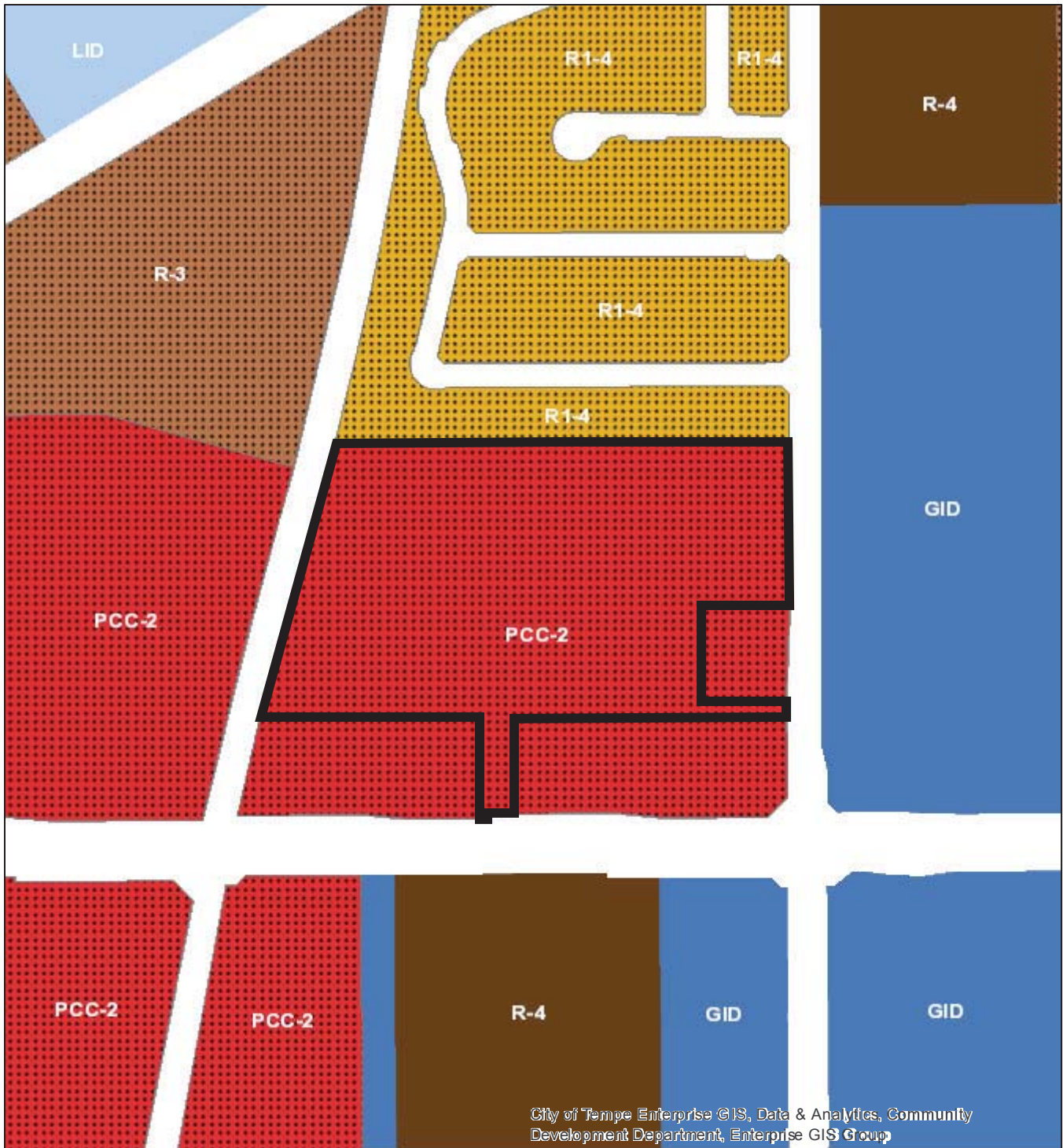
1. Location Map
2. Aerial
- 3-4. Letters of Explanation
5. Context site plan with aerial overlay
6. Site Plan
7. Landscape Plan
8. Floor Plan
9. Building Sections
- 10-11. Building Elevations
12. Street View
13. Perspective Renderings
- 14-21. Context Photos







AT HOME

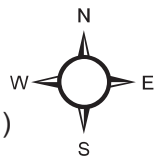


Aerial Map





- |   |  |
|---|--|
|  Light Industrial District (LID)           |  Single-Family Residential (R1-4)       |
|  General Industrial District (GID)         |  Multi-Family Residential Limited (R-3) |
|  Planned Commercial Center General (PCC-2) |  Multi-Family Residential General (R-4) |



Parkway Construction  
Michael Solis  
1000 Civic Circle  
Lewisville, TX 75067  
469.470.2016

June 23, 2017

City of Tempe – Community Development & Services Dept.  
31 East 5<sup>th</sup> Street, Garden Level  
Tempe, AZ 85281

**At Home – Tempe, Arizona  
Development Plan Review –Letter**

Our project is a retail building located in zoning district PCC-2. Our goal is to demolish the previous existing retail buildings located at 1020 and 1050 W Elliot Rd, Tempe, AZ 85284.

We intend to build an At Home retail building replacing the previous building footprints within the allowable building setbacks. We intend to keep existing landscaping as much as possible. We also intend to replace landscaping on new islands that were moved to accommodate the revised site access which will mitigate heat gain/retention and provide areas of shade.

Our primary design criteria is based on a corporate At Home building prototype, most especially the entrance vestibule “house” element. The prototypical design is being implemented throughout the US, with the goal of design consistency to promote the At Home brand recognition.

Furthermore, our design concept is to maintain the At Home colors of the corporate At Home prototype on the “House” design element, but also utilize the color palette provided by the shopping center in order to work well with surrounding buildings.

We also intend to maintain a building scale to match the scale of the other retail buildings located in the same shopping center to maintain a design cohesiveness. Our building façade provides architectural detail and interest with the different juxtaposition of materials and colors with parapet height articulations and canopies to break up the building façade. The canopies near the front entrance also provide additional shade for pedestrians and customers.

Our building has convenient access to multi-modal transportation options including ample bicycle parking, and being in close proximity to the South Highline Lateral Canal Trail System. Our building is also just walking distance of multiple bus stops, and of course the option of driving a vehicle to the site.

Our parking lot’s revised design provides ease of pedestrian access and circulation to the building with a sidewalk connection from the feeder street to the front entrance for a safe, accessible and clear path of travel for pedestrians. Moreover, we also have provided yellow

stripped walking aisles that serve our handicap accessible parking spaces and also visually alerts drivers that there is a pedestrian crossing at the store's front entrance. Our site lighting is also designed to meet local code requirements and provide enough lighting around the building and site to deter crime.

In summation, our building is designed to follow all local codes, look esthetically pleasing, and fit in with its local surroundings. We have followed the City of Tempe's Development Plan Review guidelines and look forward to getting the approval of the Development Plan Review.

