

**CITY OF TEMPE
BOARD OF ADJUSTMENT**

**Meeting Date: 11/15/2017
Agenda Item: 3**

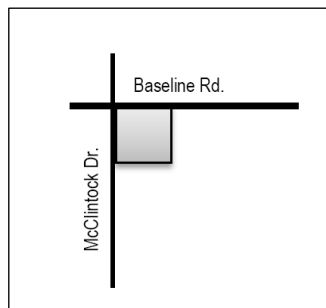
ACTION: Request to appeal the Hearing Officer’s decision of October 3, 2017 to approve a variance to reduce the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20 feet (20’) to 11 feet 8 inches (11’-8”) for QUICK QUACK CAR WASH, located at 5201 South McClintock Drive. The appellants are Rose Law Group, PC.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: None

BACKGROUND INFORMATION: QUICK QUACK CAR WASH (PL170240) is a proposed car wash at the southeast corner of McClintock Drive and Baseline Road. The existing gas station building at this corner would be demolished and replaced with a 3,349 s.f. automatic car wash building and self-serve vacuum canopies. On October 3, 2017, the Hearing Officer approved a variance to reduce the landscape buffer for the maneuvering drive lane adjacent to Baseline Road. The request includes the following:

1. Appeal the October 3, 2017 Hearing Officer decision to approve a variance to reduce the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20 feet (20’) to 11 feet 8 inches (11’-8”).



Property Owner	Pura Vida Properties, LLC
Applicant of Entitlement	Michael Clark, Identity Mutual, LLC
Appellant	Jordan Rose, Rose Law Group, PC
Zoning District	PCC-1 (Planned Commercial Center Neighborhood)
Net site area	31,893 s.f.
Gross Building area	3,349 s.f.
Lot Coverage	11% (max. 50% allowed)
Building Height	30' (35" maximum allowed)
Building Setbacks	34'-1" front, 36'-10" rear, 19'-4" street side, 113'-3" side (min. 0', 30', 0', 30' required)
Landscape Area	26% (min. 15% required)
Vehicle Parking	19 spaces, subject to use permit approval (11 min. required, 14 max. allowed)
Bicycle Parking	4 spaces (4 min. required)
Hours of Operation	7:00 a.m. to 9:00 p.m. (until 7:00 p.m. in winter)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Karen Stovall, Senior Planner (480)-350-8432

Department Director: Chad Weaver, Community Development Director
 Legal review by: N/A
 Prepared by: Karen Stovall, Senior Planner
 Reviewed by: Steve Abrahamson, Principal Planner

DEVELOPMENT PROJECT FILE
for
QUICK QUACK CAR WASH
(PL170240)

ATTACHMENTS:

1-74. Letter of Appeal with exhibits, dated October 16, 2017

75-80. Applicable portions of the October 3, 2017 Hearing Officer hearing

81-91. Communication received October 3, 2017 and later

92-93. Response from developer, dated October 11, 2017

Staff report from the October 3, 2017 Hearing Officer hearing (in original order and pagination)

1-13. Original Development Project File



JORDAN R. ROSE
7144 E. Stetson Drive, Suite 300
Scottsdale, Arizona 85251
Phone 480.505.3939 Fax 480.505.3925
JRose@RoseLawGroup.com
www.RoseLawGroup.com

October 16, 2017

SENT VIA ELECTRONIC MAIL

Original via Hand Delivery

City of Tempe
Planning Division
31 East Fifth Street
Tempe, Arizona 85281

Ryan Levesque
Development Director
Ryan_Levesque@tempe.gov

Karen Stovall
Senior Planner
Karen_Stovall@tempe.gov

RE: Appeal of Hearing Officer's October 3, 2017 decision to approve a variance for Quick Quack Car Wash (PL170240) proposed at 5201 S. McClintock Dr. Tempe, AZ 85283, that reduces the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20 feet to 11 feet 8 inches.

Dear Ryan and Karen:

We represent Michael Pollack, property owner of the 77,800 square foot commercial shopping plaza immediately adjacent to and surrounding the above referenced property. Please accept this letter in objection of the Hearing Officer's decision to approve the variance requested by Quick Quack. We believe that the Hearing Officer's decision was in error because Quick Quack does not meet the criteria necessary to warrant such a variance and because his reasoning was based on a false understanding of the circumstances, and should therefore be reversed.

A. Quick Quack does not meet the standards necessary to obtain a variance.

The Tempe Zoning and Development Code requires a finding of sufficient evidence of certain criteria before a Variance may be authorized. None of the legal criteria, as described below, can be met by this property, and therefore no variance may be granted.

1. *That special circumstances are applicable to the property, including its size, shape, topography, location, or surroundings; and*

There is nothing unique to this property that might be considered a special circumstance. In fact, the average developer would likely find it more desirable than other properties. There are a number of existing car washes and other businesses operating in Tempe and elsewhere on lots much smaller than this property so it is not unusually small. In fact, just three months ago, Quick Quack applied for a zoning approval in the City of Phoenix on a significantly smaller site (just 25,526 square feet). That project was ultimately withdrawn due to massive neighborhood opposition to such a use at a key corner in the City of Phoenix (7th Street and Thomas Road). Providing ten feet for a bus bay appears to be being used as a convenient excuse not to comply with the City's very reasonable (and important) landscape setbacks.

In shape and topography, the lot is totally flat and is rectangular shaped. Those characteristics are desirable for development. Also in terms of location and surroundings, the lot is located on a major Tempe intersection and is surrounded by grocery, office, banking, and a variety of restaurants. The lot, therefore, suffers from no burdens and would be relatively simple to redevelop without the need for variances.

Simply put, this is a relatively easy lot to develop for this or any other appropriate use.

2. *The strict application of this Code will **deprive such property of privileges enjoyed by other property of the same classification in the same zoning district; and***

There are no privileges enjoyed by other similar properties that a strict application of the Code would deprive Quick Quack of. The property is completely usable, as-is, for a wide range of uses as evidenced by the many existing uses in Tempe that are on similarly sized lots in the same PCC-1 zoning. For example, the El Pollo Loco and the U.S. Bank located on the north-west and north-east corners of this intersection were developed without variances.

3. *The adjustment authorized **shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located; and***

Approving the requested variance for this use would most certainly grant a special privilege to Quick Quack. In 2010 the City of Tempe adopted this very reasonable 20-foot landscape setback for safety and quality development in Tempe. To allow this landscaping exception at a site that can easily be developed within a smaller square footage (even Quick Quack itself just submitted plans to develop a significantly smaller site in Phoenix), is a certain grant of special privilege. As discussed previously, there are a number of properties in the vicinity and zone in which this property is located that were not granted variances for development. Adjusting this important landscape buffer requirement is a grant of a special privilege as it would not in any way help the City or neighboring landowners and is in direct conflict with Section 3-408 of the Code that was recently amended to require it. The intention of the language is clearly for the purpose of safety, specifying that drive-through facility drive lanes must provide for a "minimum twenty (20) feet of landscape buffer from the sidewalk" and importantly that they "shall be designed to minimize conflicts with the pedestrian pathway from the public street." A deviation from a requirement established for purposes of safety, which other similar properties in the vicinity did not request, is a special privilege.

4. *A variance may not be granted if the special circumstances applicable to the property are **self-imposed** by the property owner.*

As discussed earlier, the property is in no way too small to develop and there are a wide range of potential uses available for it without the need for Variances. Rather than choosing a more suitable site, Quick Quack wants to force a site plan with a large footprint on a property it does not fit on. The fact that Quick Quack operates at least two car wash locations in California on smaller lots than here goes to show that they have made a poor effort in designing this facility. In fact, just months ago, Quick Quack applied for a location in the City of Phoenix. More specifically the Variance is self-imposed for the following reasons:

- Owner can develop their land without the Variance
- The requirement for landscaping is important to maintain quality development in Tempe
- The requirement for landscaping is important to maintain the quality of this corner
- The property has been developed WITHOUT a reduction in setbacks before
- The site is highly developable the request is entirely Self-Imposed

- If the car wash needs less landscaping they can choose a more appropriate site in Tempe
- The most directly affected neighbor is opposed to this request
- The most directly affected neighbor believes this will diminish property values
- The request to reduce landscaping will only negatively affect the entire City

B. HEARING OFFICER DECISION. Quick Quack was made aware of an incoming bus bay and ROW dedication before formal application.

On October 3, 2017, the Hearing Officer granted Quick Quack a variance based on a misplaced understanding that Quick Quack was not aware of the incoming ROW request from the City and the hardship therefore was not self-imposed. This is not the case and we have evidence proving otherwise. Quick Quack was in fact aware of the ROW dedication before applying to operate a car wash at this site. Furthermore, the ROW dedication should have been reasonably expected as it is a written standard of Tempe for such properties on intersection corners. The evidence is outlined in the following section.

1. It is a standard procedure for intersection corner lots in the City of Tempe.

To begin, Quick Quack was aware, or should have been aware that a dedication would be required with the development of this particular property simply because it is located on the corner of two arterial streets. The City of Tempe's Engineering Design Criteria states that the "development of parcels located at the far side of arterial to arterial and arterial to collector intersections shall be required to dedicate minimum easements of 9' by 27' for transit shelters and 11' by 175' for bus bays per the City's exaction policy" (Engineering Design Criteria, page 51). The standard criteria for Tempe transit then describes on the following page that "bus stops shall be located between 60' and 110' from point of tangency of the intersection curb return" (page 52). According to the Maricopa County Assessor's parcel maps, the nearest bus stop here is approximately 325 feet away from the point of tangency of the intersection curb return going east on Baseline Road (Exhibit A). The City's interest in a piece of the northern side of this parcel for a dedication of any kind was no surprise.

Additionally, the current owners of this property were made aware of the City's intention to use a portion of the northern side of this property as early as August 2014. On 8/13/14, a previous prospective user of this property received Site Plan Review comments to their proposed project in which Tempe Transit requested they "provide a bus pullout on the north side of the project" (Exhibit B, page 6). Quick Quack repeatedly asserts that due to this supposedly very unexpected ROW request by the City, the owner has agreed to make the dedication in exchange for this variance. Again, the City's interest in using a piece of the northern side of this parcel was clearly not the surprise they claim.

2. Contrary to what the Hearing Officer was led to believe, Quick Quack knew the site would require a bus bay dedication at least five months prior to making formal application (and still decided to make application).

There is no question that Quick Quack was made aware of the circumstances of this property during a preliminary review of their project that they participated in with the City. By the very nature of its name, this process is understood to be "preliminary" and occurs in the beginning stages of a project with routine due diligence. By Code, the purpose of preliminary review is to "acquaint the **prospective applicant** ... with the requirements of this Code" and that it "is intended to be **informative** and identify **potential issues**." (6-202(A)(1)). Even more clear, Preliminary Site Plan Review reports provide a disclaimer explaining that the process will "gather initial comments on the project" and identify "requirements that might affect the design or **feasibility** of the project." A Preliminary Site Plan application, however, is not even typically required for a commercial development such as the proposed because Quick Quack is not

requesting a general plan amendment or rezoning (6-202(A)(2)). Yet sometime before 2/15/17, Quick Quack submitted a Preliminary Site Plan application to the City for review. Since this application was not a step required by default prior to Development Plan Review, the City Community Planning Director, or Quick Quack, requested that it occur. We can reasonably assume, then, that either City Staff or Quick Quack foresaw some uncertainty in the feasibility of this project and decided it would be worth going through Preliminary Site Plan Review before going forward with a formal application. The timeline in which Quick Quack decided it would proceed with this site, with full knowledge of the circumstances they improperly claim create a hardship that is not self-imposed, is outlined as follows:

- **1/26/17** – Quick Quack produces their first site plan for the car wash. (Exhibit C). Note that this site plan does not comply with the 20’ drive-through landscape buffer requirement even without the ROW dedication. This is indicative of the applicant’s unfamiliarity with Tempe zoning standards and why they or City Staff decided they should go through Preliminary Review prior to formal application.
- **Sometime before 2/15/17** – Quick Quack submits a Preliminary Site Plan application.
- **2/15/17** – the first Preliminary Site Plan Review takes place. Staff emails comments to Quick Quack’s general contractor the next day in which the Tempe Transportation Division requested they “**provide a 10’ right-of-way dedication along Baseline Road.** (Exhibit D, page 8).” Transportation even provided a conceptual bus pullout dated **December 2015** that very clearly takes a piece of the north property line, in support of the fact that the dedication was planned (Exhibit E). Additionally, Staff markups ask that Quick Quack provide a 20’ landscape buffer along the north property line, pursuant to Section 3-408 (Exhibit F).
- **3/08/17** – Quick Quack emails Staff acknowledging receipt of the first Preliminary Site Plan Review comments and mentions feasibility concerns regarding the 10’ ROW dedication request. At this point, Quick Quack is addressing Staff’s comments “internally,” essentially in preparation “for a formal submittal” that has not yet occurred (Exhibit G, page 1).
- **3/17/17** – Staff again makes it clear that per the Transportation Division comments, a “10’ right-of-way dedication would shift the property line to the south by 10’” (Exhibit H, page 1).
- **4/07/17** – Tempe Transportation produced a conceptual ROW drawing. This was shared internally among staff but was likely shared with Quick Quack. (Exhibit I)
- **5/03/17** – Quick Quack revises their site plan to include a landscape buffer along the north property line, but it still does not comply with the 20’ requirement of Section 3-408 (Exhibit J).
- **5/23/17** – second Preliminary Site Plan is submitted and receipt acknowledged by Staff (Exhibit K).
- **6/31/17** – a second Preliminary Site Plan Review takes place. Staff informs Quick Quack that if they are not going to comply with the required 20’ landscape buffer for maneuvering drive lanes, they will need a variance. They will also need a variance to reduce the parking setback and a use permit to exceed the parking maximum (Exhibit L). Staff also informs Quick Quack that a final design of the buss pullout will be provided to them and that they may proceed with submittal of formal applications (Exhibit M, page 2). As of this date, Quick Quack has not formally applied to operate a car wash on this property.
- **7/14/17** – Quick Quack revises their site plan but has not increased the landscape buffer to the required 20’ (Exhibit N).
- **7/24/17** – Quick Quack applies for Variances and Use Permit.

- **7/26/17** – Quick Quack is informed that their Development Plan Review application is incomplete and that first review of the DPR application will not be conducted until the application is deemed complete (Exhibit O).
- **Sometime between 7/26/17 and 8/02/17** – Quick Quack’s formal application is officially complete and submitted.
- **8/02/17** – the first Formal Site Plan Review takes place (Exhibit P). “Formal Site Plan Review” is not defined in the Tempe Zoning Code, however Staff noted in the email in which these files were sent that this was the “1st Review of DPR” (Development Plan Review) (Exhibit Q).
- **8/11/17** – First review of variances
- **8/24/17** – Revised variance request and revised site plan. Quick Quack is no longer requesting a parking setback variance and is only seeking the landscape buffer variance.
- **10/09/17** – Second review of use permit and Development Plan Review submittals.

The critical moments in time in Quick Quack’s process of seeking approvals are the days surrounding February 15 and August 2. On or about February 15, Quick Quack was made aware of the ROW dedication. On or about August 2, Quick Quack formally applied to develop and operate a car wash on the property. In the five-month period leading to formal application, Quick Quack participated in a preliminary review process with the City to determine potential issues and discuss requirements that might affect design or feasibility. Quick Quack was properly notified of the ROW dedication very early on in the process, yet still decided to proceed with this parcel and has refused to adjust their site plan to a size appropriate for this site. This is an unambiguous case of a hardship self-imposed by the applicant. The requirements that were going to be imposed on this property are plainly stated in Tempe’s Engineering Design Criteria, the owners of the property dealt with a similar situation in 2014, and Quick Quack became aware of the requirements before formal application. Any variance, therefore, is unwarranted and the variance granted to Quick Quack by the hearing officer on October 3, 2017 must be overturned. Thank you for allowing us the opportunity to comment and we look forward to presenting at the appeal hearing.

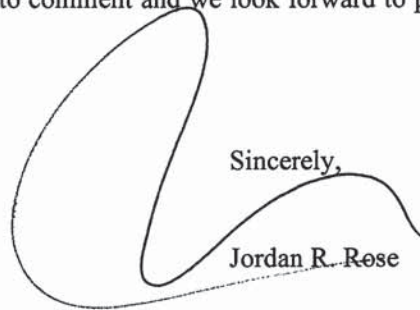
Sincerely,

Jordan R. Rose

EXHIBIT A



EXHIBIT B

Preliminary Site Plan Review – City of Tempe Comments

MEETING DATE: 8/13/2014

PROJECT NAME: ARIZONA GENERAL HOSPITAL ER

ADDRESS: 5201 S MCCLINTOCK DR

CASE NUMBER: SPR14110

SECTION: 1S

ZONING: PCC-1

PROJECT COORDINATOR: William Kersbergen

Preliminary Site Plan Review DISCLAIMER

Preliminary Site Plan Review process is intended to provide project input regarding the requirements of the City Code, General Plan, Zoning and Development Code, Building Codes, and other relevant city policies and regulations. The process involves routing a proposed project to all departments involved in development to gather initial comments on the project, identifying requirements/recommendations that might affect the design or feasibility of the project and guide the customer on the formal process procedures. It is a valuable tool for design professionals to use and to determine how cost effective major project elements are, what would need to be changed to meet code requirements, what would require special approval, and what is prohibited. This information can be invaluable to the design professionals when developing a comprehensive set of documents for city review, permitting, and construction. **Preliminary Site Plan Review is not an approval process, nor does it imply support or opposition for a proposed concept.** The comments provided by staff are *preliminary*, based on the information provided, and are not comprehensive; additional comments and requirements may be generated when a complete formal submittal is processed for entitlements. Building permits may not be obtained until the formal entitlement process is complete.

Planning Division:

Comments

- Review alternative plan provided by City of Tempe Staff
- The building street side setback is zero, the rear/side setbacks are 30'-0". By flipping the building to the street frontage, you have more available land to develop.
- Your variance request does not meet the approval criteria identified in The Zoning and Development Code (ZDC) section 6-309(D).
- The Parking model is able to be used when there are multiple users on a sight, or in a shared situation. If you wish to pursue a shared model, provide data in the same ratio designation as the City of Tempe Uses, ie. 1 space per 150 sf, not 3 spaces per 1000sf. Provide data based on local emergency facilities, along with the Texas based data.
- You are able to calculate the parking requirement by using the inside face of exterior walls. Refer ZDC 4-603(D)2.
- See Transit comment regarding bus bay, typically 11' x 175'. This would be an easement, not a dedication, so parking setback is un-affected. This may require a cross-access and internal connection to the east.