Sincerely,  
Michael Solis

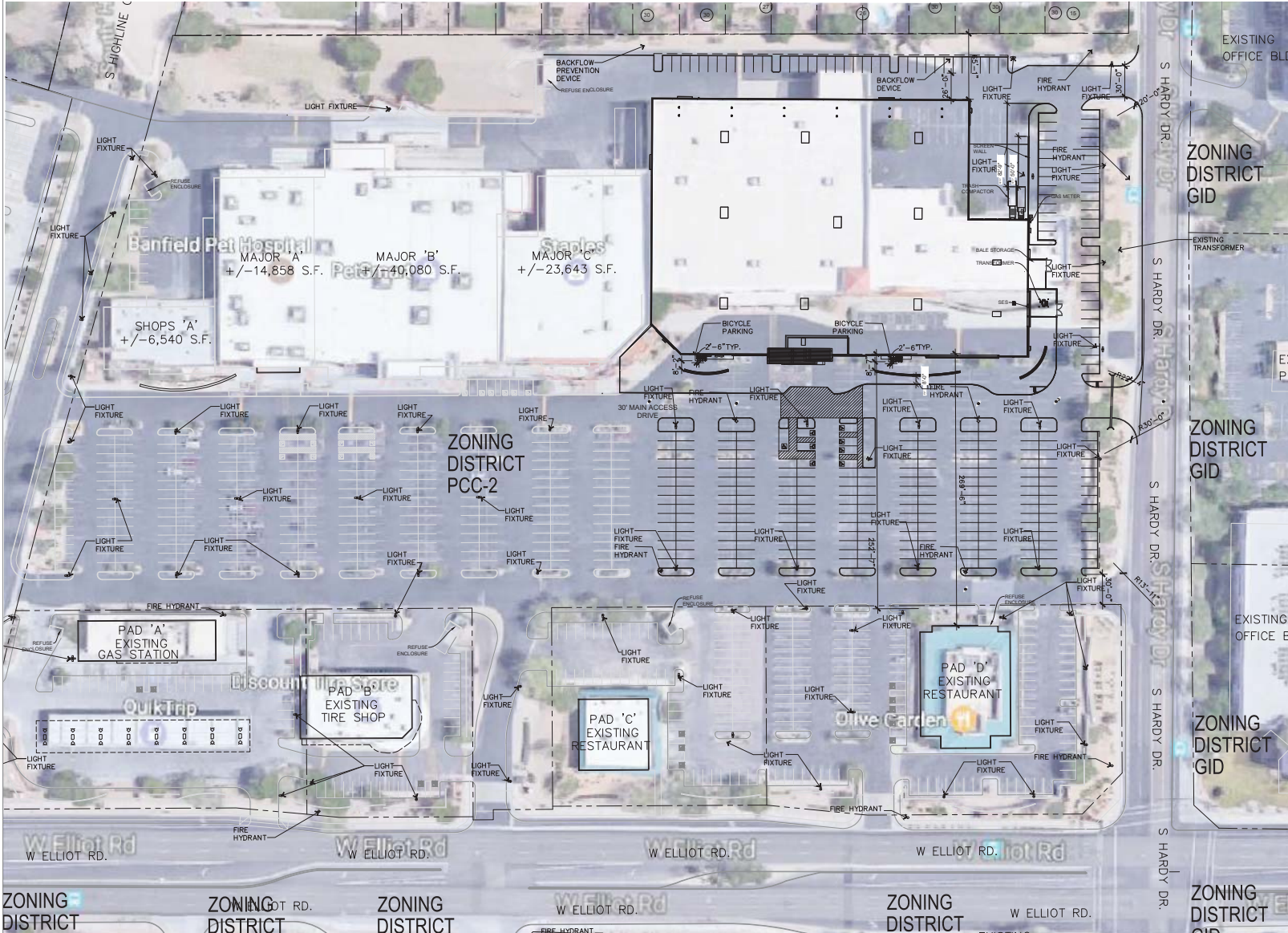


Parkway Construction  
msolis@pkwycon.com  
469-470-2016





LOCATION MAP



PARKING CALCULATIONS:	
TOTAL BUILDING AREA:	88,089 SF
PARKING REQUIRED (1/300 SF):	294
H.C. ACCESSIBLE PARKING REQUIRED: (201 TO 300 PARKING SPACES)	2 H.C. ACCESSIBLE
H.C. VAN ACCESSIBLE PARKING REQUIRED: (1 PER 6 ACCESSIBLE)	6 H.C. VAN ACCESSIBLE
STANDARD PARKING SPACES PROVIDED:	288
H.C. ACCESSIBLE PARKING PROVIDED:	8 H.C. ACCESSIBLE
H.C. VAN ACCESSIBLE PARKING PROVIDED:	2 H.C. VAN ACCESSIBLE
TOTAL PARKING SPACES PROVIDED:	296 PARKING SPACES

PROJECT DATA:	
Submitted by:	_____
Name:	_____
Address:	208 Civic Center Blvd., TX 75007
Phone:	409-420-2321
Email:	miller@pavison.com
Project Name:	_____
Site Address:	105 W. 80th St., Tempe, AZ 85284
Zoning:	PCC-2
Lot Size:	20,233 SF
Total building area:	88,089 SF
Square footage of suite:	N/A, NO SUITE TO BE USED
Proposed use(s):	Commercial
Allowed Occupancy (commercial):	2031
Parking required and provided: (Nubate per user(s))	Parking required - 294
	Parking provided - 296 (including H.C. parking)
H.C. van accessible parking required (1:1 H.C. Accessible: Parking provided)	H.C. van accessible parking provided - 2
H.C. accessible parking provided (1:6 H.C. Accessible: Parking provided)	H.C. accessible parking provided - 8
Proposed use permits and/or variances, if applicable:	Use Permit - Building height exceed 45'-0"
	Building sign - 14'x21'
Property Owner Information:	
Name:	Scott Cook Homes LLC, 60-Vesta Properties, Inc.
Mailing Address:	4831 E. Camelback Road, 4750
Contact Person:	Neil Nease, 17, 41, 42, 43, 44
Phone Number:	602-952-2950
Email Address:	nease@scottcoohomes.com
Architect/Contractor/Designer Information:	
Company Name:	At Home Construction
Contact Name:	Michael Aft
Contact Phone:	409-420-2321
Email Address:	michael@at-homem.com
Date Submitted:	August 14, 2017

Owner:  
 At Home Stores, LLC  
 605 E. McDowell Parkway  
 Plano, TX 75074

MEP Engineer:  
 Electric Engineering  
 310 W. 20th Street  
 #200  
 Kansas City, MO 64108  
 Ph: (816) 963-9627  
 Contact: Joe Hildebrand, P.E.

Structural Engineer:  
 At Home Construction, Inc.  
 605 E. McDowell Parkway  
 Cedarburg, WI 53012  
 Ph: (262) 377-7622  
 Contact: Bob Beckel, P.E.

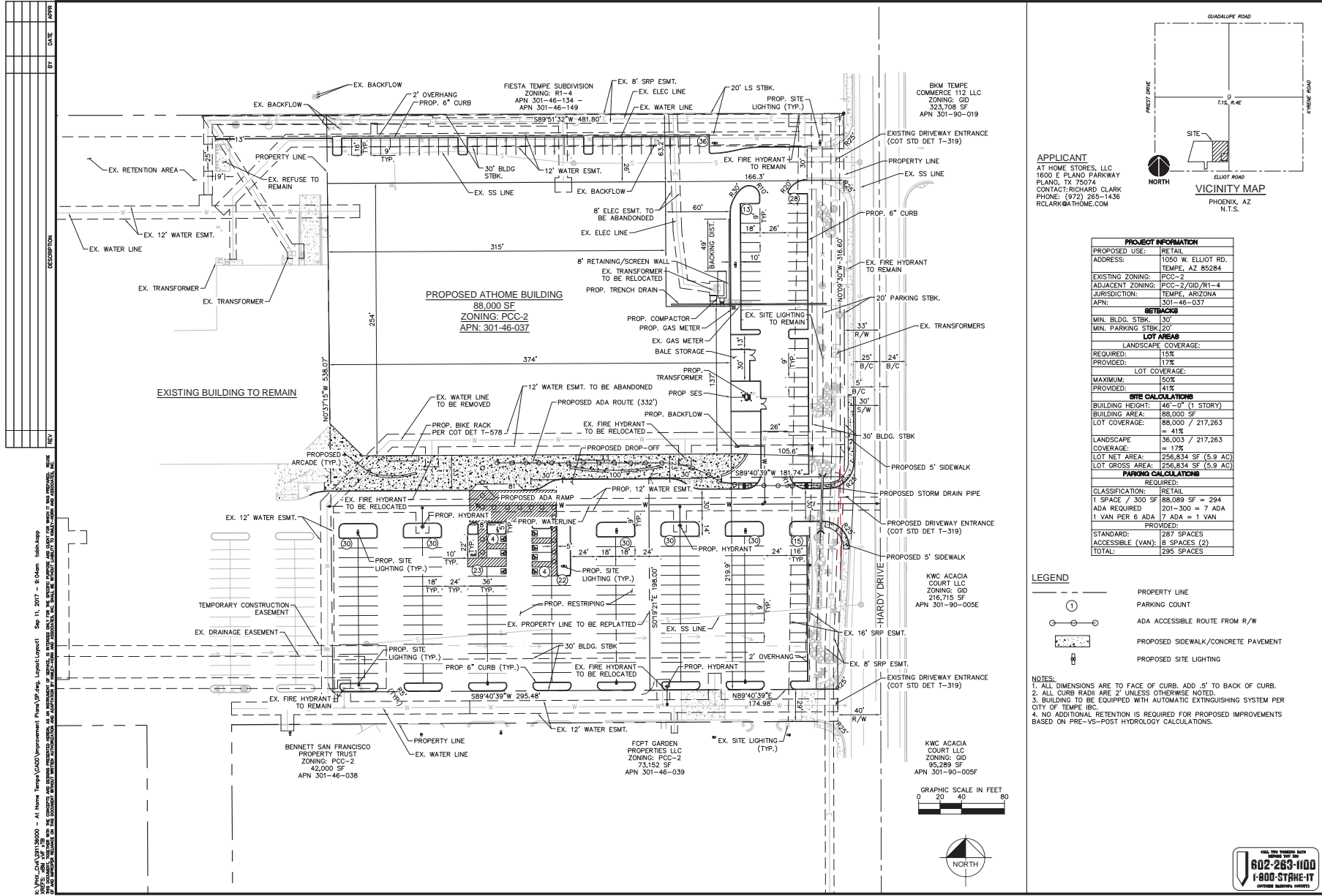
Security:  
 Project 1  
 50 Williams Parkway, Suite L  
 East Haven, CT 06524  
 Ph: (203) 389-1435  
 Contact: Tim Solonec

Energy Management:  
 605 E. McDowell Parkway  
 Cedarburg, WI 53012  
 Ph: (262) 377-7622  
 Contact: Nick Roth

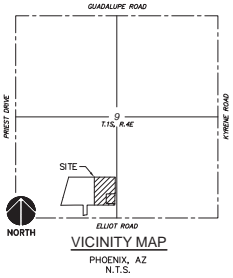
No.	Description	Date

Scale: 1/4" = 1'-0"  
 Date: 04-9-2017  
 Title: PARKWAY - CONSTRUCTION

SITE PLAN

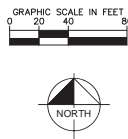


**APPLICANT**  
 AT HOME STORES, LLC  
 1600 E PLANO PARKWAY  
 PLANO, TX 75074  
 CONTACT: RICHARD CLARK  
 PHONE: (972) 265-1436  
 RCLARK@ATHOME.COM



PROJECT INFORMATION	
PROPOSED USE:	RETAIL
ADDRESS:	1050 W. ELLIOT RD. TEMPE, AZ 85284
EXISTING ZONING:	PCC-2
ADJACENT ZONING:	PCC-2/GID/RT-4
JURISDICTION:	TEMPE, ARIZONA
APN:	301-46-037
SETBACKS	
MIN. BLDG. STBK:	30'
MIN. PARKING STBK:	20'
LOT AREAS	
LANDSCAPE COVERAGE:	
REQUIRED:	15%
PROVIDED:	17%
LOT COVERAGE:	
MAXIMUM:	50%
PROVIDED:	41%
SITE CALCULATIONS	
BUILDING HEIGHT:	46'-0" (1 STORY)
BUILDING AREA:	88,000 SF
LOT COVERAGE:	88,000 / 217,263 = 41%
LANDSCAPE:	36,003 / 217,263 = 17%
LOT NET AREA:	256,834 SF (5.9 AC)
LOT GROSS AREA:	256,834 SF (5.9 AC)
PARKING CALCULATIONS	
CLASSIFICATION:	RETAIL
1 SPACE / 300 SF	88,089 SF = 294
ADA REQUIRED	201-300 = 7 ADA
1 VAN PER 6 ADA	17 ADA = 1 VAN
PROVIDED:	
STANDARD:	287 SPACES
ACCESSIBLE (VAN):	8 SPACES (2)
TOTAL:	295 SPACES

- LEGEND**
- ① PROPERTY LINE
  - PARKING COUNT
  - ADA ACCESSIBLE ROUTE FROM R/W
  - ▨ PROPOSED SIDEWALK/CONCRETE PAVEMENT
  - ⊕ PROPOSED SITE LIGHTING
- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB. ADD .5' TO BACK OF CURB.
  - ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
  - BUILDING TO BE EQUIPPED WITH AUTOMATIC EXTINGUISHING SYSTEM PER CITY OF TEMPE IBC.
  - NO ADDITIONAL RETENTION IS REQUIRED FOR PROPOSED IMPROVEMENTS BASED ON PRE-VIS-POST HYDROLOGY CALCULATIONS.



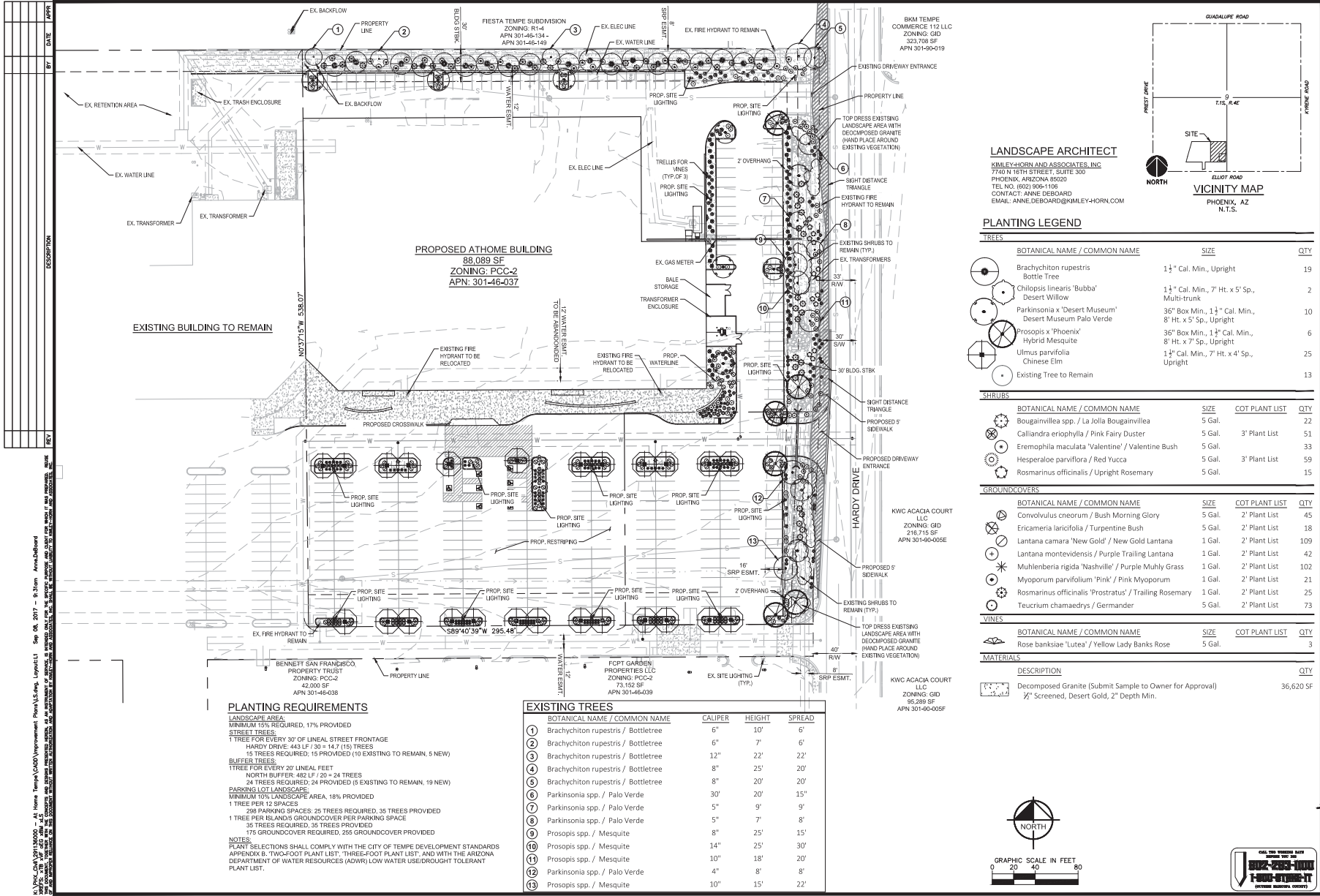
**Kimley-Horn**  
 © 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
 Phoenix, Arizona 85020 (602) 944-5500

ATHOME  
 PRELIMINARY SITE PLAN  
 TEMPE, AZ

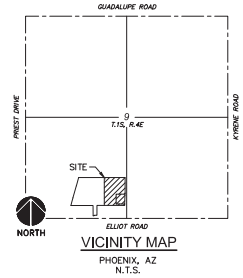
PROJECT No.  
291136000  
 SCALE (H): 1"=40'  
 SCALE (V): NONE  
 DRAWN BY: TKG  
 DESIGN BY: KB  
 CHECK BY: KB  
 DATE: 09/08/2017



802-263-1100  
 1-800-STAKE-IT  
 OFFICE: GARDEN CITY, MO



**LANDSCAPE ARCHITECT**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 7740 N 16TH STREET, SUITE 300  
 PHOENIX, ARIZONA 85020  
 TEL NO. (602) 906-1106  
 CONTACT: ANNE DEBOARD  
 EMAIL: ANNE.DEBOARD@KIMLEY-HORN.COM



**PLANTING LEGEND**

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Brachycton rupestris / Bottle Tree	1 1/4" Cal. Min., Upright	19
	Chilopsis linearis 'Bubba' / Desert Willow	1 1/4" Cal. Min., 7' Ht. x 5' Sp., Multi-trunk	2
	Parkinsonia x 'Desert Museum' / Desert Museum Palo Verde	36" Box Min., 1 1/4" Cal. Min., 8' Ht. x 5' Sp., Upright	10
	Prosopis ssp. 'Phoenix' / Hybrid Mesquite	36" Box Min., 1 1/4" Cal. Min., 8' Ht. x 7' Sp., Upright	6
	Ulmus parvifolia / Chinese Elm	1 1/4" Cal. Min., 7' Ht. x 4' Sp., Upright	25
	Existing Tree to Remain	N.T.S.	13