Application Process		For Further Processing Provide	
<input checked="" type="checkbox"/>	Development Plan Review	<input checked="" type="checkbox"/>	Floor Plans
<input type="checkbox"/>	PAD Overlay	<input checked="" type="checkbox"/>	Elevations (all sides)
<input type="checkbox"/>	Zoning Map Amendment	<input checked="" type="checkbox"/>	Building Sections w/ Mech. Equip
<input type="checkbox"/>	General Plan Amendment	<input checked="" type="checkbox"/>	Grading and Drainage
<input type="checkbox"/>	Subdivision / Condo Plat	<input checked="" type="checkbox"/>	Landscape Plan and Lighting Locations
<input type="checkbox"/>	Variance	<input checked="" type="checkbox"/>	Photometrics and cut sheets
<input type="checkbox"/>	Neighborhood Meeting	<input checked="" type="checkbox"/>	Justification Letter
<input type="checkbox"/>	Security Plan	<input type="checkbox"/>	Site Photos - Digital Format

Type	Code Reference
City Code	Tempe City Code and City Charter
Zoning	Zoning and Development Code
General Plan	General Plan 2030
Subdivision	Subdivision Ordinance 99.21

Additional Planning Division information is available at [City of Tempe - Planning](#)

Public Works Department:

	Comment
<i>Engineering</i>	<ul style="list-style-type: none"> • Driveways will be required to be brought up to current City of Tempe standards • 100 year onsite retention is required. • Any connections to storm drains must be eliminated. • Show all drainage calculations, units & formulae. Show drainage patterns/spot elevations. Provide positive grade breaks @ all property lines so that design event is retained on-site. • Maximize surface retention; including pavement retention, with positive outflow, up to 1-foot and landscape retention basins up to 3-foot. • If drainage runoff drains over property boundaries between parcels, cross drainage agreements will be required. • Drywells required when retention depth exceeds one-foot. Drywells are to be located near where there is vehicular access for maintenance such as a street alley or drive. No direct connections from paved areas to drywells. No single-chamber drywells. All drywells shall be in landscaped area. Planning Dept. landscape requirements will not be reduced to make room for drywells. • Show drywell dissipation calculations. Use 0.1cfs for drywell dissipation rate unless substantiated by percolation test & applying a 50% reduction factor then 0.25cfs is maximum allowable rate. • Check with City to obtain underground retention storage criteria. • Avoid crossing water lines beneath sanitary sewer and/or storm drain lines. Avoid crossing storm drain lines beneath sanitary sewer lines. • Any abandoned water or sewer services/connections must be capped at the main and clearly identified on the civil improvement plans. All abandoned driveways must be removed and replaced with curb, gutter, and sidewalk. • Check condition of curb and sidewalk adjacent to property for possible replacement if deteriorated. Engineering inspector will check for this during construction. • Show all easements, new & existing. • No structures, lights, poles, trees, deep-rooted plants, etc allowed in easements or above underground utilities. • Any new or existing overhead utilities (if any) on or

	<p>adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5kv).</p> <ul style="list-style-type: none">• Show fire sprinkler connections on civil plans, as required per IBC Section 903 as amended.• Show water & sewer utilities, including LF of trenching required.• For water and/ or sewer improvements, Maricopa County Environmental Services Department (MCESD) approval will be required before City of Tempe City Engineer approval. Plans must be in “approvable” condition before Approval to Construct Application (needed for MCESD approval) will be signed by Water Utilities Dept.• Engineering plan submittal required. When submitting civil engineering plans including site, grading/drainage, water & sewer plans as may be needed for proposed improvements, please be sure design and plans are 100% complete and an in-house QA/QC is complete prior to submitting to City for engineering review. Submittals will be reviewed for Administrative Completeness and any incomplete submittals will be returned to the applicant. Read, follow & comply with the latest edition of “COT Public Works Department Engineering Design Criteria Manual” (www.tempe.gov/engineering) and this SPR.• Any easements granted to the City of Tempe or any agreements entered into with the City must be recorded with the Maricopa County Recorder by the engineer/customer; the original recorded document along with any exhibits must be returned to the City prior to plan approval.• Submit a copy of the Warranty Deed or Title Report, current to within six months, with the initial Engineering plan submittal for review.• Additional comments will be made when a more complete set of plans are submitted.• Addresses and street names (including private streets) will be assigned by Engineering. Suite numbers to be assigned by Development services. Submit 1 full size & 1 half size site plan to Engineering Services Counter for address and street name assignment.• Planning Dept. landscape requirements will not be reduced to make room for drywells. Avoid crossing water lines beneath sanitary sewer and/or storm drain lines.
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	<ul style="list-style-type: none"> • All abandoned driveways must be removed and replaced with curb, gutter, and sidewalk. • Dimension all driveways and City owned appurtenances using centerline station and offset. • Differentiate between existing and proposed water appurtenances on plans. Any abandoned water or sewer services/connections must be capped at the main and clearly identified (including meters) on the civil improvement plans. • Show fire sprinkler connections on civil plans, (for reference only). Provide note that actual location of FDC as shown on approved sprinkler plans. • Avoid crossing storm drain lines beneath sanitary sewer lines. • Dimension R.O.W. per MAG STD DTL 112 • Provide water and sewer design reports • Demonstrate/verify capacity in sewer lines servicing this project based upon proposed development • Grinder pump will not be allowed in public sewer • NPDES (National Pollutant Discharge Elimination System) requirements shall be met. ADEQ Notice of Intent (NOI) Certificate for developments 1 acre and larger (or phased construction in which the combined phases results in greater than 1 acre of disturbance) shall be submitted prior to engineering grading and drainage plan approval in order to show that the development is in compliance with the Storm Water Pollution Plan (SWPPP) requirements. A SWPPP is to be submitted with the NOI. • No trees within 20 feet of existing flood irrigation, sewer, or water lines. • Public Waterlines must be 20' from trees and 16' from building foundations • No new trees within 20-ft of the water and sewer lines per Engineering Design Criteria Manual. It is acceptable for a new tree to be placed where an existing tree had been previously located. If the 20-foot offset for new trees from water utilities cannot be maintained, then coordinate with Mark Weber, Water Utilities Division, 350-8526, for a case by case evaluation to see if a root barrier system would be an alternative for trees no closer than 12 feet from the water or sewer line. The root barrier would be installed to a depth of 8 feet around the trees or linearly parallel to the water line for a running distance of 12 feet (on both sides of the tree for a minimum of 6 feet each way). The root barrier shall be a continuous material a minimum of 0.08"
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	thick material installed 2-inches above finished grade to a depth of 8-feet below grade.
<i>Land Services</i>	•
<i>Refuse</i>	• Please contact Solid Waste with plan for refuse removal including entry and exit route for vehicle..
<i>Streets</i>	•
<i>Traffic</i>	• Driveways to be per COT Detail T-320, 30' -40' width. • Cross access agreement may be required.
<i>Transit</i>	• Provide a bus pullout on the north side of the project (eastbound Baseline Rd.) per Tempe detail T-654. Contact person at Transit is Scott Balck (480) 350-8295.
<i>W.U.D.</i>	<p>Water</p> <ul style="list-style-type: none"> • Existing 1" water service appears to be from McClintock. • Existing services that are not used shall be removed and capped at the main. • Show fire suppression line with backflow prevention and isolation valve from domestic service line. • Locations of all taps shall be dimensioned on the plans. • For new water services, provide an estimate of flow rate in gallons per minute for average day water demand. • Commercial water service taps may be installed by the contractor/developer or by the City of Tempe. The contractor/developer shall install the water meter box/vault and shall extend the pipe through the box/vault in preparation of the meter installation. The City of Tempe only shall install, remove or relocate water meters. • Service taps shall not be closer than 5' on any line. • Potable water service lines and meters shall be the same size. Meter size will be based on the design flow rate, latest meter technology and capability. • Appropriate backflow prevention devices are required based on onsite use. Backflow preventers shall be located on private property and outside of the public right-of-way or outside of public easements immediately after the meter near the property line or easement, in all cases before the first branch leading off of the service line, and in an accessible location approved by the Water Utilities Division. • Fire suppression system connections must be isolatable at the main from supporting fire hydrants. (This may require cut in tees with three valve clusters.) <p>Sewer</p> <ul style="list-style-type: none"> • New service if needed will be to main in McClintock. • Existing sewer services not used must be capped and

	<p>abandoned at the main.</p> <ul style="list-style-type: none"> • The following requirement must be met when an existing sewer tap, which is not currently in use, is to be utilized in design. A sealed/signed statement from the design engineer must be submitted with the plans indicating that the existing sewer tap has been physically located and has been flow tested, TV'd, etc. to ensure the sewer tap's serviceability. This must be received prior to City plan approval and prior to any permit issuance. • All taps shall be machine drilled only and shall be a minimum of 6 inch diameter.

Type	Code Reference
Civil Engineering & Right of Way	Engineering Design Criteria
Standard Details	Standard Details
MAG Standards	MAG Uniform Standard Specifications & Uniform Standard Details for Public Works Construction

Additional Public Works information is available at [City of Tempe – Public Works](#)

Building Safety Division:

Comment

- Plans submitted are insufficient and do not provide enough information for a code overview
- Provide one (1) accessible route to the public right-of-way
- Submit 2 complete sets of construction documents to Building Safety for building permit once planning entitlements are approved

Type	Code Reference
Administrative	Tempe Administrative Code
Building	2009 International Building Code (IBC) w/ Amendments
Existing Building	2009 International Existing Building Code (IEBC) w/ Amendments
Residential	2009 International Residential Code (IRC) w/ Amendments
Mechanical	2009 International Mechanical Code (IMC) w/ amendments
Plumbing	2009 International Plumbing Code (IPC) w/ amendments
Electrical	2008 National Electrical Code (NEC) w/ amendments
Energy	2009 International Energy Conservation Code (IECC) w/ amendments
Fuel Gas	2009 International Fuel Gas Code (IFC) w/ amendments

Additional Building Safety Division information is available at [City of Tempe - Building Safety](#)

Building Code questions contact Roger Vermillion, Plan Review Administrator, at 480-350-8071 or email roger_vermillion@tempe.gov

Permit submittal requirements and processing questions contact Lisa Loyd, Development Project Coordinator, at 480-350-8644 or email @ lisa_loyd@tempe.gov

Fire Comments

Comment

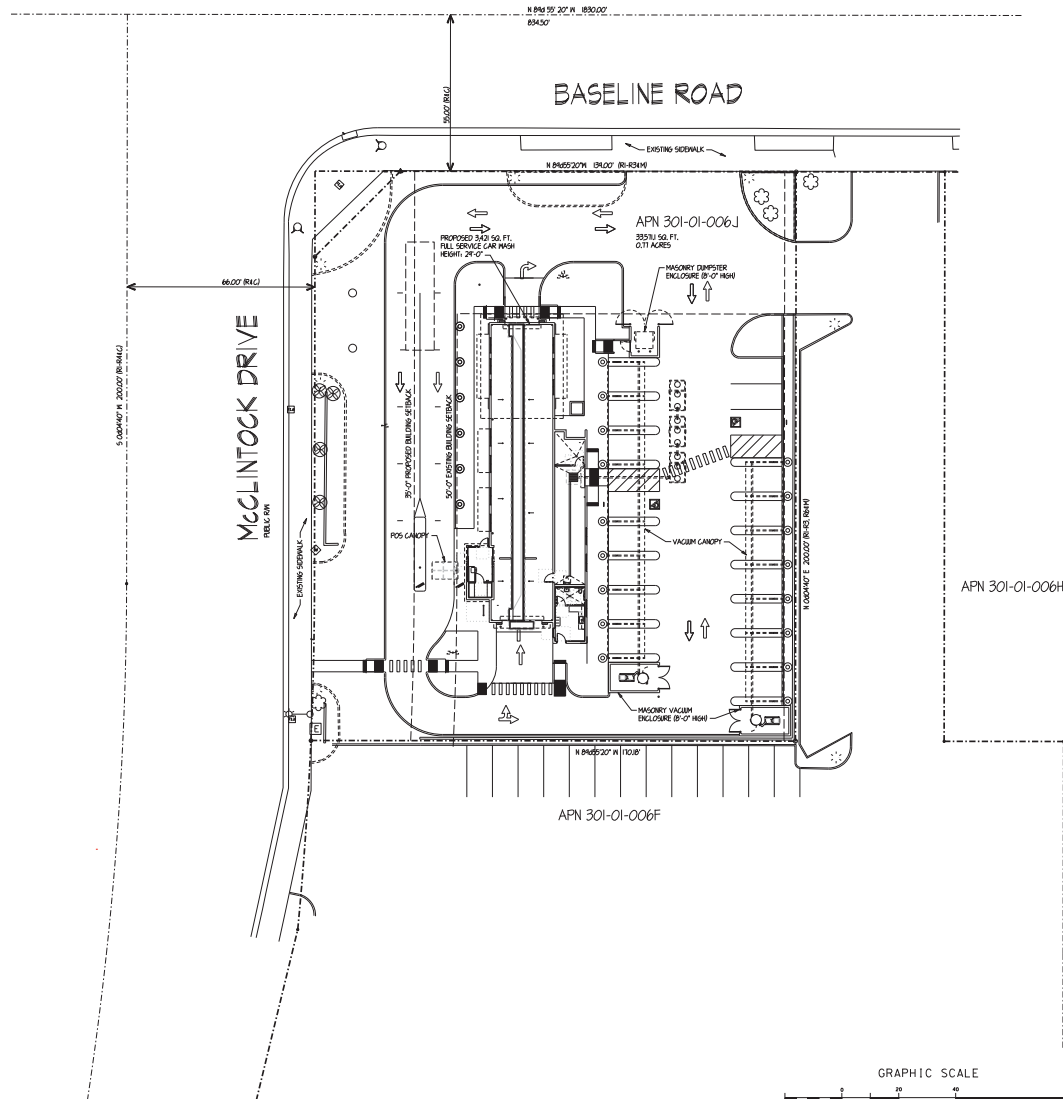
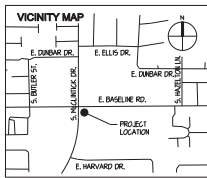
- Plan shall show existing and proposed hydrants.
- Fire apparatus access shall comply with Chapter (5) IFC.
- Plan shall show finished site walls, fencing or other obstructions that may hinder FD access.

Type	Code Reference
Fire Code	2006 International Fire Code w/ Amendments
Fire Sprinkler	2002 NFPA 13
Fireplace	Fireplace Ordinance

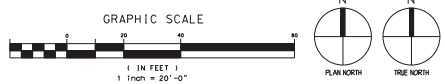
Additional Fire information is available at [City of Tempe – Fire](#)

	Comment
<i>Police</i>	•
<i>F.I.T- Communications</i>	• No comment.
<i>CS-Art in Private Dev</i>	• No AIPD required
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•

EXHIBIT C



PROJECT DATA	
SITE ACREAGE	0.71 ACRES
EXISTING ZONING	PGC-1 PROPOSED ZONING: PGC-1 (SAME)
OVERLAY DISTRICT	N/A
BUILDING USE	FULL SERVICE CAR WASH
CONSTRUCTION TYPE, V-B	SPRINKLERED, NO
BUILDING AREA	3421 SQUARE FEET (GROUND)
BUILDING HEIGHT	24'-0"
TUNNEL DIMENSIONS	23'-0" x 105'-4" (EXTERIOR)
PARKING SPACES	REQUIRED: 1 SPACE PER 300 SQ. FT., 4 BICYCLE PARKING MINIMUM 3421 SQ. FT. / 300 SQ. FT. = 11.4 SPACES MINIMUM
	PROPOSED: 15 VACUUM PARKING SPACES (INCLUDING ONE ACCESSIBLE), 3 STAFF PARKING SPACES (INCLUDING ONE ACCESSIBLE) NOTE: (2) STAFF WORKING AT ALL TIMES. TUNNEL CAPACITY: 3 VEHICLES AT ANY POINT IN TIME
PROPERTY OWNER	RUSA VIDA PROPERTIES 8048 SOUTH GRANDVIEW AVENUE TEMPE AZ 85284 CONTACT: JAMIE BERT PHONE: 480.714.3842 E-MAIL: jbert@rusedev.com
APPLICANT:	IDENTITY INITIAL, LLC, AS AGENT FOR QUICK QUACK DEVELOPMENT, LLC 2902 E. NORTHERN AVENUE, SUITE A PHOENIX, AZ 85008 CONTACT: JEFF HALLERS PHONE: (602) 95-6865, FAX: 602-661-6662, E-MAIL: jeff@water.com
DESIGN PROFESSIONAL:	ADM ARCHITECTS, P.A. 516 COLISEUM CENTRE DRIVE CHARLOTTE NC 28207 CONTACT: ROBERT J. LAUER, JR / MANAGING PRINCIPAL PHONE: 704-378-1919, FAX: 378-1920, E-MAIL: robert@admarchitects.com



OVERALL SITE PLAN SCALE: 1"=20'-0" 01

adm architects
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architecture planning interiors
101 west worthington avenue, suite 270
charlotte, north carolina 28203
t) 704 378 1919
f) 704 378 1920
www.admarchitects.com

NEW FACILITY FOR
Quick Quack Car Wash
5201
S. McCLINTOCK DR.
TEMPE, AZ 85283

OVERALL SITE PLAN

DATE 01.28.2017
PROJECT NO 16097

REVISIONS
NO DATE DESCRIPTION

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BSL

SHEET NUMBER **A002**

EXHIBIT D

Site Plan Review – City of Tempe Comments

MEETING DATE: 2/15/2017
PROJECT NAME: QUICK QUACK CAR WASH
ADDRESS: 5201 S MCCLINTOCK DR
CASE NUMBER: SPR17032
SECTION: 1S
ZONING: PCC-1
PROJECT COORDINATOR: Karen Stovall

PRELIMINARY Site Plan Review DISCLAIMER

Preliminary Site Plan Review provides early input regarding the requirements of the City Code, General Plan, Zoning and Development Code, Building Codes, and other relevant city policies and regulations. The process involves routing a proposed project to all departments involved in development to gather initial comments on the project, identifying requirements/recommendations that might affect the design or feasibility of the project.

The comments provided by staff are ***preliminary***, based on the information provided, and are not comprehensive; additional comments and requirements may be generated when a complete formal submittal is processed for entitlements. **Until the formal planning entitlement process is completed, submittals for building permits may not be accepted.**

Preliminary Site Plan Review is not an approval process, nor does it imply support or opposition for a proposed concept. Preliminary Site Plan Reviews may be resubmitted for a total of 3 reviews with no additional charge, prior to a formal application.

COMMUNITY DEVELOPMENT DEPARTMENT:

Planning Division:

Comments	
	<ul style="list-style-type: none"> • Please see team’s comments in the remainder of this report and the comments on the redlined plans. • Approvals of Development Plan Review and Use Permit for car wash are required for this proposal. These applications may be processed and heard concurrently before the Development Review Commission. • Review the Kiwanis / The Lakes Character Area Plan and identify priorities that are met by proposed development OR modify plan to meet some of the area priorities. Identify in the letter of explanation how the proposal addresses both the Development Plan Review approval criteria and the character area plan. Plan may be found here: http://www.tempe.gov/city-hall/community-development/character-areas/kiwanis-the-lakes • While not required, it is <u>strongly</u> recommend that a second Preliminary Site Plan Review is submitted prior to formal application. This will allow staff to review the plan modifications that are required to address first review comments. No additional fee is required for a second or third Preliminary review.
<input type="checkbox"/>	Submit another Preliminary Site Plan Review with additional information prior to making a formal application.

Formal entitlement application/process requirements (click on links)	
X	Development Plan Review
<input type="checkbox"/>	Plan Area Development Overlay
<input type="checkbox"/>	Zoning Map Amendment
<input type="checkbox"/>	General Plan Amendment
<input type="checkbox"/>	Subdivision / Condo Plat
X	Use Permit / Use Permit Standard
<input type="checkbox"/>	Variance
<input type="checkbox"/>	Public Involvement Plan and Neighborhood Meeting

In addition to the submittal requirements in the links above, a formal application for this request will require the following:	
Provide	Preliminary Site Plan Review revisions to address comments from report and markup
Provide	Refuse Plan
Not Applicable	Parking Analysis
Not Applicable	Traffic Impact Study
Not Applicable	Fire Access Plan
Not Applicable	Solar Study
_____	Shadow Study – required if alternative landscape plan is proposed.

Provide	Color perspectives, 2 angles from street level (not aerial)
Provide	Street elevations with all buildings and landscape materials (use actual specimens) to show design aesthetic visible to neighborhood
Not Applicable	3D model or SketchUp for projects in CC district & Town Lake area (Rio Salado north to Loop 202), 7+ stories
Provide	Preliminary Underground Utility Plan with tree locations
Provide	Lighting Plan Detail showing the following: a) locations of light poles and light fixtures on building with 50% Landscape Plan overlay and; b) cut sheets or design of light fixtures
Provide	Contextual aerial map with site plan overlay

Type	Code Reference
City Code	Tempe City Code and City Charter
Zoning	Zoning and Development Code
General Plan	General Plan 2040
Subdivision	Subdivision Ordinance 99.21
Additional Planning Division information is available at City of Tempe - Planning	

NOTE: Effective immediately the Planning Division will conduct administrative completeness checks of formal applications and notify applicants of the status of their applications. Incomplete applications must be retrieved by applicants and resubmitted with all required items. Substantive reviews of formal applications begin only after they are deemed complete.

Development Services Division – Building Safety:

Comment
<ul style="list-style-type: none"> Plans submitted are insufficient and do not provide enough information for a code overview Fire sprinklers required per COT amendments sec 903.2.1 Canopies required to be 5' from adjacent property line or building; see COT amendments sec 406.3.6 General Government Development Fees to be collected at the time of building permit issuance (see info below) Submit 2 complete sets of construction documents to Building Safety for building permit once planning entitlements are approved

NOTE: The adoption of the 2012 I-Codes and 2011 NEC is effective July 1st, 2015. Please see our website for additional information @ <http://www.tempe.gov/city-hall/community-development/development-services/building-codes-and-amendments>

Development Fees for police facilities, fire facilities, street facilities and park and recreational facilities (collectively, "General Government "Development Fees) were adopted by City Council on October 22, 2015 and will become effective on January 5,

2016. The City of Tempe historically has only charged water and wastewater development fees to account for system expansion due to development. Please see link below to access the General Government Development Information Sheet and Tempe Development Fee Schedule:

<http://www.tempe.gov/city-hall/community-development/development-services/fees>

Additional Building Safety Division information is available at <http://www.tempe.gov/city-hall/community-development/development-services>

Building Code questions contact Roger Vermillion, Plan Review Administrator, at 480-350-8071 or email roger_vermillion@tempe.gov

Permit submittal requirements and processing questions contact Lisa Loyd, Development Project Coordinator, at 480-350-8644 or email @ lisa_loyd@tempe.gov

Development Services Division – Civil Engineering:

Comment

- Verify retention basin does not occupy more than 67% of the landscape frontage along McClintock Road
- Provide evidence of cross access agreements
- 100 year onsite retention is required.
- Any connections to public storm drains must be eliminated.
- Show all drainage calculations, units & formulae. Show drainage patterns/spot elevations. Provide positive grade breaks @ all property lines so that design event is retained on-site.
- Maximize surface retention; including pavement retention, with positive outflow, up to 1-foot and landscape retention basins up to 3-foot.
- If drainage runoff drains over property boundaries between parcels, cross drainage agreements will be required.
- Drywells required when retention depth exceeds one-foot. Drywells are to be located near where there is vehicular access for maintenance such as a street alley or drive. No direct connections from paved areas to drywells. No single-chamber drywells. All drywells shall be in landscaped area. Planning Dept. landscape requirements will not be reduced to make room for drywells.
- Show drywell dissipation calculations. Use 0.1cfs for drywell dissipation rate unless substantiated by percolation test & applying a 50% reduction factor then 0.25cfs is maximum allowable rate.
- Check with City to obtain underground retention storage criteria.
- Avoid crossing water lines beneath sanitary sewer and/or storm drain lines. Avoid crossing storm drain lines beneath sanitary sewer lines.
- Any abandoned water or sewer services/connections must be capped at the main and clearly identified on the civil improvement plans. All abandoned driveways must be removed and replaced with curb, gutter, and sidewalk.
- Check condition of curb and sidewalk adjacent to property for possible replacement if deteriorated. Engineering inspector will check for this during construction.

- Show all easements, new & existing.
- No structures, lights, poles, trees, deep-rooted plants, etc allowed in easements or above underground utilities.
- Any new or existing overhead utilities (if any) on or adjacent to site must be placed underground, including street crossings, per City of Tempe Code, Section 25-120 thru 25-126 & Ord # 88.85 except for transmission lines (greater than 12.5kv).
- Show fire sprinkler connections on civil plans, as required per IBC Section 903 as amended.
- Show water & sewer utilities, including LF of trenching required.
- For water and/ or sewer improvements, Maricopa County Environmental Services Department (MCESD) approval will be required before City of Tempe City Engineer approval. Plans must be in “approvable” condition before Approval to Construct Application (needed for MCESD approval) will be signed by Water Utilities Dept.
- Engineering plan submittal required. When submitting civil engineering plans including site, grading/drainage, water & sewer plans as may be needed for proposed improvements, please be sure design and plans are 100% complete and an in-house QA/QC is complete prior to submitting to City for engineering review. Submittals will be reviewed for Administrative Completeness and any incomplete submittals will be returned to the applicant. Read, follow & comply with the latest edition of “COT Public Works Department Engineering Design Criteria Manual” (www.tempe.gov/engineering) and this SPR.
- Additional comments will be made when a more complete set of plans are submitted.
- Addresses and street names (including private streets) will be assigned by Engineering. Suite numbers to be assigned by Development services. Submit 1 full size & 1 half size site plan to Engineering Services Counter for address and street name assignment.
- Planning Dept. landscape requirements will not be reduced to make room for drywells. Avoid crossing water lines beneath sanitary sewer and/or storm drain lines.
- All abandoned driveways must be removed and replaced with curb, gutter, and sidewalk.
- Dimension all driveways and City owned appurtenances using centerline station and offset.
- Differentiate between existing and proposed water appurtenances on plans. Any abandoned water or sewer services/connections must be capped at the main and clearly identified (including meters) on the civil improvement plans.
- Avoid crossing storm drain lines beneath sanitary sewer lines.
- Dimension R.O.W. per MAG STD DTL 112
- Provide water and sewer design reports
- Demonstrate/verify capacity in sewer lines servicing this project based upon proposed development
- Grinder pump will not be allowed in public sewer
- NPDES (National Pollutant Discharge Elimination System) requirements shall be met. ADEQ Notice of Intent (NOI) Certificate for developments 1 acre and larger (or phased construction in which the combined phases results in greater than 1 acre of disturbance) shall be submitted prior to engineering grading and drainage plan approval in order to

show that the development is in compliance with the Storm Water Pollution Plan (SWPPP) requirements. A SWPPP is to be submitted with the NOI.

- No trees within 16 feet of existing flood irrigation, sewer, or water lines.
- Public Waterlines must be 16' from trees and 16' from building foundations
- No new trees within 16-ft of the water and sewer lines per Engineering Design Criteria Manual. It is acceptable for a new tree to be placed where an existing tree had been previously located. If the 16-foot offset for new trees from water utilities cannot be maintained, then coordinate with Mark Weber, Water Utilities Division, 350-8526, for a case by case evaluation to see if a root barrier system would be an alternative for trees no closer than 8 feet from the water or sewer line.
- Shoring plan submittal may be required.
- For drive entrances that are ramped, a 20-foot flat zone is required from back of sidewalk to start of the ramp so adequate driver sight distance to pedestrians in the public sidewalk is maintained.
- Maintenance agreement is required for any non-standard public sidewalks.

Development Services Division – Engineering Land Services:

Comment

- Property must tie to two found Monument points, preferably section and/or quarter corners
- Provide a site specific legal description
- Show and dimension all existing public utilities/easements as tied to property line and/or street centerline.
- Dimension site with bearings, distances and corner cut-off or curve information if applicable
- Show and dimension all existing r/w on adjacent streets and alleys
- Dimension all driveways and City owned appurtenances using centerline station and offset.
- Sidewalk easement is required for any public sidewalks located on property.
- Recorded Cross-Access agreement will be required for any common used driveways or access to/from adjacent parcel.
- All private utility boxes, transformers, switching cabinets etc...must be placed on private property and not in the right of way or in a retention basin.
- If building over an easement, abandonment will be required. Any existing facilities within the easement will have to be removed, relocated into a new easement and in working condition before abandonment will be approved/recorded.
- No structures, lights, poles, trees, deep-rooted plants, etc allowed in Public Utility/City water/sewer easements.
- Submit a copy of the Vesting Deed and Title Report, current to within six months, with the initial Engineering plan submittal for review.
- City must be provided a recordable legal description and exhibit (sealed by P.E. or RLS) for any easements to the City of Tempe or for any agreements entered into with the City. These documents must be recorded by the City, prior to plan approval.
- Additional comments will be made when a more complete Site plan is submitted.
- Encroachment permit/license will be required for any structure in, over, across any public right of way.

COMMUNITY SERVICES DEPARTMENT

Art in Private Development

Comment

-

Additional AIPD information is available at www.tempe.gov/aipd

HUMAN SERVICES DEPARTMENT

Diversity Division – Accessibility (ADA Compliance)

Comment

-

PUBLIC SAFETY:

FIRE DEPARTMENT

Comment

- Locate fire hydrants per IFC 2012
- Locate Fire Dept. connection on main entry side of building

Code Type	Code Reference
Fire Code	2012 International Fire Code w/ Amendments
Fire Sprinkler	2010 NFPA 13
Fire Alarm	2010 NFPA 72

Additional Fire information is available at [City of Tempe – Fire](http://www.tempe.gov/fire)

POLICE DEPARTMENT

Comment

-

Additional Police information is available at www.tempe.gov/cpu

Information regarding the code for Police/security plans: <http://www.tempe.gov/Home/ShowDocument?id=8645>

INTERNAL SERVICES DEPARTMENT

Information Technology Network Division - Communications:

Comments

- Project is not required to comply with City Code Chapter 9, Article II

<i>Application Process</i>	
<input type="checkbox"/>	Specific Areas
<input type="checkbox"/>	Generator Back Up Power
<input type="checkbox"/>	24 Hour Access
<input type="checkbox"/>	BDA Plans

<input type="checkbox"/>	Coverage Testing Plans	<table border="1"> <thead> <tr> <th colspan="2">Notes</th> </tr> </thead> <tbody> <tr> <td></td> <td>Note Elevator and stair wells</td> </tr> <tr> <td></td> <td>24 Hour backup power</td> </tr> <tr> <td></td> <td>CoT needs to have 24 hour access to BDA</td> </tr> <tr> <td></td> <td>Plans detailing BDA, conduit & antenna</td> </tr> <tr> <td></td> <td>Plans detailing testing locations</td> </tr> <tr> <td></td> <td>Submit to email address</td> </tr> </tbody> </table>	Notes			Note Elevator and stair wells		24 Hour backup power		CoT needs to have 24 hour access to BDA		Plans detailing BDA, conduit & antenna		Plans detailing testing locations		Submit to email address
Notes																
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	24 Hour backup power															
	CoT needs to have 24 hour access to BDA															
	Plans detailing BDA, conduit & antenna															
	Plans detailing testing locations															
	Submit to email address															
<input type="checkbox"/>	Documentation Submitted															
Type	Code Reference															
City Code	Tempe City Code and City Charter															
City Requirements	Public Safety Radio Coverage Requirements for Developers															

Additional Public Safety Communications information is available via a City RF Engineer 480-350-2980

PUBLIC WORKS DEPARTMENT:

Environmental Services Division:

Comment
•

Solid Waste Services Division:

Comment
<ul style="list-style-type: none"> • Plans submitted are insufficient and do not provide enough information for Solid Waste services. Please submit Refuse plans that include enclosures, collection pick-up site, and method of service, ingress and egress. Supply all turnarounds or hammerheads. • Double enclosures need to be provided to host both Garbage and Recycling. • Please demonstrate a scaled garbage truck on the ingress and egress for garbage services.

Streets Division:

Comment
•

Transportation Division – Traffic:

Comment
<ul style="list-style-type: none"> • Provide a 10' right-of-way dedication along Baseline Road to result in a 65' half-street right-of-way. • Driveway to be T-320 • 8' sidewalks required along McClintock and Baseline. • Driveways to be removed shall be replaced with curb and gutter, sidewalk, landscape, matching the existing area.

Transportation Division – Transit:

Comment
<ul style="list-style-type: none"> • Provide easement for a bus pullout and Type B (Large) shelter at Baseline Road. See attached PDF for bus pullout concept.

Water Utilities Division:

Comment

Water

- Existing services that are not used shall be removed and capped at the main.
- Show fire suppression line with backflow prevention and isolation valve from domestic service line.
- Locations of all taps shall be dimensioned on the plans.
- For new water services, provide an estimate of flow rate in gallons per minute for average day water demand.
- Water meters and fire hydrants shall be located within a recorded exclusive waterline easement contiguous with the water main system.
- All fire hydrant valves shall be flanged to the tee or 90° elbow.
- Commercial water service taps may be installed by the contractor/developer or by the City of Tempe. The contractor/developer shall install the water meter box/vault and shall extend the pipe through the box/vault in preparation of the meter installation. The City of Tempe only shall install, remove or relocate water meters.
- Service taps shall not be closer than 5’ on any line. Potable water service lines and meters shall be the same size. Meter size will be based on the design flow rate, latest meter technology and capability.
- Appropriate backflow prevention devices are required based on onsite use. Backflow preventers shall be located on private property and outside of the public right-of-way or outside of public easements immediately after the meter near the property line or easement, in all cases before the first branch leading off of the service line, and in an accessible location approved by the Water Utilities Division.
- Fire suppression system connections must be isolatable at the main from supporting fire hydrants. (This may require cut in tees with three valve clusters.)

Sewer

- The following requirement must be met when an existing sewer tap, which is not currently in use, is to be utilized in design. A sealed/signed statement from the design engineer must be submitted with the plans indicating that the existing sewer tap has been physically located and has been flow tested, TV’d, etc. to ensure the sewer tap’s serviceability. This must be received prior to City plan approval and prior to any permit issuance.
- Additional appurtenances are required based on use to satisfy the Fats, Oils and Grease (FOG) Ordinance. These appurtenances shall be installed on private property only. Contact City of Tempe Environmental Services Section at (480) 350-2678 for further information and requirements.
- All taps shall be machine drilled only and shall be a minimum of 6 inch diameter

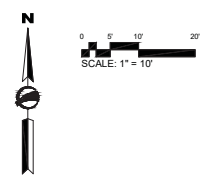
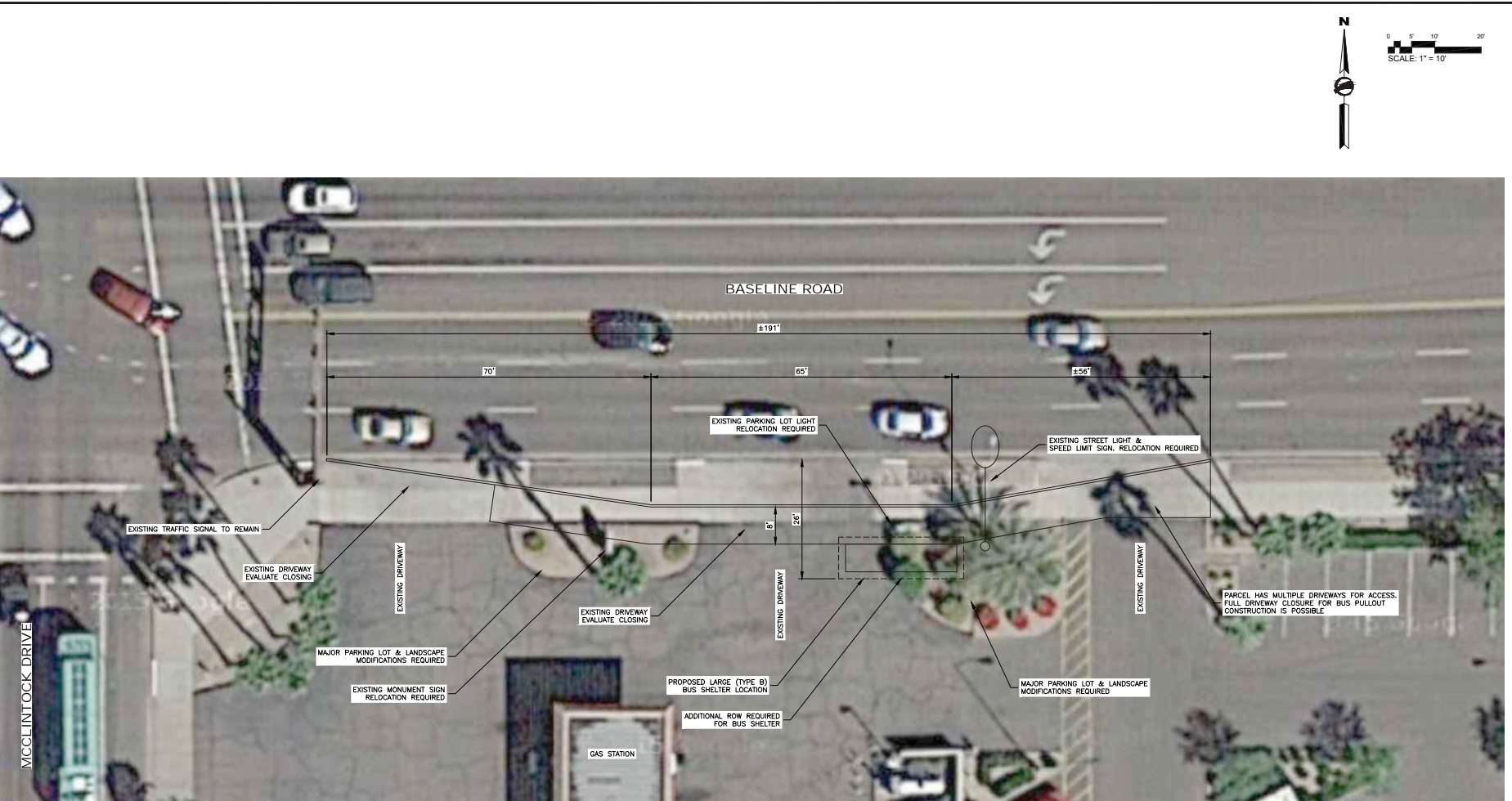
Type	Code Reference
Civil Engineering & Right of Way	Engineering Design Criteria
Standard Details	Standard Details
MAG Standards	MAG Uniform Standard Specifications & Uniform

Additional Public Works information is available at [City of Tempe – Public Works](#)

OTHER WORK GROUPS

	<i>Comment</i>
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•

EXHIBIT E




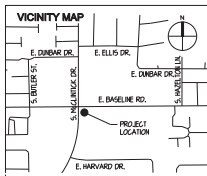
PRELIMINARY		 CivTech Inc. 10605 N. Hayden Rd. 480.659.4250 p Suite 140 480.659.0566 f Scottsdale, AZ 85260 info@civtech.com	
REVIEW			
NOT FOR CONSTRUCTION OR RECORDING		DEPARTMENT OF TRANSPORTATION CITY OF TEMPE DIVISION OF ENGINEERING P.O. BOX 5002, TEMPE, AZ 85280	
SURVEYED: N/A	DESCRIPTION: Bus Pullout Feasibility Study	DATE: 12/09/15	PROJECT NO. 15-650-37
DESIGNED: RINEFFER	EB Baseline Rd & McClintock Dr	Tempe, Arizona	
DRAWN: RINEFFER		SCALE: 1"=10'	
CHECKED: D.GARTER		CONCEPT	
SCALE: 1"=10'		SHT 37 OF 38	

EXHIBIT F



- Provide complete data in project data table. See DPR application p. 2.
- PCC-1 setbacks are 0' front (north), 0' street side (west), 30' interior side (east), and 30' rear (south).
- 20' parking and drive-through landscape setback is required along both streets. See ZDC Table 4-203A and Sec. 3-408.
- Remove all landscape symbols from site plan.
- Do not show walls, curb, and landscaping that exists but will not remain with construction.
- Dimension proposed building setbacks (from north, south, west, and east) from property lines. Do not show required setback lines. Only dimension the proposed.
- Provide screen walls entire length of property, along parking and maneuvering areas. Stagger walls. Provide wall elevations, noting height, materials, and colors.
- Use the standard symbol for property lines, a solid line followed by two dashed lines.
- Per ZDC Sec. 4-704.A.1., provide landscape islands on both north and south ends of parking rows, between spaces and vacuum enclosures.
- Provide a min. 10% landscaping of surface area of surface parking lot and note the % required and provided in the data table. Alternatively, you may submit a "development plan shadow study", per ZDC Sec. 4-704.A.2.
- Show existing (to remain) and proposed street and sidewalk improvements, dimensioned to centerline of the streets. Sidewalks along both streets shall be min. 8' wide.
- Identify adjacent land use types and zoning districts.
- Identify all driveways and fire hydrants within 125' radius of the site.
- Will the site have any vending machines? If so, show proposed location(s).
- Per Building Safety comment, canopies must be min. 5' from property lines and proposed car wash building.
- Per Solid Waste Division, provide a separate solid waste plan, per DS-116, that includes a recycle bin. Provide a 45' clear backing distance from face of enclosure gates to back of sidewalk on Baseline.
- Provide upgraded paving at driveway consisting of integral colored unit paving. Extend paving in the driveway from the ROW line for a min. distance of 20' on-site from curb to curb.

Provide a 20' landscape buffer along north property line. No vehicle maneuvering is permitted within this buffer.

What's this 'triangular area'?