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	COT PLANT LIST	QTY
	Bougainvillea spp. / La Jolla Bougainvillea	5 Gal.		22
	Calliandra eriophylla / Pink Fairy Duster	5 Gal.	3' Plant List	51
	Eremophila maculata 'Valentine' / Valentine Bush	5 Gal.		33
	Hesperaloe parviflora / Red Yucca	5 Gal.	3' Plant List	59
	Rosmarinus officinalis / Upright Rosemary	5 Gal.		15

GROUNDCOVERS	BOTANICAL NAME / COMMON NAME	SIZE	COT PLANT LIST	QTY
	Convolvulus cneorum / Bush Morning Glory	5 Gal.	2' Plant List	45
	Ericameria laricifolia / Turpentine Bush	5 Gal.	2' Plant List	18
	Lantana camara 'New Gold' / New Gold Lantana	1 Gal.	2' Plant List	109
	Lantana montevidensis / Purple Trailing Lantana	1 Gal.	2' Plant List	42
	Muhlenberia rigida 'Nashville' / Purple Muhly Grass	1 Gal.	2' Plant List	102
	Myoporum parvifolium 'Pink' / Pink Myoporum	1 Gal.	2' Plant List	21
	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary	1 Gal.	2' Plant List	25
	Teucrium chamaedrys / Germander	5 Gal.	2' Plant List	73

VINES	BOTANICAL NAME / COMMON NAME	SIZE	COT PLANT LIST	QTY
	Rose banksiae 'Lutea' / Yellow Lady Banks Rose	5 Gal.		3

MATERIALS	DESCRIPTION	QTY
	Decomposed Granite (Submit Sample to Owner for Approval)	36,620 SF
	1/2" Screened, Desert Gold, 2" Depth Min.	

**PLANTING REQUIREMENTS**  
 LANDSCAPE AREA  
 MINIMUM 15% REQUIRED, 17% PROVIDED  
 STREET TREES  
 1 TREE FOR EVERY 30' OF LINEAL STREET FRONTAGE  
 HARDY DRIVE: 443 LF / 30 = 14.7 (15) TREES  
 15 TREES REQUIRED; 15 PROVIDED (10 EXISTING TO REMAIN, 5 NEW)  
 BUFFER TREES  
 1 TREE FOR EVERY 20' LINEAL FEET  
 NORTH BUFFER: 462 LF / 20 = 23 TREES  
 24 TREES REQUIRED; 24 PROVIDED (5 EXISTING TO REMAIN, 19 NEW)  
 PARKING LOT LANDSCAPE  
 MINIMUM 10% LANDSCAPE AREA, 18% PROVIDED  
 286 PARKING SPACES; 25 TREES REQUIRED, 35 TREES PROVIDED  
 1 TREE PER 12 SPACES  
 175 GROUNDCOVER REQUIRED, 256 GROUNDCOVER PROVIDED  
 NOTES:  
 PLANT SELECTIONS SHALL COMPLY WITH THE CITY OF TEMPE DEVELOPMENT STANDARDS APPENDIX B, TWO-FOOT PLANT LIST, "THREE-FOOT PLANT LIST, AND WITH THE ARIZONA DEPARTMENT OF WATER RESOURCES (ADWR) LOW WATER USE/DROUGHT TOLERANT PLANT LIST.

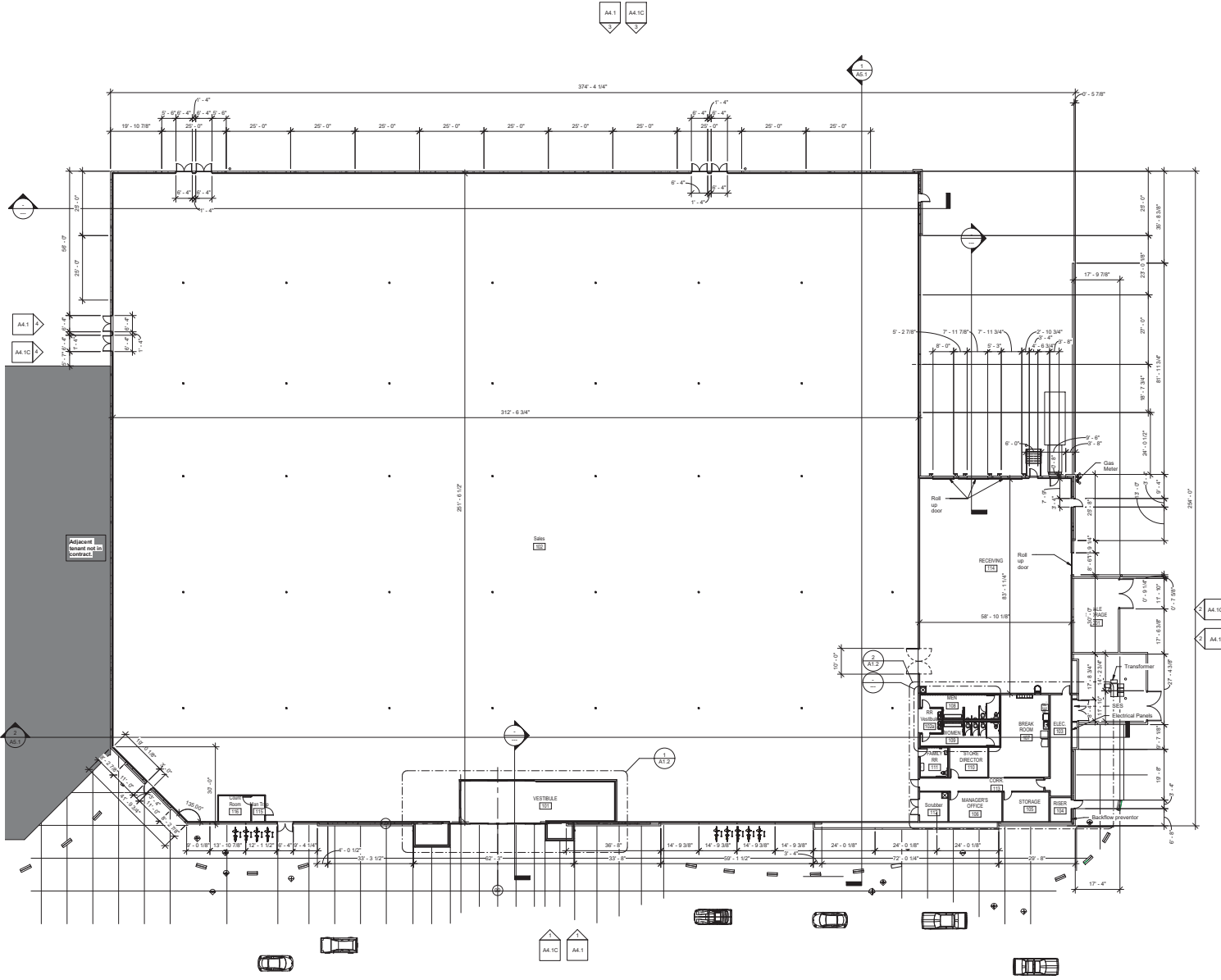
**EXISTING TREES**

	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD
1	Brachycton rupestris / Bottletree	6"	10'	6'
2	Brachycton rupestris / Bottletree	6"	7'	6'
3	Brachycton rupestris / Bottletree	12"	22'	22'
4	Brachycton rupestris / Bottletree	8"	25'	20'
5	Brachycton rupestris / Bottletree	8"	20'	20'
6	Parkinsonia spp. / Palo Verde	30"	20'	15"
7	Parkinsonia spp. / Palo Verde	5"	9'	9'
8	Parkinsonia spp. / Palo Verde	5"	7'	8'
9	Prosopis spp. / Mesquite	8"	25'	15'
10	Prosopis spp. / Mesquite	14"	25'	30'
11	Prosopis spp. / Mesquite	10"	18'	20'
12	Parkinsonia spp. / Palo Verde	4"	8'	8'
13	Prosopis spp. / Mesquite	10"	15'	22'

**Kimley Horn**  
 © 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
 Phoenix, Arizona 85020 (602) 944-5500

1050 W. ELLIOT RD.  
 PRELIMINARY LANDSCAPE PLAN  
 TEMPE, AZ

PROJECT No.  
281136000  
 SCALE (H): 1" = 40'  
 SCALE (V): NONE  
 DRAWN BY: RAB  
 DESIGN BY: ASD  
 CHECK BY: ASD  
 DATE: 08/04/2017  
 CDR: 03/21/2019  
 L1  
 1 OF 2 SHEETS



### General Notes - Floor Plan

- | No. | Comments  |
|-----|---|
| 1   | For new construction, all dimensions to face of framing, edge of slab, or centerline of column unless noted otherwise.  |
| 4   | E.N.O. is "Unless Noted Otherwise"  |
| 6   | Reference sheet A303 for Wall Types   |
| 8   | Door surfaces required convex to match wall behind.   |
| 7   | Exit doors and frames to be painted to match wall color unless noted otherwise.   |
| 8   | Coast door frame painted dark blue.   |
| 9   | Paint all existing columns PT-02 to bottom of structure and PT-01 above structure.  |
| 10  | Locate AC Transmitters away from SFF areas. Please refer to mechanical and electrical sheets for locations.   |
| 11  | Reception desk only in the following areas:<br>a. Sales floor area where wall is exposed, not behind shelving, refer to A100 for future location in Office and break room.  |
| 12  | Towel and Burnish finish concrete only in sales floor area, not stock room or other areas.  |
| 13  | Security system to owner furnished.   |
| 14  | Low voltage scope including electrical drops, cord reels (head-end connections), cameras and data locations are designed by A/E firm; refer to owner-provided plans for locations and specifications. Items are vendor furnished, GC installed. |
| 15  | POE (point-of-sale) and check out stands any furnished by owner and GC installed.   |
| 16  | See above design is by the separate contractor.   |
| 17  | 24" Door with GC furnished, GC installed, see Electrical. Push button at main entrance and reception area door.   |
| 18  | Provide 20 amp, weatherproof GFI receptacle 10" AFF. Locate on left lower plaster on the left return if none existing, refer to MEP requirement.  |
| 19  | Install a non-freeze wall hydrant (hose bib) within 250R of front entry. If none existing refer to MEP requirement.   |
| 20  | Concrete grade beam at Vestibule tower. Grade beam shall be 8" extended above finish floor and with smooth finish. See Structural plan for detail requirement.  |

### Legend - Floor Plan

- ◇ Partition Type Tag - Sheet A303
- Door Tag - Sheet A501
- ⌘ Keynote Tag
- Ta:XX Accessory Tag
- - - Dashed Line Indicates Element Overhead
- ⊕ Center Line
- ⊖ Floor Drain. Refer to Plumbing.

### Legend - Partitions

- Existing Wall
- New Wall
- New Storefront System

### Key Notes

Key	Comments



**At Home - Tempe, AZ**  
1050 W Elliot Rd  
Tempe, Arizona 85284

**Owner:**  
At Home Stores, LLC  
1600E Pecos  
Phoenix, AZ 85016  
Phone: (602) 996-5400

**MEP Engineer:**  
District Engineering  
310 W. 20th Street  
#200  
Kansas City, MO 64108  
PH: (816) 951-8627  
Contact: Joe Hillbrener, P.E.

**Structural Engineer:**  
Arboreus Engineering, Inc.  
NSA W216 Commerce Court  
Coppell, TX 75012  
PH: (972) 771-1626  
Contact: Bob Stockel, P.E.

**Security:**  
Protect 1  
55 Williams Parkway, Suite L  
East Haven, NJ 07936  
PH: (201) 285-1435  
Contact: Tim Bialic

**Energy Management:**  
NewTech  
601 Development Drive  
Plano, TX 75074  
PH: (214) 784-1100  
Contact: Nick Roth

Author	Checker	Date

No.	Description	Date

Author	Checker	Date

Floor Plan  
**A1.1**

**MECHANICAL EQUIPMENT LISTINGS**

**RTU #1 & #2**

Length = 101"  
 Width = 50"  
 Total height (w curb) = 61"

**RTU #3, #4, #5, #7, #8, #9, #10, #11, #12**

Length = 132"  
 Width = 91"  
 Total height (w curb) = 68.25"

**RTU #6**

Length = 85"  
 Width = 47"  
 Total height (w curb) = 68.25"



**At Home - Tempe, AZ**  
 1050 W Elliot Rd  
 Tempe, Arizona 85284

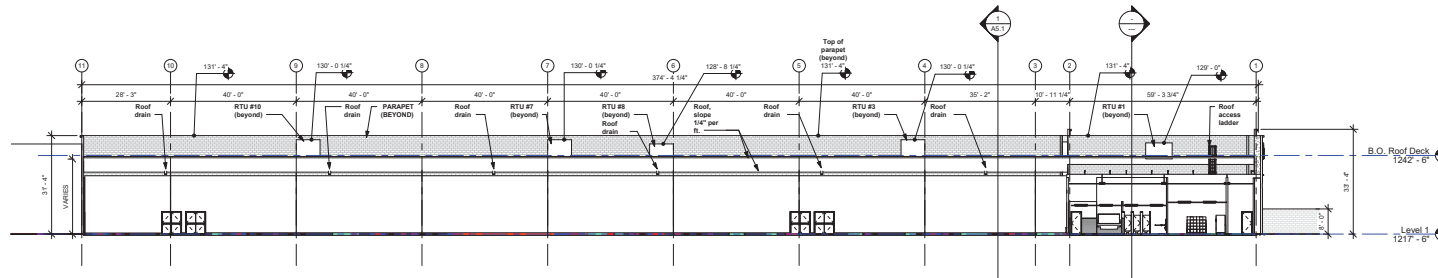
**Owner:**  
 At Home Stores, LLC  
 1600E Plano  
 Parkway  
 Plano, TX 75074

**MEP Engineer:**  
 District Engineering  
 310 W. 20th Street  
 #200  
 Kansas City, MO 64108  
 PH: (816) 951-9627  
 Contact: Joe Hiltbrener, P.E.

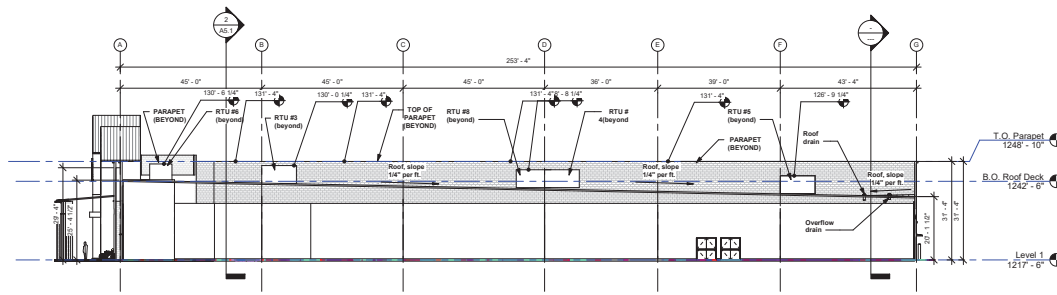
**Structural Engineer:**  
 AtHome Engineers, Inc.  
 184 W215 Commerce Court  
 Channahon, IL 63124  
 PH: (815) 377-7828  
 Contact: Bob Stockel, P.E.

**Security:**  
 Protect 1  
 50 Williams Parkway, Suite L  
 East Haven, NJ 07936  
 PH: (201) 288-1435  
 Contact: Tim Belsic

**Energy Management:**  
 Norther  
 6511 Development Drive  
 Plano, TX 75074  
 PH: (972) 784-1100  
 Contact: Nick Roth



2 Transverse Building Section W-E  
 1/16" = 1'-0"



1 Longitudinal Building Section N-S  
 1/16" = 1'-0"

Architect: Approve

No.	Description	Date

Author: \_\_\_\_\_  
 Checker: \_\_\_\_\_  
 Date: 04-97207

Building Sections

**A5.1**

**Elevation General Notes**

1. All dimensions to face of framing, edge of slab, or centerline of column unless noted otherwise

**Legend - Exterior Elevations**

Material Tag - Refer to Finish Schedule - Sheet A502  
 Door Tag - Sheet A501  
 Keynote Tag

**Finish Schedule - Exterior Elevation**

ITEM	DESCRIPTION	MANUFACTURER	STYLE	ECC/STATION
------	-------------	--------------	-------	-------------

Cast Stone	Cast Stone S&B	CHI Casate	Cast Stone Vandalite	Color to match material color below
CMU	Split Face CMU	CHI Casate	Split Face CMU	Color to match CB
CE	Split Face CMU	CHI Casate	Split Face CMU	Color to match CE
CF	Split Face CMU	CHI Casate	Split Face CMU	Color to match CF

**Exterior Insulation and Finishing System**

E1	EIFS with integral colors at exterior walls	Brylt System, Inc.	SmartCoat DFR, DFCR 2000, 1/4" Paronite 4-4C, Job Exterior Heaps, Chromat 310002 Dark Gray	Color to match E1
E2	EIFS with integral colors at exterior walls	Brylt System, Inc.	SmartCoat DFR, DFCR 2000, 1/4" Paronite 4-4C, Job Exterior Heaps, Chromat 310002 Dark Gray	Color to match E2
E4	EIFS with integral colors at exterior walls	Brylt System, Inc.	SmartCoat DFR, E-FCR 160700, 1/4" Paronite Light Gray (at Home - Jonsson Integ)	Color to match E4
EA	EIFS with integral colors at exterior walls	Brylt System, Inc.	SmartCoat DFR, E-FCR 160700, 1/4" Paronite Light Gray (at Home - Jonsson Integ)	Color to match EA
EB	EIFS with integral colors at exterior walls	Brylt System, Inc.	SmartCoat DFR, E-FCR 160700, 1/4" Paronite Light Gray (at Home - Jonsson Integ)	Color to match EB