Label

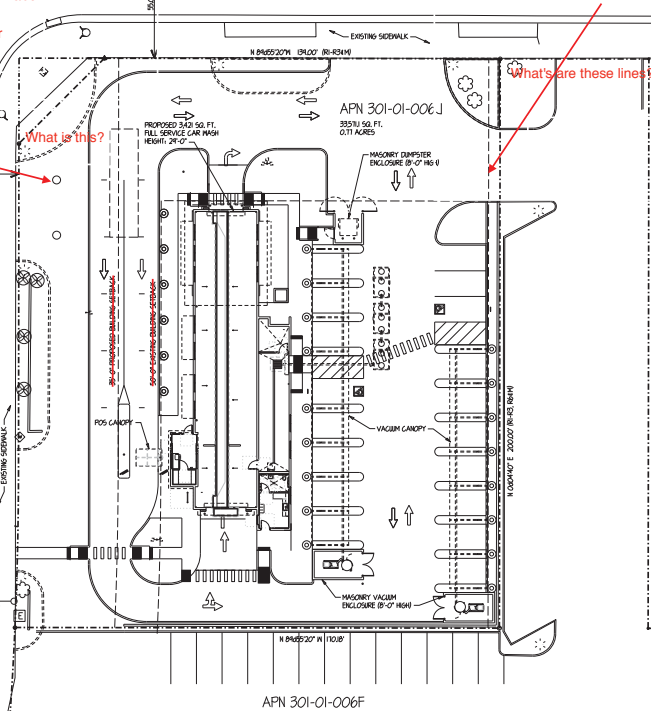
What is this?

What are these lines?

Verify cross access easement with property to east.

McCLINTOCK DRIVE
R&C 100'

BASELINE ROAD



APN 301-01-006H

APN 301-01-006F

PROJECT DATA	
SITE ACREAGE	0.71 ACRES
EXISTING ZONING	R&C-1 PROPOSED ZONING: PCC-1 (BASE)
OVERLAY DISTRICT	N/A
BUILDING USE	FULL SERVICE CAR WASH
CONSTRUCTION TYPE, V-B	SPRINKLERED, NO
BUILDING AREA	3421 SQUARE FEET (GROSS)
BUILDING HEIGHT	24'-0"
TUNNEL DIMENSIONS	23'-0" x 105'-4" (EXTERIOR)
PARKING SPACES	REQUIRED: 1 SPACE PER 300 SQ. FT., 4 BICYCLE SPACES MINIMUM 3421 SQ. FT. / 300 SQ. FT. = 12 SPACES MINIMUM
	PROPOSED: 15 VACUUM PARKING SPACES (INCLUDING ONE ACCESSIBLE), 15 STAFF PARKING SPACES (INCLUDING ONE ACCESSIBLE)
	NOTE: (1) STAFF WORKING AT ALL TIMES
	TUNNEL CAPACITY: 3 VEHICLES AT ANY POINT IN TIME
PROPERTY OWNER	PIRA VIDA PROPERTIES 8048 SOUTH GARDEN AVENUE TEMPE AZ 85284 CONTACT: JAMIE BURT PHONE: 480.734.3942 E-MAIL: jbur@piravida.com
APPLICANT	IDENTITY MITAL, LLC, AS AGENT FOR QUICK QUACK DEVELOPMENT, LLC 2902 E. NORTHERN AVENUE, SUITE A PHOENIX, AZ 85008 CONTACT: JIM WALLERS PHONE: (602) 95-6665, FAX: 602-661-6662, E-MAIL: jwallers@water.com
DESIGN PROFESSIONAL	ADM ARCHITECTS, PA 516 COLISEUM CENTRE DRIVE CHARLOTTE NC 28202 CONTACT: ROBERT J. LAVER, JR. / MANAGING PRINCIPAL PHONE: 704-378-1919, FAX: 378-1920, E-MAIL: robert@admarchitects.com

11 spaces min. required, not 12.

Note the total number of spaces provided (16) and then break into vacuum and staff allocation. Please note

adm architects
environments for life
architecture planning interiors
101 west worthington avenue, suite 270
charlotte, north carolina 28203
t) 704.379.1919
f) 704.379.1920
www.admarchitects.com

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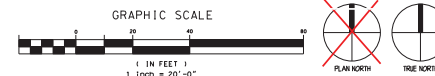
OVERALL SITE PLAN

DATE 01.28.2017
PROJECT NO 16097

REVISIONS
NO DATE DESCRIPTION

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BSL



OVERALL SITE PLAN

SCALE: 1"=20'-0" 01

SHEET NUMBER

A002

EXHIBIT G

Omar Abdallah

From: Stovall, Karen
Sent: Wednesday, March 08, 2017 4:46 PM
To: 'Michael Clark'
Cc: Joseph Walters; pat.sauer@idcap.net
Subject: RE: 1st Review of SPR17032: Quick Quack Car Wash, 5201 S. McClintock Dr.

Michael,

Ok, here we go (faster than I thought):

3/13: 3-5 pm
3/16: 8:30-10 am, 11-1 pm, or 3-4 pm
3/20: 8:30-10 am, 11-noon, or 2-4 pm
3/22: 8-9 am, 2-4:30 pm
3/23: 11 am-noon
3/24: 9-11:30 am, 1-3 pm

Please let me know if any one hour block within the times above would work for you.

Thanks,

Karen

From: Michael Clark [mailto:mclark@mutualdevco.com]
Sent: Wednesday, March 08, 2017 1:39 PM
To: Stovall, Karen
Cc: Joseph Walters; pat.sauer@idcap.net
Subject: RE: 1st Review of SPR17032: Quick Quack Car Wash, 5201 S. McClintock Dr.

Hi Karen – I'm following up on this email from Joe. I know you had requested some specific comments we'd like to meet with your team to discuss. **We have been addressing many of the comments internally for a formal submittal**, but specifically, we would like to address the following items with you and your team:

1. From Traffic: **Request for a 10' right-of-way dedication along Baseline to result in a 65' half-street right of-way.**
2. **Request for a 20' landscape buffer along the north property line,** in which no vehicle maneuvering is permitted.
3. Addition of a bus bay and covered shelter.
The addition of 30' of dedications plus a bus bay creates such large setbacks that the **property becomes unusable for nearly any user except for the building currently operating on the site.**
4. The creation of trellis-style vacuum canopies as seen on a Quick Quack Car Wash on our website. This is a car wash that was acquired and isn't a part of our design standards, and the reason is that while it is a nice look, functionally, it creates almost no shading, which is paramount in the Arizona heat. We would like to discuss alternatives that incorporate a more effective shade structure, but incorporate items like stone, etc., for a more aesthetically pleasing look.
5. Creation of a trellis-style exit from the car wash showroom. We have a great solution that we have offered in certain other markets that allows for a covered exit from the tunnel that is architecturally integrated into the overall design of the building.

We would like to meet with the appropriate disciplines to discuss alternatives to the items above. We have quite a bit of travel the next two weeks, but if you can offer a few times we can meet, we'll make our schedule work.

Thanks for your help!

Michael R. Clark
Mutual Development Company, LLC
2980 E. Northern Ave. Suite A
Phoenix, AZ 85028

602-717-6717 Cell
602-667-6685 Office
mclark@mutualdevco.com

www.mutualdevco.com

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From: Joseph Walters [<mailto:joe@j-walters.com>]
Sent: Thursday, February 23, 2017 10:50 AM
To: Stovall, Karen <Karen_Stovall@tempe.gov>
Cc: Michael Clark <mclark@mutualdevco.com>
Subject: RE: 1st Review of SPR17032: Quick Quack Car Wash, 5201 S. McClintock Dr.

Karen we would like to meet to discuss some of the comments here. Could you propose some times that would work for you next week or the next. I am only around Monday and Tuesday next week.

Thank You

Joseph R Walters
President
J. Walters Construction Co., Inc.

Managing Member
J. Walters Const. Co., LLC
Mutual Development Company, LLC

Principal
Mutual Property Advisors, LLC
2980 E. Northern Ave. Suite A
Phoenix, AZ 85028

602-667-6685 Office
913-915-6685 Cell
joe@j-walters.com

AZ ROC 268707

CA ROC 992986

NV ROC 0079076

www.j-walters.com

www.mutualdevco.com

www.mutualpropertyadvisors.com

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From: Stovall, Karen [mailto:Karen_Stovall@tempe.gov]

Sent: Thursday, February 16, 2017 3:53 PM

To: Joseph Walters <joe@j-walters.com>

Subject: 1st Review of SPR17032: Quick Quack Car Wash, 5201 S. McClintock Dr.

Hi Joe,

Please see the attached PDFs related to the first Preliminary Site Plan Review for Quick Quack. I've attached the SPR report, SPR Markup, a bus pullout conceptual plan, and a contact list of the reviewers.

Please contact me if you have any questions.

Thank you,

Karen Stovall

Planning Division

City of Tempe Community Development Department

karen_stovall@tempe.gov

480-350-8432

EXHIBIT H

Omar Abdallah

From: Stovall, Karen
Sent: Friday, March 17, 2017 2:27 PM
To: 'sboyd@ADWArchitects.com'
Cc: Yabes, Robert; Walman, Chase; Dasgupta, Suparna; Hoang, John
Subject: RE: 2017-03-16_16097 QQCW Baseline-McClintock/Tempe AZ: Site questions

Hi Stephen,

The majority of your questions below are Planning issues, so Chase forwarded the e-mail to me. Please see our answers to your questions below (in red).

Thanks,

Karen

From: Stephen Boyd [<mailto:sboyd@ADWArchitects.com>]
Sent: Thursday, March 16, 2017 1:38 PM
To: Walman, Chase <Chase_Walman@tempe.gov>
Cc: Gina Moore <gmoore@ADWArchitects.com>
Subject: 2017-03-16_16097 QQCW Baseline-McClintock/Tempe AZ: Site questions

Chase-

Thank you for discussing the Quick Quack Car Wash at 5201 S. McClintock Dr. (intersection of Baseline Road & McClintock Road). Attached are my current site drawings of the project.

We currently show a ROW line/property line that is 55'-0" from the centerline of Baseline Road. With the new bus lane, does the ROW line shift further into the interior of the site? **Per Transportation Division comments, yes, a 10' right-of-way dedication would shift the property line to the south by 10'. The south half-street right-of-way width along Baseline would increase from 55' wide to 65' wide.**

From the current ROW/property line on Baseline Road, we show a 50' building setback line. Is there a landscape buffer required along Baseline Road? If so is this established from the ROW/property line or the existing sidewalk? **I'm pasting the applicable Zoning and Development Code (ZDC) sections below.**

For vehicle parking spaces, the landscape buffer is 20' from the property line. See Table 4-203A, PCC-1 column, front parking setback in the table below.

Section 4-203 Development Standards for Commercial and Mixed-Use Districts.

Tables 4-203A and 4-203B, respectively, provide the development standards for commercial districts and mixed-use districts.

Table 4-203A – Development Standards in Commercial Districts (1)							
Standard	R/O	CSS (2)	CC	PCC-1	PCC-2	RCC	Use Permit Standard
Residential Density (DU/acre)	10	20 (U)	NS	15 (U)	25 (U)	0	NA
Building Height [Exceptions, see Section 4-205(A)]							
Building Height Maximum	30 ft	35 ft	50 ft	35 ft	40 ft	75 ft	20%
Building Height Step-Back Required Adjacent to SF or MF District, [Section 4-404, Building Height Step-Back]	No	No	Yes	Yes	Yes	No	NA
Maximum Lot Coverage (% of net site area)	35%	50%	NS	50%	50%	50%	20%
Minimum Landscape Area (% of net site area)	30%	15%	NS	15%	15%	15%	10%
Setbacks (a) [Exceptions, see Section 4-205(B)]							
Front	15 ft	0 ft	0 ft	0 ft	0 ft	25 ft	10%
Parking	20 ft	20 ft	20 ft	20 ft	20 ft	20 ft	10%
Side							
Building Wall	10 ft	0 ft	0 ft	30 ft	30 ft	25 ft	10%
Common Wall	10 ft	0 ft	0 ft	0 ft	0 ft	25 ft	10%
Rear – Building Wall	10 ft	10 ft	0 ft	30 ft	30 ft	25 ft	10%
Street Side	10 ft	0 ft	0 ft	0 ft	0 ft	25 ft	10%
Parking	20 ft	20 ft	20 ft	20 ft	20 ft	20 ft	10%

NS = No Standard. NA = Not Applicable. (U) = Denotes use permit requirement in those districts.

(1) An overlay district may modify the above standards. See Part 5.

(2) CSS district formerly known as CCR, C-1 and C-2 districts.

(a) See also, Section 3-401 for setbacks applying to accessory structures and buildings.

For the maneuvering lanes of a drive-through facility, the landscape buffer is 20' from the sidewalk. See Sec. 3-408.A below.

Section 3-408 Drive-Through Facilities.

Drive-through facilities shall be designed to minimize conflicts with the pedestrian pathway from the public street and to all building entrances. Minimum width of drive-through lanes at straight-away is nine (9) feet. Drive-through pick-up windows located on the south or west building elevation shall provide shade by means of a building canopy or additional trees alongside the drive lane. When new drive-through facilities are oriented towards the street the following standards shall be provided:

- A. All maneuvering drive lanes shall provide for a minimum twenty (20) feet of landscape buffer from the street sidewalk;
- B. A screen wall, three (3) feet in height, shall be located along the drive-through lane where building facades face the street and at the menu board, in compliance with Section 4-706(E);
- C. A delineated pedestrian pathway with a traffic calming device shall be provided where drive lane intersects the pathway, in compliance with Section 4-503; and
- D. Screen walls shall be separated a minimum of six (6) feet from pathway crossing to allow visibility of pedestrians and vehicles.

On McClintock Drive, our client mentioned that we would need an 8'-0" landscape buffer from the 66'-0" ROW/property line. Would this be something you could confirm? A 20' landscape buffer from the drive lane is required along McClintock Drive. That buffer is required from the back of the sidewalk to the curb of the drive lane. See ZDC Sec. 3-408.A above. And please note, the east half-street right-of-way on McClintock is 55', not 66'. If the drive lane is located on the east side of the building, and the building is located adjacent to McClintock, there is a 0' building setback; however, that does not eliminate the need for a landscape buffer to accommodate the required shade trees. The width of that buffer would be determined through design review. There is no minimum requirement in the ZDC.

We also show a 50' building setback along McClintock. Would this change after today's discussions? **The minimum building setback from McClintock Drive is 0'.** See Table 4-203A, PCC-1 column, street side setback. It is important to distinguish between a building setback, parking setback, and drive lane setback. The ZDC has different setbacks for each.

If possible, could you redline the attached site plan to show changes in the ROW, landscape buffer widths, and building setbacks? **Please see the redlined plans sent to Joe Walters on 2/16/17.**

Thank you!

Stephen R. Boyd, RA

Project Manager, Associate

LEED® Green Associate



Six Coliseum Centre
2815 Coliseum Centre Drive, Suite 500
Charlotte, NC 28217
704 379 1919 main
704 379 1920 fax
adwarchitects.com

EXHIBIT I

Omar Abdallah

From: Walman, Chase <Chase_Walman@tempe.gov>
Sent: Friday, April 07, 2017 12:20 PM
To: Yabes, Robert
Subject: EB McClintock & Baseline Exhibits
Attachments: EB_BaselineMcClintock_ROW.pdf; EB_BaselineMcClintock.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Need approx. 18' from existing ROW to accommodate 8' sidewalk + type B shelter.

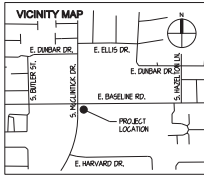
Chase Walman | Transportation Planner
City of Tempe | Public Works | Transportation Division
e: chase_walman@tempe.gov
o: (480) 858-2072



EXHIBIT J

05-09-17

- SHEET NOTES**
- 1 PROPERTY LINE
 - 2 CONCRETE PAVING- SEE CIVIL DRAWINGS
 - 3 CONCRETE PAVEMENT- SEE CIVIL DRAWINGS
 - 4 CONCRETE CURB- SEE CIVIL DRAWINGS
 - 5 CONCRETE PAVEMENT WITH TURNING CURBS- SEE CIVIL DRAWINGS
 - 6 PLANKER AREA
 - 7 ACCESSIBLE STALL AND ACCESSIBLE AISLE
 - 8 ACCESSIBLE RAMP
 - 9 ACCESSIBLE PARKING SIGN
 - 10 ACCESSIBLE PARKING SPACE SURFACE IDENTIFICATION
 - 11 NEW 10'-0" HIGH LIGHT POLE
 - 12 VAN ACCESSIBLE PARKING SIGN 60" MIN ABOVE PAVED SURFACE. SEE CIVIL DRAWINGS
 - 13 12" WIDE x 48" LONG WHITE PAINT STRIPING LEADING TO CORRELATOR
 - 14 UNDERGROUND RECLAIM WATER TANKS- SEE PLUMBING DRAWINGS
 - 15 PROVIDE LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL ENTRANCES
 - 16 YELLOW PAINT STRIPING
 - 17 PAINTED BOLLARD
 - 18 MENU BOARD (2)X(2)
 - 19 PAY STATION CANOPY
 - 20 VACUUM SHUDDER CANOPY
 - 21 TRASH HOSE HOLDER (2)X(1)
 - 22 PLANKERS (2)X(1)
 - 23 BIKE RACK- (4) RACKS PER 1-518 (ZOC 4-403E)
 - 24 BLUE PAINT BORDER STRIPING
 - 25 TRANSFORMER- SEE ELECTRICAL DRAWINGS



PROJECT DESCRIPTION

CONTACT APPLICANT: IDENTITY MEDIA, LLC, AG AGENT FOR QUICK QUACK DEVELOPMENT, LLC, 2400 E. NORTHERN AVENUE, SUITE A, PHOENIX, AZ 85008, CONTACT: JIM WALTERS, PHONE: (602) 461-4405, FAX: 602-461-4402, E-MAIL: jwalters@identitymedia.com

DESIGN PROFESSIONAL: ADAM ARCHITECTS, PA, 501 CALLEON CENTRE, 205 CALLEON CENTRE DRIVE, CHARLOTTE, NC 28217, CONTACT: ROBERT L. LAIRD, JR., HARRISBURG PRINCIPAL, PHONE: 704-378-1188, FAX: 378-1180, E-MAIL: bob@adamarchitects.com

PROPERTY OWNER: TUSA VIDA PROPERTIES, 2506 SOUTH BRANFLORENCE AVENUE, TEMPE, AZ 85284, CONTACT: JAMES BART, PHONE: (602) 944-3942, E-MAIL: jbart@tvsavida.com

PROJECT TITLE: NEW FACILITY FOR QUICK QUACK CAR WASH
ADDRESS: 5001 S. MCCLINTOCK DR., TEMPE, AZ 85283
PID: 301-01-006-J

GENERAL PLAN PROJECTED LAND USE: COMMERCIAL
PROJECTED DENSITY: MEDIUM DENSITY (BP 10 5.040)

PROPOSED LAND USE: VEHICLE CAR WASH

ZONING: EXISTING: PDC-1 PROPOSED: PDC-1
LOT SIZE: NET: 33,832 SF GROSS: 34,986 SF
DENSITY CATEGORY: MEDIUM DENSITY (BP 10 5.040)
TOTAL BUILDING AREA: EXISTING: N/A PROPOSED:
 BUILDING: 3,338 SQUARE FEET (60,956)
 ENTRY LAKE CANOPY: 451 SF
 VACUUM CANOPY A: 1,048 SF
 VACUUM CANOPY B: 1,295 SF
 TOTAL: 4,534 SF

PROPOSED USES: CAR WASH (BUSINESS) PERCENT: 100%

BUILDING HEIGHT (TINCHES AT GRADE, TOP OF CURB AT CENTERLINE OF STREET FRONT): PROPOSED: 18.0' REFERENCE: 18.0' / 19.0'

LOT COVERAGE: 18.1% 6,240 SF

LANDSCAPE: 24.7% 8,246 SF

LANDSCAPE IN ROOF: 2.3% 800 SF

DENSITY: ALLOWED: N/A REQUESTED: N/A

BUILDING SETBACKS: NORTH: 0' FRONT EAST: 30' INTERIOR SIDE SOUTH: 30' REAR WEST: 0' SIDE STREET

PARKING SPACES: 3,244 SQ. FT. / 300 SQ. FT. = 11 SPACES MINIMUM
 PROPOSED: 11 VACUUM PARKING SPACES (INCLUDING ONE ACCESSIBLE), 9 STAFF PARKING SPACES (INCLUDING ONE ACCESSIBLE)
 NOTE: (1) STAFF PARKING AT ALL TIMES, (2) STAFF PARKING AT ALL TIMES, (3) STAFF PARKING AT ALL TIMES
 TIME CARPools: 3 VEHICLES AT ANY POINT IN THE

BICYCLE PARKING: REQUIRED: 1 SPACE PER 300 SQ. FT., 4 BICYCLE PARKING MINIMUM PROVIDED: 4 BIKE RACKS PER DETAIL 1-518 (ZOC 4-403E)