G1	Clear single-paneled glass	F&B		
G2	Clear insulated glass	F&B		
G3	Clear insulated glass	F&B		
G4	Clear insulated tempered glass	F&B		
G5	Spandrel single panel glass	F&B		
G6	Spandrel insulated glass	F&B		

Material	Manufacturer	Finish
A1 Aluminum storefront	Kawneer System	Clear MS Finish
A2 Aluminum frame metal fenestration	Herridge Manufacturing Company	Pre-finished to match storefront
A3 Pre-finished steel metal fenestration	Herridge Manufacturing Company	Pre-finished to match adjacent metalwork color
A4 Composite R-Panel	Herridge Manufacturing Company	Medium Roof & Wall Systems

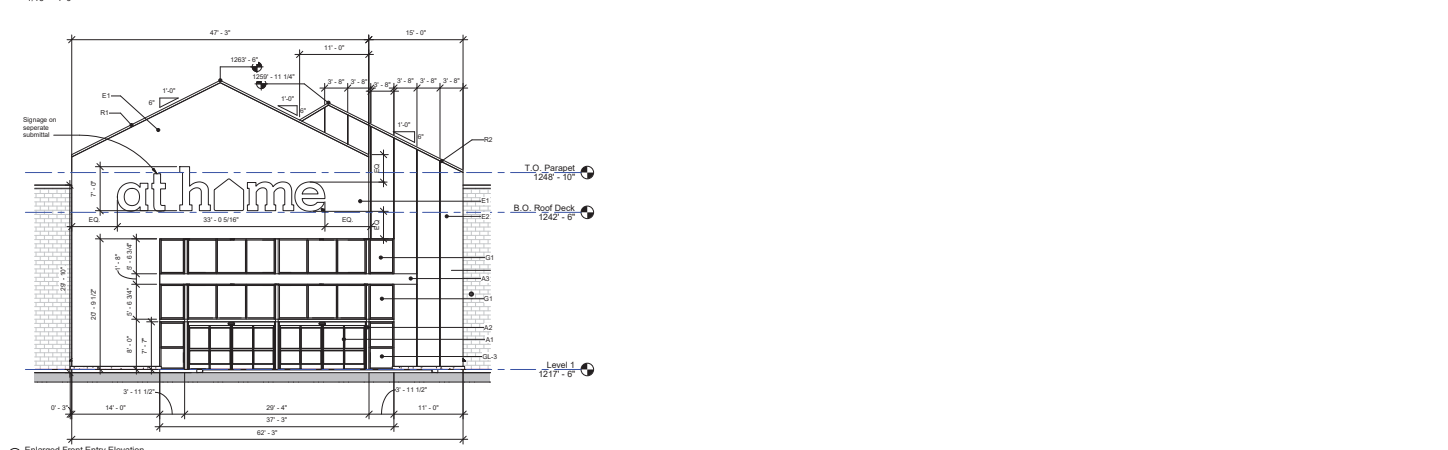
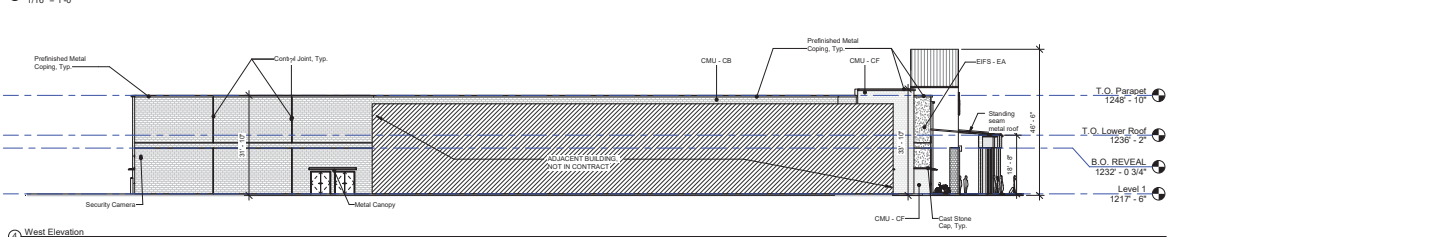
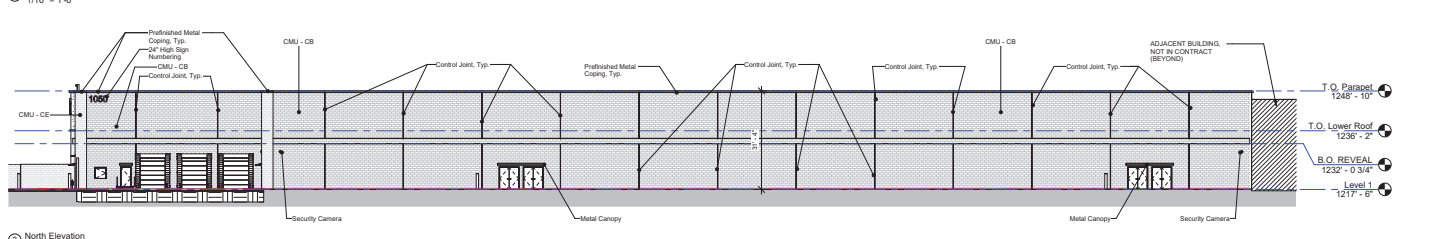
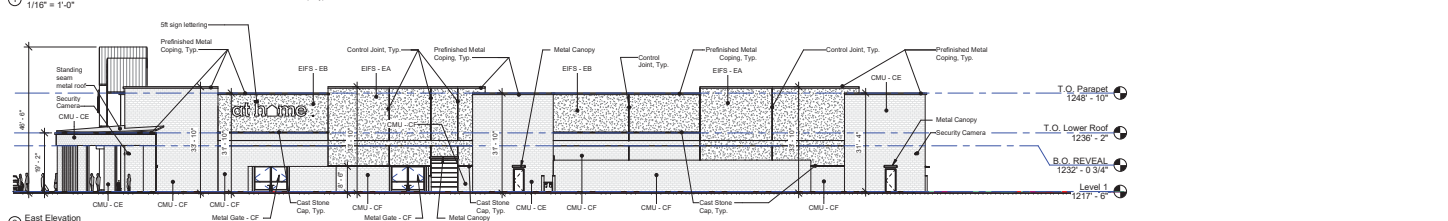
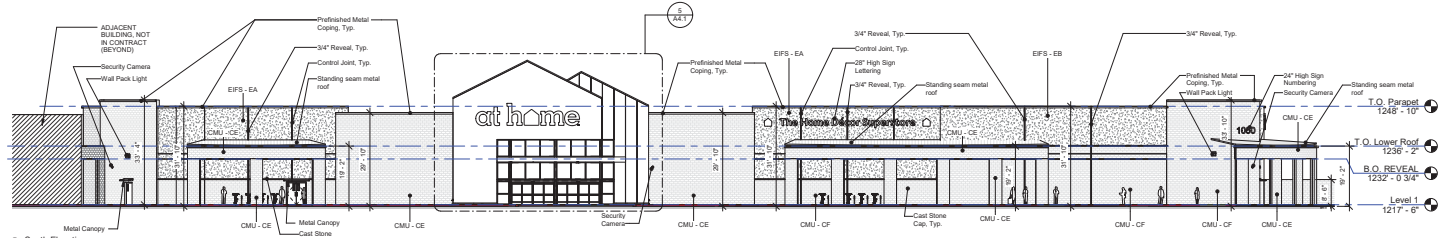
PA Exterior Paint	Dunn Edwards	Primer Coat: Duracraft Acrylic Latex Primer; Top Coat: DuPont Exterior Acrylic Latex Paint	Cisp Mustin
PB Exterior Paint	Dunn Edwards	Primer Coat: Duracraft Acrylic Latex Primer; Top Coat: DuPont Exterior Acrylic Latex Paint	Play on Gray
PE Exterior Paint	Dunn Edwards	Primer Coat: Duracraft Acrylic Latex Primer; Top Coat: DuPont Exterior Acrylic Latex Paint	Calico Rock
PI Exterior Paint	Dunn Edwards	Primer Coat: Duracraft Acrylic Latex Primer; Top Coat: DuPont Exterior Acrylic Latex Paint	Tronco