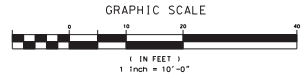
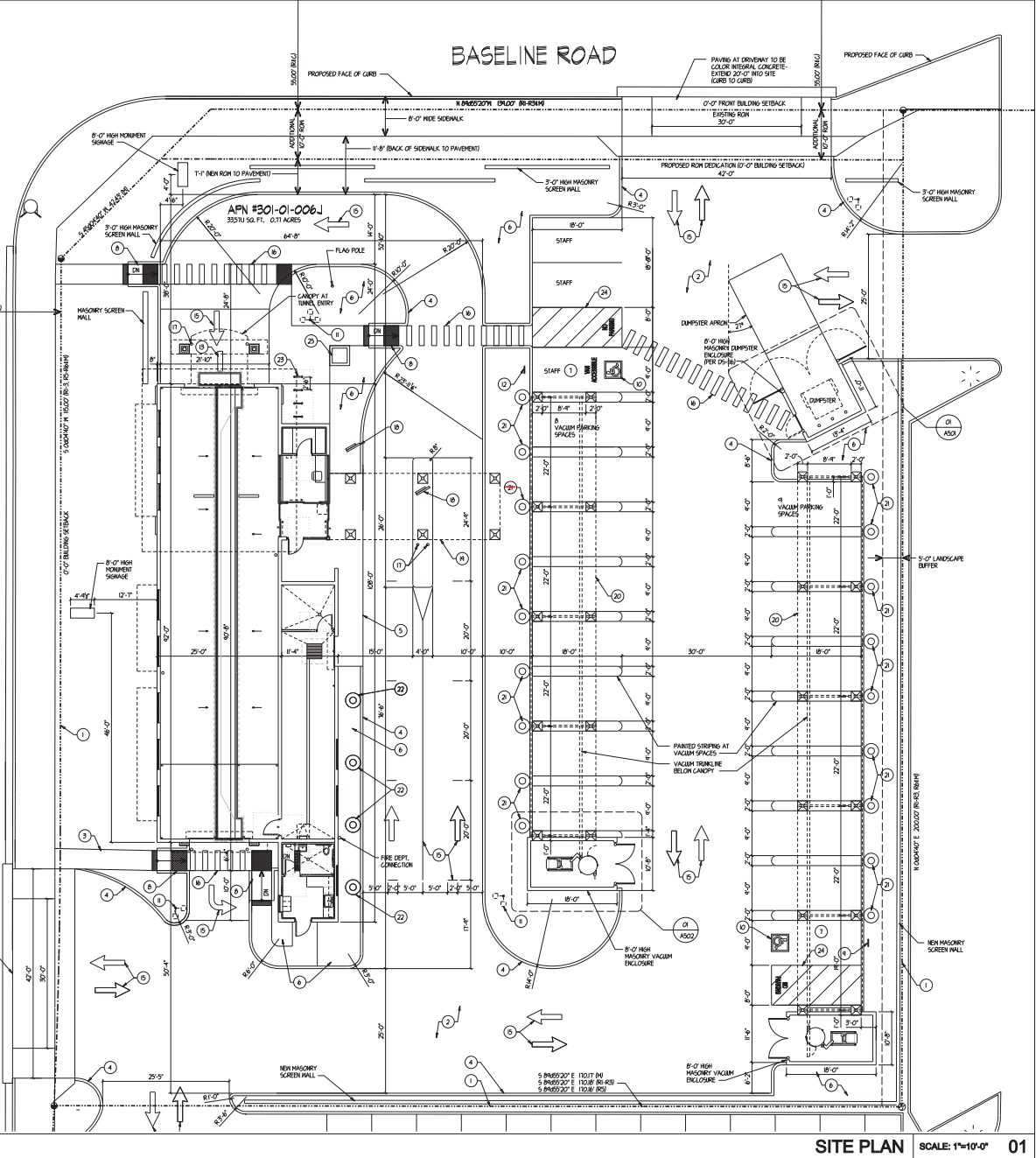
BICYCLE COMPLETE AREA: NO

CONSTRUCTION TYPE: V-B

OCCUPANCY: PRIMARY: B-BUSINESS 4 OCCUPANTS SECONDARY: MECHANICAL 10 OCCUPANTS SEPARATED OCCUPANCY: [] NON-SEPARATED OCCUPANCY: []

SPRINKLER: YES FIRE ALARM: NO

McCLINTOCK DRIVE
RECLINER



SITE PLAN SCALE: 1"=10'-0" 01

adwarchitects
environments for life
architecture planning interiors

six coliseum centre
2815 coliseum centre drive, suite 500
charlotte, north carolina 28217
(704) 378-1818
(704) 378-1820
www.adwarchitects.com

NEW FACILITY FOR

Quick Quack Car Wash

5201
S. MCCLINTOCK DR.
TEMPE, AZ 85283

QQ-9-001

SITE PLAN

DATE: 05.03.2017
 PROJECT NO: 16097

REVISIONS
 NO DATE DESCRIPTION:

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BEAL

A003

SHEET NUMBER

EXHIBIT K

Omar Abdallah

From: Stovall, Karen
Sent: Tuesday, May 23, 2017 3:01 PM
To: Joseph Walters; 'Michael Clark'; 'Stephen Boyd'
Cc: Dasgupta, Suparna
Subject: 2nd Preliminary Site Plan Submittal for Quick Quack Car Wash

Hi Joe, Michael, and Stephen,

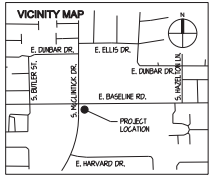
We received your second Preliminary SPR submittal for Quick Quack. Could you please e-mail me PDFs of the submittal? This will make our review much easier to complete so we don't have to scan the hard copies.

Also, I will be out of the office starting this Thursday through June 2nd. My supervisor, Suparna, will take this project through our internal review process and collect the team's comments for me. I will return to the office on June 5th and will begin my reviews at that time. I plan to have comments out to you the week of June 12th.

Thank you, and please let me know if you have any questions.

Karen Stovall
Planning Division
City of Tempe Community Development Department
karen_stovall@tempe.gov
480-350-8432

EXHIBIT L



The following applications must be approved prior to or concurrent with a DPR for the site plan, landscape plan, and building elevations.

Required variances (need approved prior to DPR):

- 1) Variance to reduce the landscape buffer for maneuvering drive lanes for a drive-through facility, ZDC Sec. 3-408.A.
- 2) Variance to reduce the front parking setback from 20' to XX'. ZDC Table 4-203.A.

Required use permits (may be processed concurrent with DPR):

- 1) Use permit for a car wash, per ZDC Table 3-202.A.
- 2) Use permit to exceed the parking maximum (125%), per ZDC Sec. 4-603.C.4. Min. 11 spaces required. Max 14 spaces allowed.

NEW FACILITY FOR

Quick Quack Car Wash

5201
S. McCLINTOCK DR.
TEMPE, AZ 85283

QQ 9-001

OVERALL SITE PLAN

DATE 05.03.2017
PROJECT NO 16097

REVISIONS
NO DATE DESCRIPTION

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REAL

SHEET NUMBER

A002

PROJECT DESCRIPTION	
CONTACT APPLICANT:	IDENTITY METAL, LLC AS AGENT FOR QUICK QUACK DEVELOPMENT, LLC 2400 E. NORTHERN AVENUE, SUITE A P.O. BOX AZ 85008 CONTACT: JOE WALTERS PHONE: (602) 461-4605 FAX: (602) 461-4602 E-MAIL: jwalters@identitymetal.com
DESIGN PROFESSIONAL:	ADW ARCHITECTS, P.A. 506 COLISEUM CENTRE, 2805 COLISEUM CENTRE DRIVE CHARLOTTE, NC 28217 CONTACT: ROBERT E. LAURE JR., HANSHANG PRINCIPAL PHONE: (704) 378-1818 FAX: (704) 378-1920 E-MAIL: rlaure@adwarchitects.com
PROPERTY OWNER:	PARA VIDA PROPERTIES 8900 SOUTH AVENUE AVENUE TEMPE AZ 85284 CONTACT: JAMES B. RYAN PHONE: (602) 974-1142 E-MAIL: jbryan@paravida.com
PROJECT TYPE:	NEW FACILITY FOR QUICK QUACK CAR WASH
GENERAL PLAN PROJECTED LAND USE:	COMMERCIAL
PROJECTED DENSITY:	MEDIUM DENSITY (UP TO 10 TO 1 ACRE)
PROPOSED LAND USE:	VEHICLE CAR WASH
ZONING:	EXISTING: PG-1 PROPOSED: PG-1A
LOT SIZE:	33,367 SQ. FT.
DENSITY CATEGORY:	EXISTING: N/A PROPOSED: N/A
TOTAL BUILDING AREA:	EXISTING: N/A PROPOSED: 3,318 SQUARE FEET (80,050 SF)
BUILDING ENCL. AREA:	3,318 SQUARE FEET (80,050 SF)
VEHICLE CANOPY A:	451 SF
VACUUM CANOPY B:	1,365 SF
TOTAL:	4,334 SF
PROPOSED USES:	CAR WASH (BUSINESS) PERCENT: 100%
BUILDING HEIGHT (TYPICAL AT CENTER OF CURB AT CENTERLINE OF 5' FEET FRONT):	REFERENCE: 06.015
LOT COVERAGE:	24.1% 8,246 SF
LANDSCAPE IN R.O.W.:	2.3% 610 SF
TORRENT:	ALLOWED: N/A REQUESTED: N/A
BUILDING SETBACKS:	NORTH 0' FRONT EAST 30' REAR SIDE SOUTH 30' REAR WEST 0' SIDE STREET
PARKING SPACES:	3,294 SQ. FT. / 300 SQ. FT. = 11 SPACES (MINIMUM)
PROPOSED:	11 VACUUM WASH SPACES (INCLUDING ONE ACCESSIBLE)
	3 STAFF PARKING SPACES (INCLUDING ONE ACCESSIBLE)
	NOTE: (2) STAFF PARKING AT ALL TIMES.
	TOTAL CAPACITY: 3 VEHICLES AT ALL TIMES IN USE
BICYCLE PARKING:	REQUIRED: 4 RACKS PER 100-200 SF; 4 BICYCLE PARKING MINIMUM PROVIDED: 4 BIKE RACKS PER DETAIL 1-51B (ZDC 4-603E)
BICYCLE COMPLETE AREA:	NO
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	PRIMARY: B (BUSINESS) 4 OCCUPANTS SECONDARY: MEDIUM DENSITY 2 OCCUPANTS
SEPARATED OCCUPANCY:	<input type="checkbox"/> NON-SEPARATED OCCUPANCY <input checked="" type="checkbox"/>
SPRINKLERED:	YES FIRE ALARM NO

Per previous comment, County Assessor shows half-street ROW of 55', not 66'. Please provide documentation to prove 66' half-street ROW on McClintock or change plan to show 55'.

Per ZDC, gross acreage is the existing site area (prior to any ROW dedication). Gross should not include any existing ROW.

Total building area is only the building (not including canopies). Please provide separate section for canopies.

Note max height of 35'

Note min. LS % of 15%

Note all the required building setbacks.

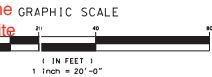
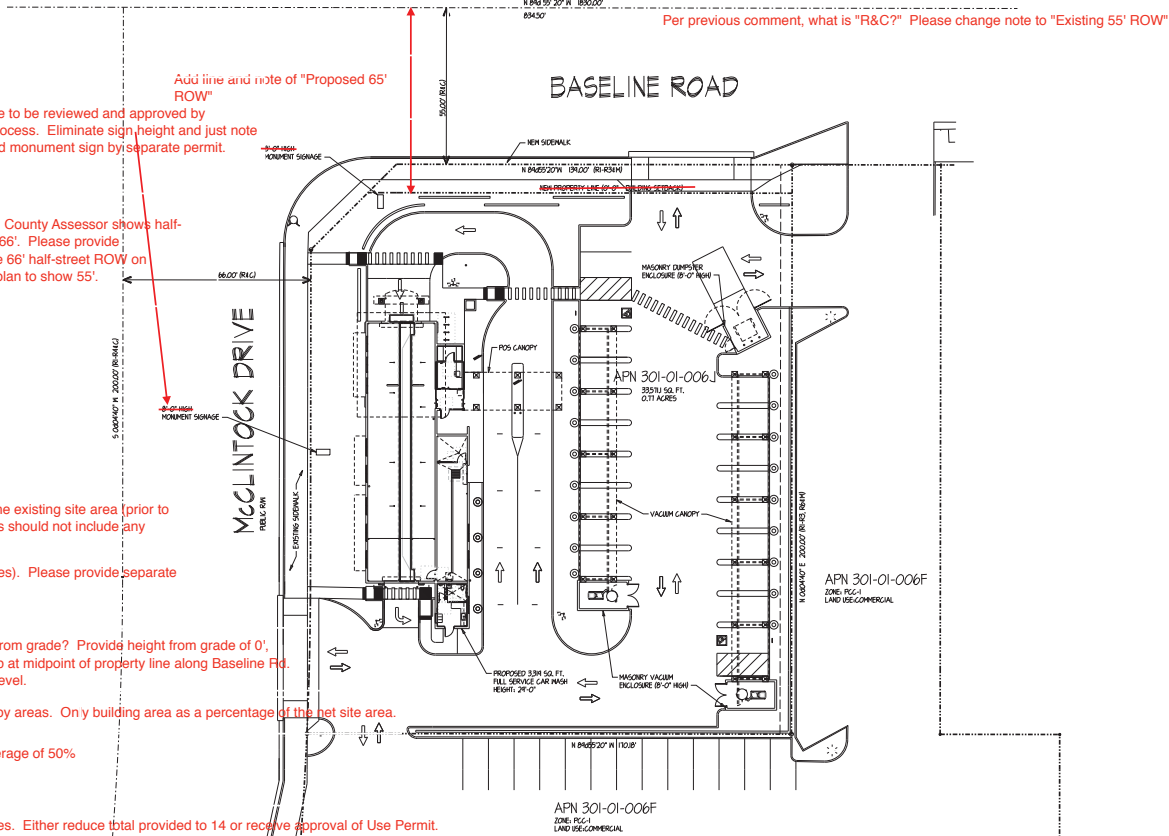
Note max lot coverage of 50%

Delete ratio. Min. 4 required.

No need for 4 racks. Each rack can park two bikes.

Include % of parking lot area landscaped and the min. % required. The standard min. required by ZDC is 10%. If Use Permit to exceed parking maximum is approved, a min. of 12% of the surface area of all surface parking lots shall be landscaped.

Recommend that an "Overall Site Plan" be eliminated from submittal and a single site plan be provided at a scale of 1" = 20'. The "Site Plan" has much unnecessary and duplicate information. Most of the necessary information on the Site Plan could be transferred to this Overall Plan, which shows the site and surroundings much more clearly. The Site Plan scale of 1" = 10' is too large to properly show context.



OVERALL SITE PLAN SCALE: 1"=20'-0" 01

Make many dimensions and key notes that are unnecessary/duplicates and clutter the plan. Please delete those that are unnecessary to make the plan easier to read.
 Street and sidewalk improvements to the center line of the street, including lane striping. Show location of future bus shelter.
 Proposed fire hydrant locations.
 Existing (to remain) and proposed utility structures and street lights on Baseline and McClintock.
 Or plan from site plan. Only show exterior windows and doors.

What's a "lane divider"?

What is meant by "planters"?
 Are these raised planter boxes or pots?

PROJECT DESCRIPTION	
CONTACT APPLICANT:	IDENTITY METAL, LLC, AS AGENT FOR QUICK QUACK DEVELOPMENT, LLC 2400 E. NORTHERN AVENUE, SUITE A, PUEBLO, AZ 85008 CONTACT: JANE SMITH PHONE: (602) 948-4805 FAX: (602) 467-4402 E-MAIL: jsm@identitymetal.com
DESIGN PROFESSIONAL:	ADM ARCHITECTS, P.A. 500 COLLIER CENTRE DRIVE, CHARLOTTE, NC 28207 CONTACT: JANE SMITH PHONE: (602) 948-3442 E-MAIL: jsm@admarchitects.com
PROPERTY OWNER:	TRISA VIDA PROPERTIES 2506 SOUTH ARDEN AVENUE, TEMPE, AZ 85284 CONTACT: JANE SMITH PHONE: (602) 948-3442 E-MAIL: jsm@trisavida.com
PROJECT TITLE:	NEW FACILITY FOR QUICK QUACK CAR WASH
ADDRESS:	5201 S. McCLINTOCK DR., TEMPE, AZ 85283
PID:	301-01-006-J
GENERAL PLAN PROJECTED LAND USE:	COMMERCIAL
PROJECTED DENSITY:	MEDIUM DENSITY (BP 10.5 (600))
PROPOSED LAND USE:	VEHICLE CAR WASH
ZONING:	EXISTING: PDC-1 PROPOSED: PDC-1
LOT SIZE:	NET: 39,832 SF GROSS: 34,936 SF
DENSITY CATEGORY:	MEDIUM DENSITY (BP 10.5 (600))
TOTAL BUILDING AREA:	EXISTING: N/A PROPOSED: 3,318 SQUARE FEET (60,055)
BUILDING:	3,318 SQUARE FEET (60,055)
ENTRY LANE CANOPY:	451 SF
VACUUM CANOPY A:	1,405 SF
VACUUM CANOPY B:	1,262 SF
TOTAL:	4,986 SF
PROPOSED USES:	CAR WASH (BUSINESS) PERCENT: 100%
BUILDING HEIGHT (TINCH AT GRADE):	REFERENCE: 18.0/17
AT CENTERLINE OF STREET FRONT:	
LOT COVERAGE:	18.1% 6,030 SF
LANDSCAPE:	24.1% 8,246 SF
LANDSCAPE IN ROOF:	2.3% 810 SF
DENSITY:	ALLOWED: N/A REQUESTED: N/A
BUILDING SETBACKS:	NORTH: 0' FRONT EAST: 30' INTERIOR SIDE SOUTH: 30' REAR WEST: 0' SIDE STREET
PARKING SPACES:	3,294 SQ. FT. / 300 SQ. FT. = 11 SPACES MINIMUM
PROPOSED:	11 VEHICULAR SPACES INCLUDING ONE ACCESSIBLE SPACE 9 STAFF SPACES INCLUDING ONE ACCESSIBLE SPACE
NOTE:	(1) STAFF PARKING SPACES TO BE LOCATED ON-SITE DRIVEWAY. (2) STAFF PARKING SPACES TO BE LOCATED ON-SITE DRIVEWAY AND EXTENDING 20' TO THE EAST.
BICYCLE PARKING:	REQUIRED: 1 SPACE PROVIDED: 4 BICYCLE RACKS PER DETAIL 1.51B (DGC 4-608)
BICYCLE COMPUTER AREA:	NO
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	PRIMARY: B (BARE) 6 4 OCCUPANTS SECONDARY: MACHINERY 1 1 OCCUPANT SEPARATED OCCUPANCY: 1 1 OCCUPANT NON-SEPARATED OCCUPANCY: 1 1 OCCUPANT
SPRINKLER:	YES FIRE ALARM: NO

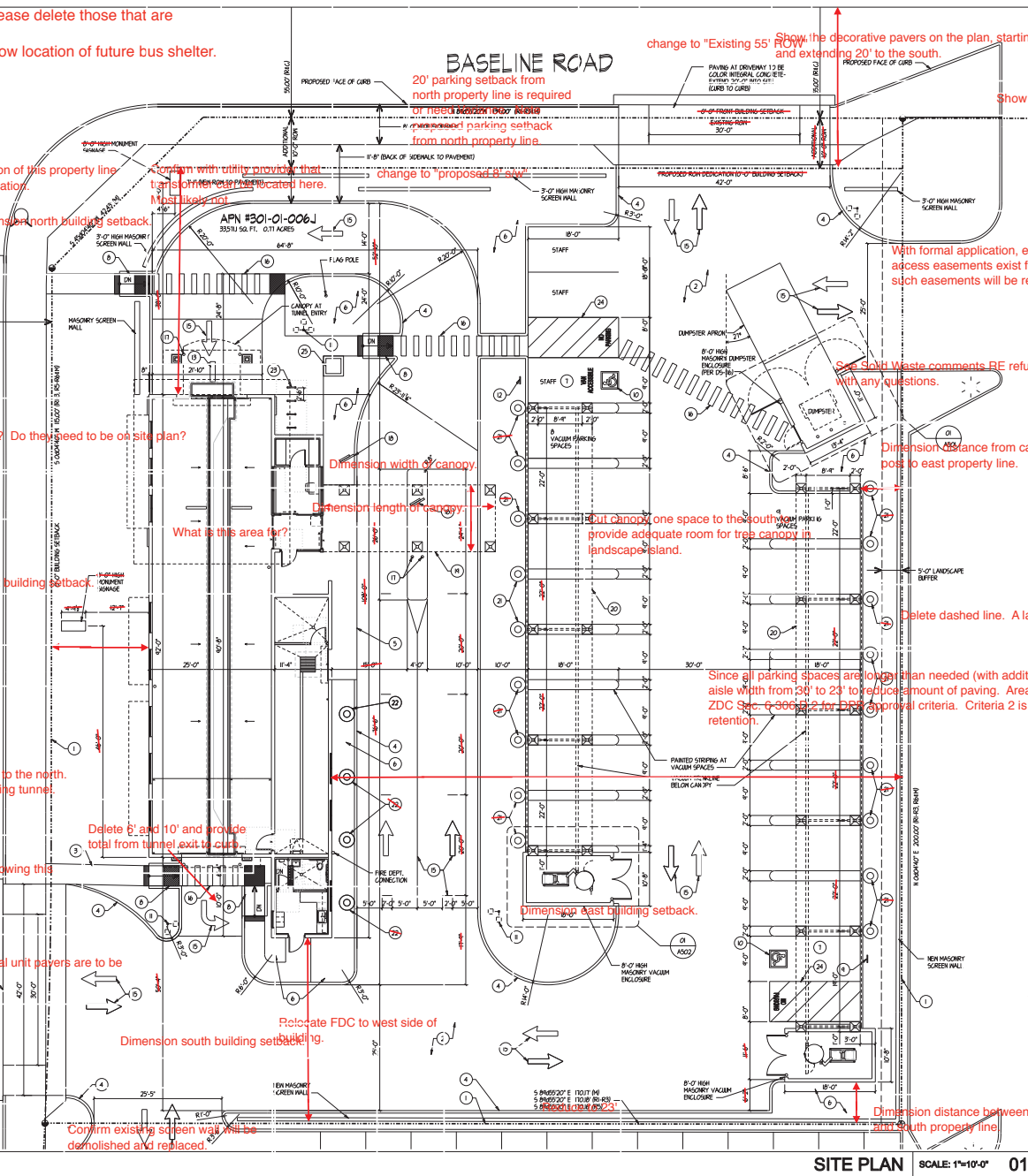
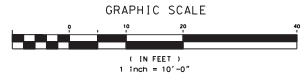
What do arrows refer to? Do they need to be on site plan?

Eliminate walkway since one is provided to the north. This one would conflict with vehicles exiting tunnel.

Reduce area of pavers by narrowing this driveway. Note: (2) STAFF PARKING SPACES TO BE LOCATED ON-SITE DRIVEWAY AND EXTENDING 20' TO THE EAST.

Neither of the proposed driveways comply with T-320. See next page of this PDF. Please adjust both to comply with standard detail.

05-09-17



adm architects
 environments for life
 architecture planning interiors
 2110 COLLIER CENTRE DRIVE, SUITE 800
 CHARLOTTE, NORTH CAROLINA 28217
 (704) 378-1818
 (704) 378-1820
 www.admarchitects.com

NEW FACILITY FOR
Quick Quack Car Wash
 5201 S. McCLINTOCK DR., TEMPE, AZ 85283

SITE PLAN

DATE	05.03.2017
PROJECT NO	16097
REVISIONS	
NO	DATE DESCRIPTION

THIS DRAWING IS THE PROPERTY OF ADM ARCHITECTS, P.A. AND SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT SHALL NOT BE USED ON ANY OTHER PROJECT OR GIVEN TO ANY OTHER COMPANY OR AGENCY WITHOUT THE WRITTEN CONSENT OF ADM ARCHITECTS, P.A.
 What is proposed height?

SCALE: 1"=10'-0" 01
A003
 SHEET NUMBER

EXHIBIT M

Site Plan Review – City of Tempe Comments

MEETING DATE: 6/31/2017
PROJECT NAME: QUICK QUACK CARWASH
ADDRESS: 5201 S McClintock Dr
CASE NUMBER: SPR17032
SECTION: 11S
ZONING: PCC-1
PROJECT COORDINATOR: Karen Stovall

PRELIMINARY Site Plan Review DISCLAIMER

Preliminary Site Plan Review provides early input regarding the requirements of the City Code, General Plan, Zoning and Development Code, Building Codes, and other relevant city policies and regulations. The process involves routing a proposed project to all departments involved in development to gather initial comments on the project, identifying requirements/recommendations that might affect the design or feasibility of the project.

The comments provided by staff are ***preliminary***, based on the information provided, and are not comprehensive; additional comments and requirements may be generated when a complete formal submittal is processed for entitlements. **Until the formal planning entitlement process is completed, submittals for building permits may not be accepted.**

Preliminary Site Plan Review is not an approval process, nor does it imply support or opposition for a proposed concept. Preliminary Site Plan Reviews may be resubmitted for a total of 3 reviews with no additional charge, prior to a formal application.

COMMUNITY DEVELOPMENT DEPARTMENT:

Planning Division:

Comments	
	<ul style="list-style-type: none"> • Please see the team’s comments in the remainder of this report and the comments on the redlined plans. • Thank you for modifying the proposed vacuum canopy elevations to be more architecturally similar to the building. • Final design of Baseline Road bus pullout is expected to be completed the week of June 19th. This design will be forwarded to you when it is completed. • Approvals of Variances, Use Permits, and Development Plan Review are required. See application links below. • Once formal DPR application is submitted, City of Tempe will create a legal description for the right-of-way dedication along Baseline Rd. • You may proceed with submittal of formal applications.
<input type="checkbox"/>	Submit another Preliminary Site Plan Review with additional information prior to making a formal application.

Formal entitlement application/process requirements (click on links)	
X	Development Plan Review
<input type="checkbox"/>	Plan Area Development Overlay
<input type="checkbox"/>	Zoning Map Amendment
<input type="checkbox"/>	General Plan Amendment
<input type="checkbox"/>	Subdivision / Condo Plat
X	Use Permit / Use Permit Standard
X	Variance
<input type="checkbox"/>	Public Involvement Plan and Neighborhood Meeting

In addition to the submittal requirements in the links above, a formal application for this request will require the following:	
Provide	Preliminary Site Plan Review revisions to address comments from report and markup
Provide	Refuse Plan
Not Applicable	Parking Analysis
Not Applicable	Traffic Impact Study
Not Applicable	Fire Access Plan
Not Applicable	Solar Study
Provide	Development Plan Shadow Study – if not complying with Option 1 of Sec. 4-704.A.2
Provide	Color perspectives, 2 angles from street level (not aerial)
Provide	Street elevations with all buildings and landscape materials (use actual specimens) to show design aesthetic visible to neighborhood

Not Applicable	3D model or SketchUp for projects in CC district & Town Lake area (Rio Salado north to Loop 202), 7+ stories
Provide	Preliminary Underground Utility Plan with tree locations
Provide	Lighting Plan Detail showing the following: a) locations of light poles and light fixtures on building with 50% Landscape Plan overlay and; b) cut sheets or design of light fixtures
Provide	Contextual aerial map with site plan overlay

Type	Code Reference
City Code	Tempe City Code and City Charter
Zoning	Zoning and Development Code
General Plan	General Plan 2040
Subdivision	Subdivision Ordinance 99.21
Additional Planning Division information is available at City of Tempe - Planning	

NOTE: Effective

immediately the Planning Division will conduct administrative completeness checks of formal applications and notify applicants of the status of their applications. Incomplete applications must be retrieved by applicants and resubmitted with all required items. Substantive reviews of formal applications begin only after they are deemed complete.

Development Services Division – Building Safety:

Comment
<ul style="list-style-type: none"> Plans submitted are insufficient and do not provide enough information for a code overview No new comments this review; see previous comments Submit 2 complete sets of construction documents to Building Safety for building permit once planning entitlements are approved

NOTE: The adoption of the 2012 I-Codes and 2011 NEC is effective July 1st, 2015. Please see our website for additional information @ <http://www.tempe.gov/city-hall/community-development/development-services/building-codes-and-amendments>

Development Fees for police facilities, fire facilities, street facilities and park and recreational facilities (collectively, “General Government “Development Fees) were adopted by City Council on October 22, 2015 and will become effective on January 5, 2016. The City of Tempe historically has only charged water and wastewater development fees to account for system expansion due to development. Please see link below to access the General Government Development Information Sheet and Tempe Development Fee Schedule:
<http://www.tempe.gov/city-hall/community-development/development-services/fees>

Attachment: Unit/Suite Number Procedures (City of Tempe Administrative Code Sec 8-112)

Additional Building Safety Division information is available at <http://www.tempe.gov/city-hall/community-development/development-services>

Building Code questions contact Roger Vermillion, Plan Review Administrator, at 480-350-8071 or email roger_vermillion@tempe.gov

Permit submittal requirements and processing questions contact Lisa Loyd, Development Project Coordinator, at 480-350-8644 or email @ lisa_loyd@tempe.gov

Development Services Division – Civil Engineering:

Comment
<ul style="list-style-type: none"> No new comments

Development Services Division – Engineering Land Services:

Comment
<ul style="list-style-type: none"> Dedication of 10’ ROW will require a recordable legal description and exhibit (sealed by P.E. or RLS) to be submitted to Public Works Engineering. Sidewalk easement is required for any public sidewalks located on private property. Maintenance agreement is required for any non-standard public sidewalks or paving within the r/w. Recorded Cross-Access agreement will be required for any common used driveways or access to/from adjacent parcel.

COMMUNITY SERVICES DEPARTMENT

Art in Private Development

Comment
<ul style="list-style-type: none">

Additional AIPD information is available at www.tempe.gov/aipd

HUMAN SERVICES DEPARTMENT

Diversity Division – Accessibility (ADA Compliance)

Comment
<ul style="list-style-type: none">

PUBLIC SAFETY:

FIRE DEPARTMENT

Comment
<ul style="list-style-type: none"> Locate fire dept. connection on McClintock side of building. Locate a new fire hydrant on McClintock side of building

Code Type	Code Reference
-----------	----------------

Fire Code	2012 International Fire Code w/ Amendments
Fire Sprinkler	2010 NFPA 13
Fire Alarm	2010 NFPA 72

Additional Fire information is available at [City of Tempe – Fire](#)

POLICE DEPARTMENT

Comment

- No comments

Additional Police information is available at www.tempe.gov/cpu

Information regarding the code for Police/security plans: <http://www.tempe.gov/Home/ShowDocument?id=8645>

INTERNAL SERVICES DEPARTMENT

Information Technology Network Division - Communications:

Comments

- Project is not required to comply with City Code Chapter 9, Article II

Application Process		Notes	
<input type="checkbox"/>	Specific Areas		Note Elevator and stair wells
<input type="checkbox"/>	Generator Back Up Power		24 Hour backup power
<input type="checkbox"/>	24 Hour Access		CoT needs to have 24 hour access to BDA
<input type="checkbox"/>	BDA Plans		Plans detailing BDA, conduit & antenna
<input type="checkbox"/>	Coverage Testing Plans		Plans detailing testing locations
<input type="checkbox"/>	Documentation Submitted		Submit to email address

Type	Code Reference
City Code	Tempe City Code and City Charter
City Requirements	Public Safety Radio Coverage Requirements for Developers

Additional Public Safety Communications information is available via a City RF Engineer 480-350-2980

PUBLIC WORKS DEPARTMENT:

Environmental Services Division:

Comment

-

Solid Waste Services Division:

Comment

- If an enclosure is in an angle, a refuse truck needs 45' of a straight line for backing.
- Double enclosures need to be provided to host both Garbage and Recycling.

- Concern of having the service area for Solid waste in a high traffic environment. Trucks need to back out of the container and cannot back to and entrance of a business.
- Please contact Sam (Christopher) Wonderling, Sr. Solid Waste Equipment Operator, if you have any questions. 480-858-2271 or christoper_wonderling@tempe.gov.

Streets Division:

Comment
•

Transportation Division – Traffic:

Comment
<ul style="list-style-type: none"> • Adjust driveways to comply with T-320. Correctly show 7' wings and min. 4' pedestrian landing at back of driveways.

Transportation Division – Transit:

Comment
•

Water Utilities Division:

Comment
<p>General</p> <ul style="list-style-type: none"> • Buildings must be at least 16 feet from water or sewer lines. <p>Water</p> <ul style="list-style-type: none"> • Existing services that are not used shall be removed and capped at the main. • Show fire suppression line with backflow prevention and isolation valve from domestic service line. • Locations of all taps shall be dimensioned on the plans. • For new water services, provide an estimate of flow rate in gallons per minute for average day water demand. • Water meters and fire hydrants shall be located within a recorded exclusive waterline easement contiguous with the water main system. • All fire hydrant valves shall be flanged to the tee or 90° elbow. • Commercial water service taps may be installed by the contractor/developer or by the City of Tempe. The contractor/developer shall install the water meter box/vault and shall extend the pipe through the box/vault in preparation of the meter installation. The City of Tempe only shall install, remove or relocate water meters. • Service taps shall not be closer than 5' on any line. Potable water service lines and meters shall be the same size. Meter size will be based on the design flow rate, latest meter technology and capability. • Appropriate backflow prevention devices are required based on onsite use. Backflow preventers shall be located on private property and outside of the public right-of-way or outside of public easements immediately after the meter near the property line or easement, in all cases before the first branch leading off of the service line, and in an accessible location approved by the Water Utilities Division. • Fire suppression system connections must be isolatable at the main from supporting fire hydrants. (This may require cut in tees with three valve clusters.) <p>Sewer</p> <ul style="list-style-type: none"> • The following requirement must be met when an existing sewer tap, which is not

currently in use, is to be utilized in design. A sealed/signed statement from the design engineer must be submitted with the plans indicating that the existing sewer tap has been physically located and has been flow tested, TV'd, etc. to ensure the sewer tap's serviceability. This must be received prior to City plan approval and prior to any permit issuance.

- Additional appurtenances are required based on use to satisfy the Fats, Oils and Grease (FOG) Ordinance. These appurtenances shall be installed on private property only. Contact City of Tempe Environmental Services Section at (480) 350-2678 for further information and requirements.
- All taps shall be machine drilled only and shall be a minimum of 6 inch diameter

Type	Code Reference
Civil Engineering & Right of Way	Engineering Design Criteria
Standard Details	Standard Details
MAG Standards	MAG Uniform Standard Specifications & Uniform Standard Details for Public Works Construction

Additional Public Works information is available at [City of Tempe – Public Works](#)

OTHER WORK GROUPS

	Comment
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•

EXHIBIT N

07-20-17

SHEET NOTES

- 1 PROPERTY LINE
- 2 CONCRETE PAVING-SEE CIVIL DRAWINGS
- 3 CONCRETE WALKWAY-SEE CIVIL DRAWINGS
- 4 CONCRETE GARD-SEE CIVIL DRAWINGS
- 5 CONCRETE WALKWAY WITH RANDOM GARD-SEE CIVIL DRAWINGS
- 6 PLANTER AREA
- 7 ACCESSIBLE WALKWAY AND ACCESSIBLE ASLE
- 8 ACCESSIBLE SIGN
- 9 ACCESSIBLE PARKING SIGN
- 10 ACCESSIBLE PARKING SPACE SURFACE IDENTIFICATION
- 11 NEW 8'-0" HIGH LIGHT POLE
- 12 VAN ACCESSIBLE PARKING SIGN-40" HIGH ABOVE PAVED SURFACE-SEE CIVIL DRAWINGS
- 13 12" WIDE x 48" LONG STAMPED CONCRETE LEADING TO CORRELATOR
- 14 NOT USED
- 15 FINISH STAMPED CONCRETE LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL ENTRANCES
- 16 STAMPED CONCRETE STRIPING
- 17 PAINTED BOLLARD
- 18 NEW BOARD BARRIER FURNISHED, OWNER INSTALLED
- 19 RAY STATION CANOPY
- 20 VACUUM SPACE CANOPY
- 21 TROUGH HOSE HOLDER (OWNER FURNISHED, CONTRACTOR INSTALLED)
- 22 NOT USED
- 23 BIKE RACKS- (2) RACKS PER 1-5' ISB (IDDG 4-6032)
- 24 BLUE PAINT BARRIER STRIPING
- 25 TRANSFORMER-SEE ELECTRICAL DRAWINGS



PROJECT DESCRIPTION

CONTACT: IDENTITY PARTIAL, LLC, AN AGENT FOR QUACK QUACK DEVELOPMENT, LLC
 2805 W. NORTHERN AVENUE, SUITE A, PHOENIX, AZ 85028
 CONTACT: JEFF MILLERS
 PHONE: 602-944-6602, FAX: 602-944-6602, E-MAIL: jeff@identitypartial.com

DESIGN PROFESSIONAL: ADM ARCHITECTS, PA
 514 GOLDEN GLEN DRIVE
 GARDEN CITY, AZ 85021
 CONTACT: ROBERT J. LAHER, JR., MANAGING PRINCIPAL
 PHONE: 602-944-3442, E-MAIL: jrla@admarchitects.com

PROPERTY OWNER: IUSA VISA FRANCHISES
 8540 SOUTH GRANDVIEW AVENUE, TEMPE, AZ 85283
 CONTACT: JANE TRIST
 PHONE: (480) 844-3442, E-MAIL: jla@visanet.com

PROJECT TITLE: NEW FACILITY FOR QUACK QUACK CAR WASH
ADDRESS: 5201 S. McCLINTOCK DR., TEMPE, AZ 85283
PID: 30-03-006J
GENERAL PLAN PROJECTED LAND USE: COMMERCIAL
PROJECTED DENSITY: MEDIUM DENSITY (8' TO 10' S.D.)
PROPOSED LAND USE: VEHICLE CAR WASH
ZONING: EXISTING: PEG-1 PROPOSED: PEG-1
LOT SIZE: NET: 3340 SF GROSS: 33261 SF
DENSITY CATEGORY: MEDIUM DENSITY (8' TO 10' S.D.)
TOTAL BUILDING AREA: EXISTING: N/A
PROPOSED BUILDING: 5094 SQUARE FEET (8400 SF)
TOTAL CANOPY AREA: ENTRY LAKE CANOPY: 451 SF
 VACUUM CANOPY A: 148 SF
 VACUUM CANOPY B: 148 SF
 TOTAL: 747 SF

PROPOSED USES: CAR WASH (8400 SF) PERCENT: 100%
BUILDING HEIGHT: 35'-0" MAXIMUM (BASED AT GRADE, TOP OF GARD AT CENTERLINE OF STREET FRONT)

LOT COVERAGE: MINIMUM: 50% PROPOSED: 62.5% 3340 SF OF 5340 SF
LANDSCAPE: MINIMUM: 0% PROPOSED: 24.5% 824 SF
LANDSCAPE IN ROOM: 3.2% 100 SF
LANDSCAPING AT PARKING LOT: MINIMUM: 0% PROPOSED: 17%