PIA Interior Paint	Sherwin-Williams	Primer Coat: ProMark 200 Zero VOC Interior Latex Primer ED99W500; Top Coat: SW Interior Super Paint	Interior Light Gray / Egg Shell
PIS Interior Paint	Sherwin-Williams	Primer Coat: ProMark 200 Zero VOC Interior Latex Primer ED99W500; Top Coat: SW Interior Super Paint	Interior Dark Blue / Egg Shell
PIB Interior Paint	Sherwin-Williams	Primer Coat: ProMark 200 Zero VOC Interior Latex Primer ED99W500; Top Coat: SW Interior Super Paint	Interior Light Blue / Egg Shell
PIG Interior Paint	Sherwin-Williams	Primer Coat: ProMark 200 Zero VOC Interior Latex Primer ED99W500; Top Coat: SW Interior Super Paint	White / Egg Shell
PIH Interior Paint	Sherwin-Williams	Primer Coat: ProMark 200 Zero VOC Interior Latex Primer ED99W500; Top Coat: SW Interior Super Paint	Interior Green / Egg Shell

R1	Standing Seam Metal Roofing with Integral Color	Herridge Manufacturing Company	One-LOCK panel system	Pre-finished "Zinc Gray"
R2	Standing Seam Metal Roofing with Integral Color	Herridge Manufacturing Company	One-LOCK panel system	Pre-finished "Charcoal Walnut"

**Key Notes**

Key	Comments
-----	----------



CONSTRUCTION ARCHITECTURE  
**PARKWAY**  
 Parkway USA, LP  
 1000 Civic Center, Lewisville, TX 75057  
 parkwayconstruction.com (972) 251-1179



**At Home - Tempe, AZ**  
 1050 W Elliot Rd  
 Tempe, Arizona 85284

**Owner:**  
 At Home Stores, LLC  
 1606E Reno Parkway  
 Plano, TX 75074

**MEP Engineer:**  
 Electric Engineering  
 310 W 20th Street  
 #200  
 Kansas City, MO 64108  
 PH: (816) 959-0627  
 Contact: Joe Hiltbranner, P.E.

**Structural Engineer:**  
 Architects Engineering, Inc.  
 1616 W. 15th Street  
 Suite 100  
 Overland Park, KS 66212  
 Contact: Bob Stovall, P.E.

**Security:**  
 Protect 1  
 50 Williams Parkway, Suite 1  
 East Haven, NH 03956  
 PH: (603) 288-4485  
 Contact: Tim Baldock

**Energy Management:**  
 NewRen  
 601 Development Drive  
 Plano, TX 75074  
 PH: (214) 784-1100  
 Contact: Nick Roth

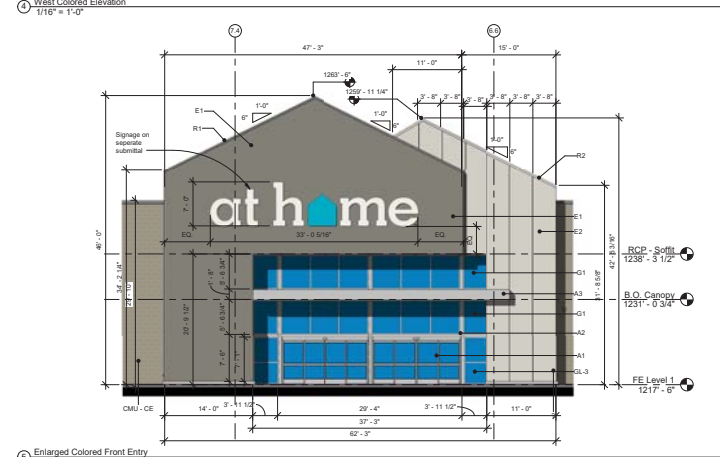
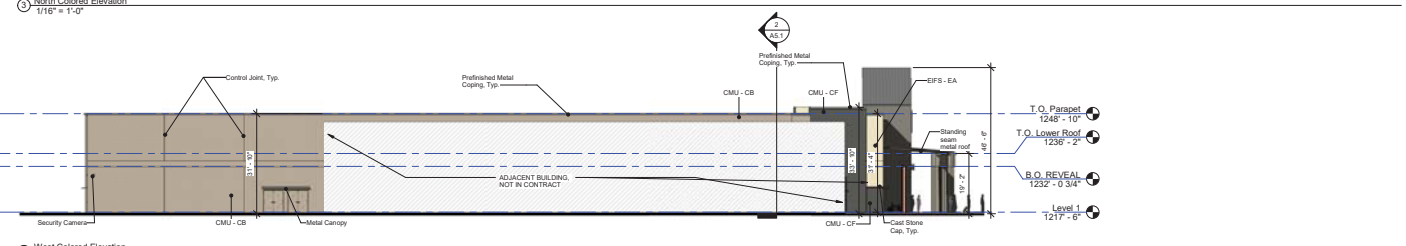
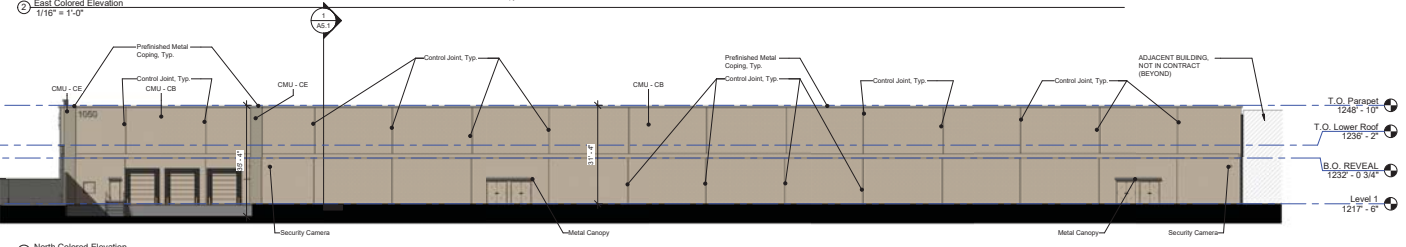
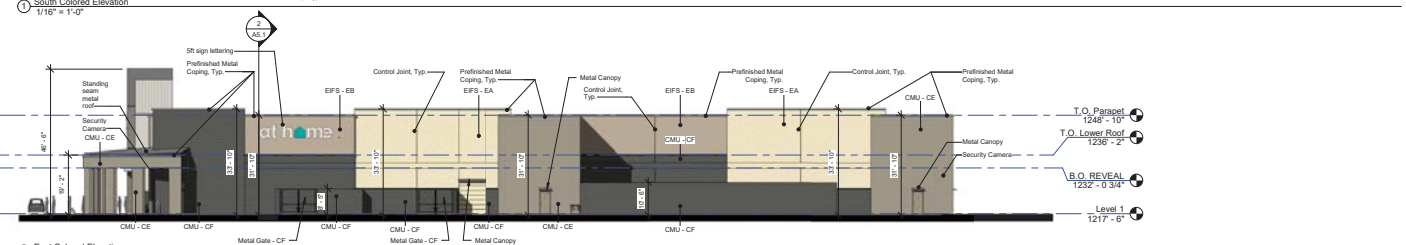
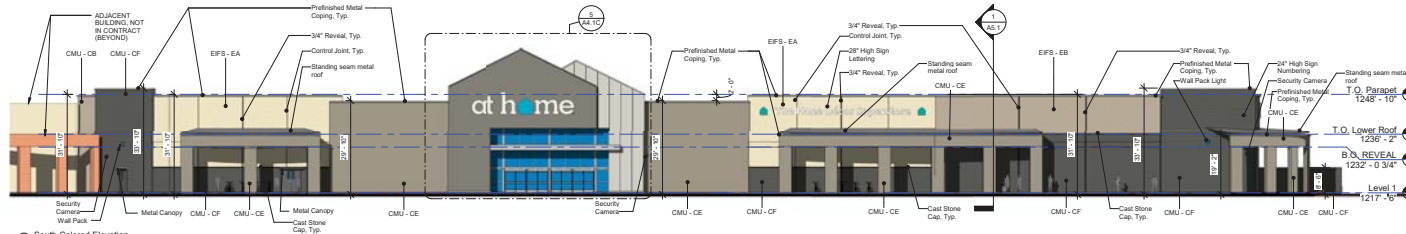
Architect: Approve

No.	Description	Date
-----	-------------	------

04/11/2020 HL  
 04/14/2020  
 04-97207

Exterior Elevations

**A4.1**



<b>EIFS EA - Pure Cream 386A (DRYVIT)</b>	<b>EIFS EB - Metal Gray 530A (DRYVIT)</b>	<b>CMU CB - Colonial White (OLD CASTLE)</b>	<b>CMU CE - Calico Rock (OLD CASTLE custom color)</b>	<b>CMU CF - Slate Gray (OLD CASTLE)</b>
		<b>EIFS E1 - DARK GREY (DRYVIT)</b>	<b>EIFS E2 - LIGHT GREY (DRYVIT)</b>	<b>SHEET METAL A2 - BRIGHT SILVER (OMEGA PANEL PRODUCTS)</b>