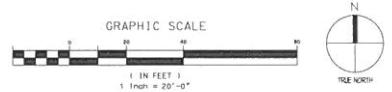
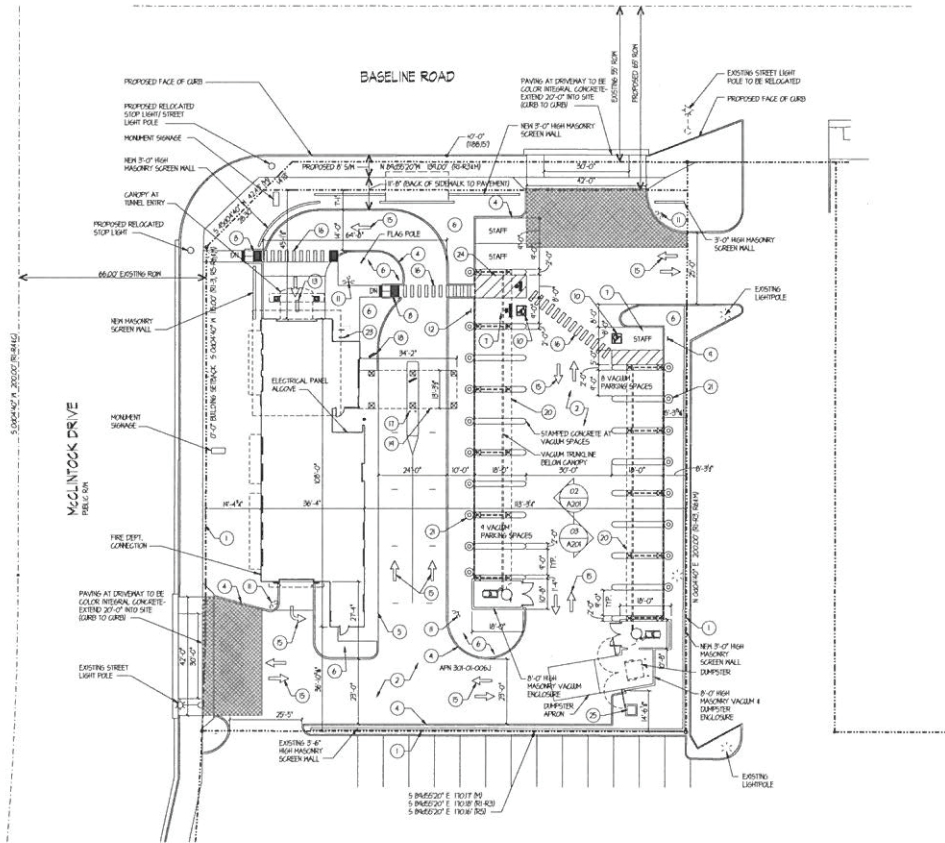
DENSITY: ALLOWED: N/A REQUESTED: N/A
REQUIRED BUILDING SETBACKS: NORTH: 0' FRONT EAST: 30' INTERIOR SIDE
 SOUTH: 30' REAR WEST: 0' SIDE STREET

PARKING SPACES: 3244 SQ. FT. / 300 SQ. FT. = 10 SPACES MINIMUM
 PROPOSED: 13 VACUUM PARKING SPACES (INCLUDING ONE ACCESSIBLE)
 NOTE: (3) STAFF PARKING AT ALL TIMES
 TUNNEL CAPACITY: 3 VEHICLES AT ANY POINT IN TIME

BICYCLE PARKING: REQUIRED: 4 BICYCLE PARKING MINIMUM
 PROVIDED: 2 BIKE RACKS PER DETAIL 1-5' ISB (IDDG 4-6032)

BICYCLE GARAGE AREA: 0
CONSTRUCTION TYPE: V-B
OCCUPANCY: PRIMARY: 05 BUSINESS 4 OCCUPANTS
 SECONDARY: 06 MECHANICAL 10 OCCUPANTS
 SEPARATED OCCUPANCY: NON-SEPARATED OCCUPANCY:

SPRINKLERED: YES FIRE ALARM: NO



SITE PLAN SCALE: 1"=20'-0" 01

adw architects
 environments | life
 architecture | planning | interiors
 six coliseum centre
 2816 coliseum centre drive, suite 600
 charlotte, north carolina 28217
 (704) 378-1918
 (770) 378-1920
 www.adwarchitects.com

NEW FACILITY FOR
**Quick
 Quack
 Car Wash**
 5201
 S. McCLINTOCK DR.
 TEMPE, AZ 85283
 PID: 301-01-006J

QQ 9-001
SITE PLAN
 DATE: 07.14.2017
 PROJECT NO: 16097
 REVISIONS:
 NO. DATE DESCRIPTION:

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BEAL
A003
 SHEET NUMBER

EXHIBIT O

Omar Abdallah

From: Stovall, Karen
Sent: Wednesday, July 26, 2017 3:15 PM
To: 'Michael Clark'
Subject: Quick Quack Car Wash (PL170240) Completeness Review
Attachments: PL170240 Quick Quack DPR Incomplete Notice 072617.pdf

Hi Michael,

I have conducted a completeness review for Quick Quack Car Wash and determined that the **DPR application is incomplete**. See the attached PDF, which identifies the missing items. Please note that the Use Permit and Variance applications have been reviewed and are complete, and this notice only pertains to the DPR application.

Please submit the missing items to the front counter along with a copy of the attached PDF. **A first review of the DPR application will not be conducted until the application is deemed complete.**

Thank you, and please contact me if you have any questions.

Karen Stovall
Planning Division
City of Tempe Community Development Department
karen_stovall@tempe.gov
480-350-8432

EXHIBIT P

Site Plan Review – City of Tempe Comments

MEETING DATE: 8/2/2017
PROJECT NAME: QUICK QUACK CAR WASH
ADDRESS: 5201 S MCCLINTOCK DR
CASE NUMBER: SPR17032
SECTION: 11S
ZONING: PCC-1
PROJECT COORDINATOR: KAREN STOVALL

FORMAL Site Plan Review DISCLAIMER

After completing the Preliminary Site Plan Review process, a formal application may be made. A completeness review will be conducted prior to a substantive review. Incomplete submittals will be returned to applicants. Once an application is determined to be complete, all plans will be routed for a *Formal Site Plan Review* to assure that all comments from Preliminary Site Plan Review were addressed and issues resolved. A formal application may require further plan revision prior to staff setting a hearing date. All revisions must be received at least thirty days prior to the advertised hearing.

COMMUNITY DEVELOPMENT DEPARTMENT:

Planning Division:

Comments	
	<ul style="list-style-type: none"> • Please review the remainder of the team’s comments in this report and the redline comments on the plans. • Please address comments and resubmit the following revised items to my attention: <ul style="list-style-type: none"> ➤ Letters of explanation for DPR and Use Permits ➤ Aerial with site plan overlaid (not yet submitted) ➤ Site plan ➤ Refuse exhibit ➤ Landscape plan ➤ Parking lot shade study ➤ Blackline building elevations ➤ Colored building elevations ➤ Building sections and canopy section ➤ Preliminary underground utility plan with tree locations ➤ Material sample board or additional boards, as needed ➤ Street elevations and perspectives • Provide one set of all plans listed above (excluding colored elevations, street elevations, and perspectives) in sheet size 24” x 36” (<u>folded</u> to 9” x 12”). • Provide one set of all plans listed above in sheet size 11” x 17” (<u>do not roll</u>). • Provide one electronic PDF set via e-mail, CD, or jump drive of all plans and letter of explanation. PDF size must be <u>8.5” x 11”</u>. • Once received, the submittal will be routed for a second review.
<input type="checkbox"/>	Submit another Preliminary Site Plan Review with additional information prior to making a formal application.

Formal entitlement application/process requirements (click on links)	
<i>X</i>	Development Plan Review
<input type="checkbox"/>	Plan Area Development Overlay
<input type="checkbox"/>	Zoning Map Amendment
<input type="checkbox"/>	General Plan Amendment
<input type="checkbox"/>	Subdivision / Condo Plat
<i>X</i>	Use Permit / Use Permit Standard
<i>X</i>	Variance
<input type="checkbox"/>	Public Involvement Plan and Neighborhood Meeting

Type	Code Reference
City Code	Tempe City Code and City Charter
Zoning	Zoning and Development Code
General Plan	General Plan 2040
Subdivision	Subdivision Ordinance 99.21
Additional Planning Division information is available at City of Tempe - Planning	

NOTE: Effective immediately the Planning Division will conduct administrative completeness checks of formal applications and notify applicants of the status of their applications. Incomplete applications must be retrieved by applicants and resubmitted with all required items. Substantive reviews of formal applications begin only after they are deemed complete.

Development Services Division – Building Safety:

<i>Comment</i>
<ul style="list-style-type: none"> Plans submitted are insufficient and do not provide enough information for a code overview No new comments this review; see all previous comments Submit 2 complete sets of construction documents to Building Safety for building permit once planning entitlements are approved

NOTE: The adoption of the 2012 I-Codes and 2011 NEC is effective July 1st, 2015. Please see our website for additional information @ <http://www.tempe.gov/city-hall/community-development/development-services/building-codes-and-amendments>

Development Fees for police facilities, fire facilities, street facilities and park and recreational facilities (collectively, “General Government “Development Fees) were adopted by City Council on October 22, 2015 and will become effective on January 5, 2016. The City of Tempe historically has only charged water and wastewater development fees to account for system expansion due to development. Please see link below to access the General Government Development Information Sheet and Tempe Development Fee Schedule:

<http://www.tempe.gov/city-hall/community-development/development-services/fees>

Attachment: Unit/Suite Number Procedures (City of Tempe Administrative Code Sec 8-112)

Additional Building Safety Division information is available at <http://www.tempe.gov/city-hall/community-development/development-services>

Building Code questions contact Roger Vermillion, Plan Review Administrator, at 480-350-8071 or email roger_vermillion@tempe.gov

Permit submittal requirements and processing questions contact Lisa Loyd, Development Project Coordinator, at 480-350-8644 or email @ lisa_loyd@tempe.gov

Development Services Division – Civil Engineering:

Comment

- No new comments

Development Services Division – Engineering Land Services:

Comment

- See all prior comments

COMMUNITY SERVICES DEPARTMENT

Art in Private Development

Comment

-

Additional AIPD information is available at www.tempe.gov/aipd

HUMAN SERVICES DEPARTMENT

Diversity Division – Accessibility (ADA Compliance)

Comment

-

PUBLIC SAFETY:

FIRE DEPARTMENT

Comment

- Show location of on-site fire hydrant adjacent to McClintock within 150' of the FDC.

Code Type	Code Reference
Fire Code	2012 International Fire Code w/ Amendments
Fire Sprinkler	2010 NFPA 13
Fire Alarm	2010 NFPA 72

Additional Fire information is available at City of Tempe – Fire

POLICE DEPARTMENT

Comment

-

Additional Police information is available at www.tempe.gov/cpu
Information regarding the code for Police/security plans: <http://www.tempe.gov/Home/ShowDocument?id=8645>

INTERNAL SERVICES DEPARTMENT

Information Technology Network Division - Communications:

Comments

- Project is not required to comply with City Code Chapter 9, Article II

Application Process		Notes	
<input type="checkbox"/>	Specific Areas		Note Elevator and stair wells
<input type="checkbox"/>	Generator Back Up Power		24 Hour backup power
<input type="checkbox"/>	24 Hour Access		CoT needs to have 24 hour access to BDA
<input type="checkbox"/>	BDA Plans		Plans detailing BDA, conduit & antenna
<input type="checkbox"/>	Coverage Testing Plans		Plans detailing testing locations
<input type="checkbox"/>	Documentation Submitted		Submit to email address

Type	Code Reference
City Code	Tempe City Code and City Charter
City Requirements	Public Safety Radio Coverage Requirements for Developers

Additional Public Safety Communications information is available via a City RF Engineer 480-350-2980

PUBLIC WORKS DEPARTMENT:

Environmental Services Division:

Comment
•

Solid Waste Services Division:

Comment
<ul style="list-style-type: none"> • Prefer to see enclosure without an angle and instead with a straight forward approach for the truck. • Note on the plan that enclosure will be built per DS-116. • Please show dimensions on the plan, including 45' straight backing distance from face of enclosure.

Streets Division:

Comment
•

Transportation Division – Traffic:

Comment
<ul style="list-style-type: none"> • Coordinate with COT Transit about Traffic Signal relocation to avoid conflict between landscape, sidewalk, ... and modular poles

Transportation Division – Transit:

Comment
•

Water Utilities Division:

Comment
<ul style="list-style-type: none"> • Same comments from 06/31/2017 apply.

Type	Code Reference
Civil Engineering & Right of	Engineering Design Criteria

Way	
Standard Details	Standard Details
MAG Standards	MAG Uniform Standard Specifications & Uniform Standard Details for Public Works Construction

Additional Public Works information is available at [City of Tempe – Public Works](#)

OTHER WORK GROUPS

	Comment
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•
<i>Dept/Div</i>	•

EXHIBIT Q

Omar Abdallah

From: Stovall, Karen
Sent: Wednesday, August 30, 2017 8:23 AM
To: 'lisa@j-walters.com'
Subject: RE: 1st Review of DPR and Use Permits for PL170240: Quick Quack Car Wash, 5120 S. McClintock Dr.
Attachments: SPR17032_080217_REPORT.pdf; SPR17032_080217_MARKUP.pdf

Hi Lisa,

I have revised the SPR Report PDF to reflect the additional comments on the SPR Markup PDF. Both are attached. Please use these updated PDFs instead of the ones I sent on Monday.

Thank you for your patience.

Karen

From: Stovall, Karen
Sent: Tuesday, August 29, 2017 7:58 AM
To: 'lisa@j-walters.com'
Subject: RE: 1st Review of DPR and Use Permits for PL170240: Quick Quack Car Wash, 5120 S. McClintock Dr.
Importance: High

Hi Lisa,

I forgot to include a few comments about the elevations and colors. I'll get the revised PDF out to you asap this morning.

Thanks,

Karen

From: Stovall, Karen
Sent: Monday, August 28, 2017 4:27 PM
To: lisa@j-walters.com
Subject: 1st Review of DPR and Use Permits for PL170240: Quick Quack Car Wash, 5120 S. McClintock Dr.

Hi Lisa,

Please see the attached PDFs related to the first review of the DPR and use permit applications for Quick Quack.

Thank you, and let me know if you have any questions.

Karen Stovall
Planning Division
City of Tempe Community Development Department
karen_stovall@tempe.gov
480-350-8432

MINUTES HEARING OFFICER OCTOBER 3, 2017

Minutes of the regular public hearing of the Hearing Officer, of the City of Tempe, which was held at the Council Chambers, 31 East Fifth Street, Tempe, Arizona.

STUDY SESSION 4:30 PM

Present:

David Williams, Hearing Officer
Steve Abrahamson, Principal Planner
Lee Jimenez, Senior Planner
Karen Stovall, Senior Planner
Diane McGuire, Administrative Assistant II

There were 14 interested citizens present at the study session.

- Staff and the Hearing Officer discussed overview and updates to the scheduled cases for this hearing.

REGULAR SESSION 5:00 PM

Present:

David Williams, Hearing Officer
Steve Abrahamson, Principal Planner
Lee Jimenez, Senior Planner
Karen Stovall, Senior Planner
Diane McGuire, Administrative Assistant II

There were 15 interested citizens present at the regular session.

Meeting convened at 5:00 PM and was called to order by Mr. Williams. He stated that anyone wishing to appeal a decision made by the Hearing Officer would need to file a written appeal to that decision within fourteen (14) calendar days, by October 17, 2017 at 3:00 PM, to the Community Development Department.

1. The following was noted:

- Agenda Item No. 1

September 19, 2017 Hearing Officer Minutes

David Williams, Hearing Officer, stated that the September 19, 2017 Hearing Officer Minutes had been reviewed and were approved.

4. Compatibility with existing surrounding structures and uses; the proposed use is compatible in nature with uses allowed by right in the GID and not changes to the exterior of the building or site are anticipated.
5. Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public; the proposed use will be properly staffed to provide adequate supervision and safety to members of the public.

DECISION:

Mr. Williams approved the request for a use permit to allow an amusement business (axe throwing) for Lumberjaxes Axe Throwing (PL170285) located at 3109 South Fair Lane subject to the following Conditions of Approval:

1. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during building plan check process.
2. If there are any complaints arising from the Use Permit that are verified by a consensus of the complaining party and the City Attorney's office, the Use Permit will be reviewed by City staff to determine the need for a public hearing to re-evaluate the appropriateness of the Use Permit, which may result in termination of the Use Permit.
3. In order to assure that adequate off-street parking is provided for both the proposed and existing uses at this site, the number of throwing lanes shall be limited to eleven (11) lanes. The number of lanes may increase subject to the maximum occupancy allowed in the space and the number of required off-street parking spaces for all on-site uses.
4. Live entertainment requires a separate Use Permit.
5. An occupancy inspection and clearance from the Tempe Fire Department shall be obtained prior to the use permit becoming effective.
6. The applicant shall contact the City of Tempe Crime Prevention Unit for a security plan within 30 days of this approval. Contact 480-858-6409 before November 2, 2017.

4. Request approval for a variance to reduce the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20 feet to 11 feet 8 inches for **QUICK QUACK CAR WASH (PL170240)** located at 5201 South McClintock Drive. The applicant is Identity Mutual LLC.

Karen Stovall, Senior Planner, gave the following overview of this case:

- Ms. Stovall presented a location map indicating the proposed site and the surrounding community and zoning designations. She noted that this variance request is for the property located at 5201 South McClintock Drive which is zoning as PCC-1, Planned Commercial Center Neighborhood District.
- Ms. Stovall indicated on an aerial map that the site is located at the southeast corner of McClintock and Baseline. It is surrounded to the south, east and north across Baseline Road by commercial centers.
- To the west of the site, across McClintock Drive, there is an auto dealership.
- Ms. Stovall presented a site plan and explained that the applicant proposes to demolish the existing gas station and build a new automatic car wash building with self-service vacuum canopies.
- With this proposal, the applicant is requesting a variance to reduce the required landscape buffer from the sidewalk along Baseline Road for a maneuvering drive lane to enter the car wash tunnel from 20 ft. to 11 ft. 8 in.

- The applicant held a neighborhood meeting on August 21, 2017 and three (3) individuals attended. A summary of that meeting is provided in the staff summary report and the accompanying attachments.
- Staff has received two (2) letters of opposition. One (1) was included as a report attachment; the other was provided to the Hearing Officer at today's study session.
- Based on the information submitted by the applicant and a review of the variance criteria, staff recommends approval, subject to the assigned Conditions of Approval.

Mr. Williams questioned the approval process for a development such as this car wash, and whether staff had provided an analysis of the proposed site plan prior to this request.

Ms. Stovall noted that the applicant had submitted for a Preliminary Site Plan Review in January 2017 and at that time received a comment from the City's Public Works – Transportation Division that a 10 ft. right of way dedication was required on Baseline Road.

Ms. Stovall additionally explained that a request will be presented to the Development Review Commission at an as yet undetermined date for approval of a site plan, building elevations and landscape plan, as well as two (2) use permit applications to allow a car wash and to exceed the maximum number of parking spaces allowed on the site (125%).

Ms. Lindsay Shube of Gammage & Burnham was present to represent this case.

Mr. Williams questioned who Ms. Shube was representing. She acknowledged that she was the representative of Quick Quack Car Wash for the applicant, Michael Clark of Identity Mutual LLC, who was present in the audience. She acknowledged receipt of the Staff Summary Report and their understanding of the assigned Conditions of Approval.

Ms. Shube presented a power point presentation substantiating the applicant's request. That presentation indicated the following points:

- An aerial map showing the site location and the uses associated with the surrounding area.
- A zoning map indicating the site, its assigned zoning designation of PCC-1, and the assigned zoning districts of the surrounding area properties.
- She reiterated the applicant's specific variance request and numerical dimensions, and that it was due to the City of Tempe's request for a 10 ft. right-of-way dedication to accommodate a bus bay on the property's Baseline Road frontage. To accommodate the loss of lot depth from the ROW dedication, the applicant is requesting the variance to reduce the landscape setback in order to accommodate the drive aisle.
- Ms. Shube displayed a site plan and explained how this variance request meets all applicable criteria elements, including that the situation was not self-imposed and that other drive-through locations in the same intersection have non-conforming maneuvering lane setbacks.

Mr. Williams asked what period of time was covered by the terms of the lease agreement for Mr. Clark. Ms. Shube conferred with Ms. Clark and returned to the podium, stating that the lease agreement was for 20-25 years with 2 additional 5 year options.

Mr. Williams thanked Ms. Shube for her presentation, and noted that he had request cards from individuals who wished to speak on this case.

Ms. Jordan Rose of Rose Law Group representing the interests of Mr. Michael Pollack, owner of Peter Piper Plaza, the property that abuts the proposed car wash site on its eastern and southern sides.