**Finish Schedule - Exterior Elevation**

TAG	DESCRIPTION	MANUFACTURER	STYLE	COLOR/NOTE
CMU	CMU			
CB	Split Face CMU	Old Castle	Split Face CMU	Color to match CE
CE	Split Face CMU	Old Castle	Split Face CMU	Color to match CE
CF	Split Face CMU	Old Castle	Split Face CMU	Color to match CE

**Exterior Insulation and Finishing System**

E1	E2	E4	EA	EB
EFS with integral color at exterior walls	EFS with integral color at exterior walls	EFS with integral color at exterior walls	EFS with integral color at exterior walls	EFS with integral color at exterior walls
Dryvit System, Inc.	Dryvit System, Inc.	Dryvit System, Inc.	Dryvit System, Inc.	Dryvit System, Inc.
Sandblast DPR	Sandblast DPR	Sandblast DPR	Sandblast DPR	Sandblast DPR
Color: 10002 Dark Gray	Color: 10002 Dark Gray	Color: 10002 Dark Gray	Color: 10002 Dark Gray	Color: 10002 Dark Gray

**Glassing**

G1	G2	G3	G4	G5	G6
Clear single panel glass	Clear insulated glass	Clear insulated glass	Clear insulated glass	Standard single panel glass	Standard insulated glass
TBD	TBD	TBD	TBD	TBD	TBD

**Metal**

M1	M2	M3	M4
Aluminum storefront	Aluminum stake metal assemblies	Pre-finished sheet metal fabrications	Corrugated R-Panel
Kiewit System	Bertrige Manufacturing Company	Bertrige Manufacturing Company	Bertrige Manufacturing Company
Clear MB Finish	Pre-finished to match	Pre-finished to match adjacent storefront	Color to match PF-22

**Paint - Exterior**

PA	PB	PE	PF
Exterior Paint	Exterior Paint	Exterior Paint	Exterior Paint
Dunn Edwards	Dunn Edwards	Dunn Edwards	Dunn Edwards
Primer Coat: DuraCrak Acrylic Latex Primer, Top Coat: DuraCrak Exterior Acrylic Latex Paint	Primer Coat: DuraCrak Acrylic Latex Primer, Top Coat: DuraCrak Exterior Acrylic Latex Paint	Primer Coat: DuraCrak Acrylic Latex Primer, Top Coat: DuraCrak Exterior Acrylic Latex Paint	Primer Coat: DuraCrak Acrylic Latex Primer, Top Coat: DuraCrak Exterior Acrylic Latex Paint
Crisp Mustin	Play on Gray	Calico Rock	ironic

**Paint - Interior**

PI	PS	PE	PF	PI
Interior Paint	Interior Paint	Interior Paint	Interior Paint	Interior Paint
Sherwin-Williams	Sherwin-Williams	Sherwin-Williams	Sherwin-Williams	Sherwin-Williams
Primer Coat: ProMar 200 Zero VOC Interior Latex Primer, Primer: SPW9020, Top Coat: SW Interior Super Paint	Primer Coat: ProMar 200 Zero VOC Interior Latex Primer, Primer: SPW9020, Top Coat: SW Interior Super Paint	Primer Coat: ProMar 200 Zero VOC Interior Latex Primer, Primer: SPW9020, Top Coat: SW Interior Super Paint	Primer Coat: ProMar 200 Zero VOC Interior Latex Primer, Primer: SPW9020, Top Coat: SW Interior Super Paint	Primer Coat: ProMar 200 Zero VOC Interior Latex Primer, Primer: SPW9020, Top Coat: SW Interior Super Paint
Interior Light Gray / Egg Shell	Interior Dark Blue / Egg Shell	Interior Light Gray / Egg Shell	Interior White SW 7005 / Egg Shell	Interior Green / Egg Shell

**Roofing**

R1	R2
Standing Seam Metal Roofing with Integral Color	Standing Seam Metal Roofing with Integral Color
Bertrige Manufacturing Company	Bertrige Manufacturing Company
Cee-Lock panel system	Cee-Lock panel system
Pre-finished "Zinc Gray"	Pre-finished "Shasta White"

Parkway Construction, Inc. 1000 Civic Center, Lawrenceville, GA 30046  
 Parkway Construction, Inc. 10000 Chaco Circle, Lawrenceville, GA 30046  
 Parkway Construction, Inc. 10000 Chaco Circle, Lawrenceville, GA 30046  
 Parkway Construction, Inc. 10000 Chaco Circle, Lawrenceville, GA 30046

**At Home - Tempe, AZ**  
1050 W Elliot Rd  
Tempe, Arizona 85284

**Owner:** At Home Stores, LLC  
1600E. Plano Parkway, Plano, TX 75074

**MEP Engineer:** Interline Engineering, 310 W. 20th Street #200, Kansas City, MO 64108  
PH: (816) 951-0627  
Contact: Joe Hildebrand, P.E.

**Structural Engineer:** Anderson Engineering, Inc., 1611 W. 15th Street, Suite 200, Tempe, AZ 85284  
PH: (480) 377-7828  
Contact: Bob Stockel, P.E.

**Security:** Protect 1 - 50 Williams Parkway, Suite 1, East Haven, NJ 07936  
PH: (201) 286-1481  
Contact: Tim Belsick

**Energy Management:** NextGen, 601 Development Drive, Plano, TX 75074  
PH: (972) 784-1100  
Contact: Nick Roth

Architect: Approve

No.	Description	Date

Author: \_\_\_\_\_  
 Checker: \_\_\_\_\_  
 Date: 04-9/2020

Color Elevations

# A4.1C



REV	DESCRIPTION	DATE	BY	APP

X:\Projects\2017\10000000 - Home Tempe\CAD\Improvement Plans\U.S.Reg. Layout\12 Sep 06, 2017 - 9:31am AreaDashboard  
 This drawing was created using AutoCAD LT 2017. It is a computer-generated drawing and does not represent a physical object. It is not to be used for construction or other purposes without the express written consent of Kimley-Horn and Associates, Inc.



HARDY DRIVE STREET VIEW ELEVATION  
N.T.S.



 <p>© 2017 KIMLEY-HORN AND ASSOCIATES, INC. Phoenix, Arizona 85020 (602) 944-5500</p>	<p>1050 W. ELLIOT RD. HARDY DRIVE ELEVATION TEMPE, AZ</p>	<p>PROJECT No. 291136000</p> <p>SCALE (H): 1"=40'</p> <p>SCALE (V): NONE</p> <p>DRAWN BY: RAB</p> <p>DESIGN BY: ASD</p> <p>CHECK BY: ASD</p> <p>DATE: 08/04/2017</p> <p>             Expires 03/31/2019         </p> <p>L2 2 OF 2 SHEETS</p>
--	---	---

RIVA: XX-XXXX CCFR: XXXXXX Q.S.: XX-XX





1 Color Perspective 1



2 Color Perspective 2



Perspective View Looking East



Perspective View Looking Northwest

CONSTRUCTION ARCHITECTURE

**PARKWAY**  
 Parkway C.S.A., LP  
 1000 Civic Center, Lewisville, TX 75067  
 parkwayconstruction.com (972) 221-1979  
 P. 0213/1016  
 F. 0213/1017  
 C. 0213/1018  
 A. 0213/1019  
 E. 0213/1020



**At Home - Tempe, AZ**  
 1050 W Elliot Rd  
 Tempe, Arizona 85284

- Owner:**  
 At Home Stores, LLC  
 1606E Plano Parkway  
 Plano, TX 75074
- MEP Engineer:**  
 District Engineering  
 310 W. 20th Street  
 #200  
 Kansas City, MO 64108  
 PH: (816) 695-6627  
 Contact: Joe Hildebrandt, P.E.
- Structural Engineer:**  
 Ambrose Engineering, Inc.  
 N66 W216 Commerce Court  
 Cedarburg, WI 53014  
 PH: (262) 371-7020  
 Contact: Bob Stockel, P.E.
- Security:**  
 Protect 1  
 25 Williams Parkway, Suite L  
 East Hanover, NJ 07936  
 PH: (201) 286-1435  
 Contact: Tim Baldic
- Energy Management:**  
 NorWare  
 601 Development Drive  
 Plano, TX 75074  
 PH: (214) 784-1100  
 Contact: Nick Roth

Architect: Approve

No.	Description	Date

Author  
 Checked  
 No. 04-97207  
 Date: 10/20/18

Color Perspectives

A4.2C



PetSmart

Olive Garden  
Family-friendly Italian  
restaurant chain

ATTACHMENT 14  
Google

Map



Olive Garden  
Family friendly Italian  
restaurant chain

PetSmart  
Staples

S Hardy Dr

S Hardy Dr

S Hardy Dr

Map

ATTACHMENT 16  
Google

2D





PetSmart

Olive Garden  
Family-friendly Italian  
restaurant chain

Map

ATTACHMENT 16  
Google

2D

+

-

↑



**Olive Garden**  
Family friendly Italian restaurant chain

**Staples**

**PetSmart**

S Hardy Dr

S Hardy Dr

Map

2D