Ms. Rose presented a power point presentation in support of Mr. Pollack's opposition to this request which indicated the following points:

- A site plan indicating the location of the proposed car wash as well as the area in opposition to this request.
- Ms. Rose stated that, in their opinion, there are no special circumstances applicable to this property as the site is not a small size entity but is approximately 33,367 s.f., and that this request for reduction is extreme in nature and attempting to use the City's ROW request as leverage for a reduction in development standards.
- Those development standards require that all maneuvering drive lanes shall provide for a minimum 20 ft. landscape buffer from the street sidewalk. This requirement was implemented City wide in 2010 for safety and quality.
- Ms. Rose stated that this site is prime real estate located on a busy intersection. She indicated that if the applicant chose to locate his car wash at a more suitable location they would not need a variance which would underutilize an important site by providing a special exception that is entirely self-imposed.
- Ms. Rose noted that at 33,367 s.f. the proposed Quick Quack Car Wash was still larger than other similar car washes in the area. She stated that these other car washes included:
 - Classic Car Wash at 33,106 s.f.
 - 3 Minutes Car Wash at 20,201 s.f.
 - Clean Freak Car Wash at 26,250 s.f.
 - Quick n Clean Car Wash at 29,2815 s.f.
- Even with the 10 ft. bus bay dedication, the lot of the proposed Quick Quack Car Wash was still larger than most other car wash lots at 32,107 s.f., meaning, Ms. Rose stated, that special circumstances are not applicable to the property, and that the applicant could make a far smaller sized site work for his proposed project.
- This lot is totally flat and a regular shape not burdened with surroundings so it is relatively a simple lot to develop as is without any need for variances.
- Ms. Rose referred to other sites in the area which have been developed without variances including El Pollo Loco on the northwest corner, Chapman Chevy on the southeast corner, and U S Bank were developed without any variances. Ms. Rose noted that Mr. Pollack has developed all of his properties without variances.
- Raceway Car Wash is a 35,363 s.f. car wash that met the required setbacks and required no variance(s).
- Ms. Rose stated that to allow a variance on landscaping at this crucially important intersection would be a special privilege as reducing the landscaping will not in any way help the City or neighboring landowners.
- Ms. Rose noted that Quick Quack Car Wash proposed a Phoenix location (SEC Thomas & 7th Street) 3 months ago on a smaller site and did not ask for variances. That location proposed 25,526 sf. And included 10 vacuum stalls whereas the proposed Tempe location proposed 16 vacuum stalls.
- All of the above points indicate that this proposed variance is self-imposed and not due to special circumstance, Ms. Rose stated. The requirement for landscaping is important to maintain quality development in Tempe and the most directly affected neighbor(s) are opposed to this request due to the negative affect the car wash will have on their property values.

Mr. Williams asked Ms. Rose if her client, Mr. Pollack, feels that this variance will harm the property site. Ms. Rose responded in the affirmative.

Mr. Williams thanks Ms. Rose for her presentation and noted that he had additional speaker request cards as follows:

Ms. Judy Morris, Tempe resident, spoke in opposition to this request. She stated that she was concerned over the noise that would be generated by this car wash and did not feel that the proposed site was a desirable location.

Ms. Sylvia Orioli, Tempe resident, spoke in opposition to this request. She stated that she lived in the area of East Harvard Drive. She expressed serious concerns about the safety and traffic hazards that would be increased at this intersection at McClintock and Baseline due to increased traffic associated with the car wash activities. There are already numerous car accidents in the area and this intersection is one of the busiest in Tempe. There are already many car washes in the immediate vicinity and the neighborhood does not need one more car wash. There are other uses that would be more appropriate for this heavily visited intersection. Another car wash would add to the noise pollution that is already present in the area. A reduction of the landscape buffer as proposed would create more serious traffic and visibility problems. It would be better to wait until after the bus bay has been relocated and a traffic study performed before granting a variance for landscape reduction. She stated that, as neighbors of this site, she doesn't understand why the applicant needs a variance.

Mr. Williams indicated that he had a speaker request card from Ms. Pat Crowe. Ms. Crowe indicated that she did not wish to speak at the podium but requested that Mr. Williams read her comments, as written on the card, into the record. Mr. Williams did so. He stated that Ms. Crowe was in opposition to this request as she did not feel they needed an eye sore on the corner and that car wash would increase the noise to an unacceptable level. Tempe has landscape buffer laws in place and these should be adhered to. There are already three (3) car washes within a 2 mile radius.

Mr. Williams thanked Ms. Morris and Ms. Orioli for attending this evening's public hearing and expressing their concerns.

Mr. Williams asked if there was any member of the audience who wished to address this request. There was no one.

Mr. Williams noted the safety concerns of the residents regarding the increased traffic this car wash may implement. He asked about the type of landscape the applicant will be required to provide.

Ms. Stovall responded, explaining that the applicant is required to provide trees on Baseline and McClintock and a percentage of shrubs and landscaping as detailed in the approved landscape plan.

Mr. Williams asked at what stage the development plan is at the present time. Ms. Stovall responded that the Preliminary Site Plan Review had been completed, and that the applicant is moving thru the process, including an upcoming Development Review Commission public hearing at which time the final site development (landscape, building elevations, site plan, use permits) will be presented to that governing body for approval.

Mr. Williams acknowledged that this is an important intersection and that the use of the property for a car wash is not something he can rule on today. The City's 10 ft. right of way dedication request was made by the Public Works – Transportation Department during the preliminary site plan review meeting in January 2017 and imposed on the applicant at that time.

Mr. Williams acknowledged that concerns about a proposed use is always a challenge. A lot of times, the nearby residents are not in support of the proposed foot print for a new use. At this point, the neighbors have had the opportunity to attend a neighborhood meeting and review the proposed plans. Additionally, they will have the opportunity to attend the Development Review Commission public hearing, when it is scheduled.

Mr. Williams stated that he is inclined to agree with staff who support this variance request subject to the assigned Conditions of Approval.

Mr. Williams acknowledged that this request meets the established criteria for a variance as follows:

1. That special circumstances are applicable to the property, including its size, shape, topography, location, or surroundings;

Due to the requested right-of-way dedication on Baseline Road, the depth of the property is being reduced by 10 ft. This dedication is intended to accommodate a new bus pullout and shelter and shifts the existing sidewalk 10' to the south. East of the site, the right-of-way width will remain 55 ft. The dedication for these transit improvements creates a special circumstance applicable to the property.

2. The strict application of this Code will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district

The right-of-way dedication is being requested of this particular development/property. Elsewhere, along the north and south sides of Baseline, both east and west of McClintock, the half-street rights-of-way will remain 55 ft.

3. The adjustment authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located

A range of parking and maneuvering setbacks exist along Baseline Road, and granting of this Variance would not create conditions that are inconsistent with other PCC-1 zoned properties in the vicinity.

4. A variance may not be granted if the special circumstances applicable to the property are self-imposed by the property owner.

The right-of-way dedication is being made at the request of the City of Tempe and is not self-imposed by the property owner.

DECISION:

Mr. Williams approved the request for a variance to reduce the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20 ft. to 11 ft. 8 in. for Quick Quack Car Wash (PL170240) located at 5201 South McClintock Drive subject to the following Conditions of Approval:

1. Development shall be in substantial conformance with the site plan dated August 24, 2017, subject to further review and approval by the Development Review Commission. The maneuvering drive lane setback may not be reduced further without approval of another variance.
2. This variance is valid only after a Building Permit has been obtained, the required inspections have been completed, and a Final Inspection has been passed.

10/3/17

Mayor Mitchell, City Council Members, Planning Department and Community Development:

As residents of East Harvard Drive, we are opposed to Quick Quack Car Wash's application for variance and use permits at 5201 E Baseline Road (application #PL170240). We are opposed to use permits to be granted for a car wash and we oppose the granting of a variance that would reduce the minimum landscape buffer for maneuvering driving lanes from 20 feet from the street sidewalk to less than 12 feet. We feel that a car wash would not be the optimal use for that site at the intersection of Baseline and McClintock. We have serious concerns about the proposed reduction of the setback. We are already troubled by the considerable current safety and traffic hazards at the intersection. We urge you to reject Quick Quack's application at the McClintock and Baseline intersection.

We have concerns about the traffic issues at McClintock and Baseline. Cars that travel south down McClintock must turn left on to the site and that continuously poses safety concerns for us, especially now if cars will be doing so for the car wash. We are already troubled by the numerous car accidents that we witness (and hear) from our residential street just one block south of the gas station site. Our concerns would be alleviated if the city fixed the traffic issues before issuing variances for a car wash at this intersection.

This intersection is already one of the busiest in Tempe. Between the auto dealership, restaurants, banks, supermarkets, and retail shops, we do not see how a car wash would be a viable operation at this site. There are already many car washes in the immediate vicinity. This neighborhood does not need one more car wash. There are other types of uses that we believe would be more appropriate for this heavily visited intersection.

In addition, we know that the city is implementing a new transportation plan that includes moving the bus bay at the northern part of the site, on Baseline. Quick Quack is now asking for a variance because of the proposed new location of the bus bay. We believe that a variance for this site should not be granted until AFTER the bus bay has been relocated and a traffic study performed so that the city – and we – have a better idea how traffic will be affected. If the landscape buffer setback is reduced dramatically, as proposed, it could create much more serious traffic and visibility problems.

We oppose the applications for the car wash to obtain use permits and a variance for the reasons state above. We appreciate your time and consideration of this matter.

Sincerely,

Larry Brasch

Sylvia Orioli

Handwritten signatures of Larry D. Brasch and Sylvia Orioli. The signature for Larry D. Brasch is written in dark ink and is positioned above the signature for Sylvia Orioli, which is written in a lighter ink.

10/3/17

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This intersection is already one of the busiest in Tempe. Between the auto dealership, restaurants, banks, supermarkets, and retail shops, we do not see how a car wash would be a viable operation at this site. There are already many car washes in the immediate vicinity. This neighborhood does not need one more car wash. There are other types of uses that we believe would be more appropriate for this heavily visited intersection.

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Larry Brasch

Sylvia Orioli

Handwritten signatures of Larry D. Brasch and Sylvia Orioli. The signature for Larry D. Brasch is written in dark ink and is positioned above the signature for Sylvia Orioli, which is written in a lighter ink.

Stovall, Karen

From: Judith Morris [REDACTED]
Sent: Tuesday, October 10, 2017 7:05 PM
To: Mitchell, Mark; Thomson, Alec; Arredondo-Savage, Robin; colby_granville@tempe.gov; Keating, Randy; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel; Schapira, David; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve [REDACTED]; [REDACTED]
Subject: Opposition to Proposed Quick Quack Car Wash

To Whom It May Concern,

My name is Judy Morris and I reside at [REDACTED] Tempe, AZ 85283. The purpose of this email is to inform the City Staff, City Council, City Mayor and Quick Quack representative of my opposition to the Quick Quack car wash proposed at 5201 S McClintock Dr, Tempe, AZ 85283.

Many of the neighbors verbalized their list of concerns during the City Council meeting last week. It appears as if this proposal is asking the city to relax their rules; no other properties in this area have requested a variance. This commercially zoned property would be better suited for many types of business, but NOT another car wash (there is a car wash within 1 mile South, East and also West of this intersection). This intersection is a very busy intersection, hosting traffic towards the US 60 and the 101.

In addition, the noise from this neighborhood corner is already immense, from the Chapman intercom, to the Fire Station to endless traffic either heading to one of the freeways or one of the multitude of stores and restaurants in the area.

Best Regards,

Judith M Morris
[REDACTED]

Stovall, Karen

From: Jennifer Sandhu [REDACTED] >
Sent: Tuesday, October 10, 2017 7:15 PM
To: Stovall, Karen
Subject: Quick Quack NOT a friend of Tempe

Hello Karen,

My name is Jennifer Sandhu and am a neighbor on Harvard Dr. close to the McClintock and Baseline intersection. The Quick Quack car wash is in process of submitting variances to eventually build on the South East corner of the intersection. I strongly oppose the use of this land for a car wash as it directly contradicts the direction Tempe is heading, a pedestrian and bicycle friendly city.

Please join our neighbors and myself in opposing the use of this lot for a car wash.

Best Regards,

Jennifer Sandhu
[REDACTED]

Stovall, Karen

From: Justin Whitney [REDACTED]
Sent: Tuesday, October 10, 2017 7:35 PM
To: Stovall, Karen
Subject: Fwd: NO to the Quick Quack at 5201 S. McClintock Dr.

My name is Justin Whitney and I've lived at [REDACTED] in Tempe since early 2012. I think that a car wash on the corner of McClintock and Baseline is one of the worst conceivable uses of the property as is against the interest of public safety, and diametrically contrary to the attempts by the city to promote cycling, foot traffic, and other methods of transportation that take cars off of the road and improve quality of life in Tempe. I have a somewhat unique perspective on the effect that a car wash at this busy intersection will have, as I've logged 3500+ miles on my bicycle over the last several years, having exclusively biked, walked, and made use of Tempe public transit (bus/light rail) for two of those years. All of those miles were on city streets, both before and after the bike lanes went in on McClintock. As a cyclist, I've dodged cars entering and exiting car washes in several places in Tempe, narrowly avoiding being hit at least twice by drivers who are fiddling with their mirrors and adjusting their seats after service, are paying even less attention to their driving than the average motorist. The Cobblestone car wash at Baseline and Kyrene is a great place to get hit on a bicycle. The Francis and Sons car wash on McClintock, which is just north of the busy McClintock canal crossing, contributes to the difficulty of navigating the block or so surrounding that busy retail complex, and ensures that the number of cars driving with little regard for pedestrians and cyclists is higher than it might be without that business. I've been hit by a car once in the two years I've ridden. Our streets are dangerous enough as it is, and a business like Quick Quack further adds to that danger. My personal and recent experience as a cyclist is evidence of this.

I'm sure there are opportunities for Quick Quack to locate their business elsewhere in Tempe. This intersection is too highly traveled and dangerous as it is for a car wash on that corner to be in the public interest. To add to the safety concern, Quick Quack has requested a variance which will reduce the buffer between the street (and me and my fellow cyclists), and their inherently high traffic business. These buffers exist for a reason, and provide cyclists like myself with an improved safety margin when passing businesses like this. Granting the variance decreases safety even further. Because this use of the property is in direct conflict with the vision of the city and the installation of new bike and pedestrian routes, because this business will negatively affect public safety, and because it will increase traffic in and around an already high traffic intersection, I'd like to request that you do what you can to oppose it as I do.

Thank you,

Justin Whitney
[REDACTED]

Stovall, Karen

From: cgreenhvac [REDACTED]
Sent: Tuesday, October 10, 2017 8:07 PM
To: Mitchell, Mark
Cc: Thomson, Alec; Arredondo-Savage, Robin; Granville, Kolby; Keating, Randy; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel; Schapira, David; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve; [REDACTED]
Subject: NO Quick Quack car wash at 5201 S McClintock Dr, Tempe, AZ 85283

To whom it may concern,

I am a homeowner at [REDACTED] Tempe, AZ 85283, and vehemently oppose the proposed car wash, Quick Quack, at 5201 S McClintock Dr, Tempe, AZ 85283. My concerns include safety, noise pollution and potential loss of property value. I was unable to attend the public hearings but learned I am still able to voice my opinion. There are already five car washes within the vicinity, and I believe this site would benefit the neighborhood as another type of business.

Respectfully,

Chris Green
Sent from Samsung tablet

Stovall, Karen

From: shannon marie fisher [REDACTED]
Sent: Tuesday, October 10, 2017 8:22 PM
Cc: Mitchell, Mark; Thomson, Alec; Arredondo-Savage, Robin; Granville, Kolby; Keating, Randy; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel; Schapira, David; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve; [REDACTED]
Subject: Re: NO Quick Quack car wash at 5201 S McClintock Dr, Tempe, AZ 85283

To whom it may concern,

I am a homeowner at [REDACTED] [Tempe, AZ 85283](#), and vehemently oppose the proposed car wash, Quick Quack, at [5201 S McClintock Dr, Tempe, AZ 85283](#). My concerns include safety, noise pollution and potential loss in property values. I was unable to attend all of the public hearings but thankfully learned I am still able to voice my opinion. There are already five car washes within the vicinity, and I believe the neighborhood would benefit from another type of business.

Respectfully,

Shannon Marie Fisher-Green

On Tue, Oct 10, 2017 at 8:07 PM, cgreenhvac <cgreenhvac@gmail.com> wrote:
To whom it may concern,

I am a homeowner at [REDACTED] [Tempe, AZ 85283](#), and vehemently oppose the proposed car wash, Quick Quack, at [5201 S McClintock Dr, Tempe, AZ 85283](#). My concerns include safety, noise pollution and potential loss of property value. I was unable to attend the public hearings but learned I am still able to voice my opinion. There are already five car washes within the vicinity, and I believe this site would benefit the neighborhood as another type of business.

Respectfully,

Chris Green
Sent from Samsung tablet

Stovall, Karen

From: S O [REDACTED]
Sent: Tuesday, October 10, 2017 9:48 PM
To: [REDACTED]; Mitchell, Mark; Thomson, Alec; robin_arrendondo-savage@tempe.gov; Granville, Kolby; Keating, Randy; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel; Schapira, David; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve
Subject: We Don't Want a QUICK CAR CAR WASH at McClintock and Baseline in Tempe

Dear Quick Quack Car Wash, Mayor Mitchell, City Council Members, City Manager and Planning Staff,

As long time residents living on Harvard Drive in Tempe, we are opposed to Quick Quack Car Wash locating a car wash at the SE corner of McClintock Drive and Baseline Road.

Traffic issues at this intersection are well documented. Safety has become more difficult due to traffic density, removal of lanes to create a bicycle buffer lane on both north and south bound lanes and increased foot traffic to the bus bays on all 4 corners.

Pedestrians, bicycles and street traffic (cars, buses, trucks and motorcycles) already have enough challenges navigating this high density area. Traffic entering this location turning left will increase this traffic safety hazard.

Noise from Blower fans and vacuum equipment will further raise the decibel level above what is already present at this busy intersection.

Quality of life, safety and a peaceful neighborhood are the reason why our home is on Harvard Drive. Locating Quick Quack car wash simply compromises this area with more traffic, more noise and a lower Quality of life in our area.

Traffic safety, noise, and a neighborhood opposing this location for your car wash, you must certainly have other locations providing a better fit for the Quick Quack car wash.

Sincerely,

Sylvia Orioli and Larry
Brasch

Dr.

[REDACTED]

Tempe, Az. 85283

Larry Brasch

Stovall, Karen

From: Bob Crowe [REDACTED]
Sent: Wednesday, October 11, 2017 2:53 PM
To: [REDACTED]
Cc: [REDACTED] Mitchell, Mark; Thomson, Alec; Arredondo-Savage, Robin; Granville, Kolby; Keating, Randy; david_shapiro@tempe.gov; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel
Subject: No Car Wash @5201 S. McClintock Dr., Tempe Az.

As a residents of [REDACTED] for thirty -seven years, we do not feel that a car wash is an appropriate use of a valuable corner lot. We feel that the high volume of traffic plus the noise factor from the blowers and vacuum booths will create chaos to an otherwise tranquil neighborhood. There is a more appropriate use of this land.

We do not want to see a Quick Quack Car Wash on this corner at 5201 S. McClintock Dr.

Respectfully,
Robert R. Crowe Jr.
Patricia A. Crowe
[REDACTED]

Stovall, Karen

From: S O [REDACTED]
Sent: Thursday, October 12, 2017 1:45 PM
To: [REDACTED] Mitchell, Mark; Thomson, Alec; robin_arrendondo-savage@tempe.gov; Granville, Kolby; Keating, Randy; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel; Schapira, David; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve
Subject: My Opposition to Quick Quack Car Wash at 5201 S. McClintock Dr., Tempe Az. 85283

My name is Lloyd Platz and I live at [REDACTED], Tempe, Az. 85283. I do not have a computer and have asked my neighbor Sylvia Orioli to help me submit my opposition.

The following issues are my major oppositions:

1. **Size of the property** - This property is too small for a car wash even by your standards. I have read that your ideal lot size is one acre, and this is considerably less.
2. **Zoning Variances** - Because the property is so small you have asked the City of Tempe for zoning variances. To my knowledge Bank of America, Chapman Chevrolet and Pollo Loco do not have variances. Zoning regulations were created by the City, for public safety among other reasons and changing zoning is not in the best interest of the City or it's residents.
3. **Other car washes in this area** - To my knowledge there is a car wash one mile to the west, a car wash one mile to the east and a car wash one mile to the south. I think you can find a larger more appropriate location for your Quick Quack Car Wash that would be a better fit for your company.
4. **Safety** - This intersection is already very congested with traffic and I think a car wash will add to more congestion and accidents.

Stovall, Karen

From: Caitlin Haffner [REDACTED]
Sent: Friday, October 13, 2017 3:28 PM
To: [REDACTED] Mitchell, Mark
Cc: Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve
Subject: Oppositions to Quick Quack car wash 5201 s McClintock dr. Tempe, Az 85283

Sarah Oswald & Caitlin Haffner at [REDACTED] Tempe, Az 85283 are opposing quick quack to build at this location or anywhere near this neighborhood. We do not want the car wash, & will do anything to refrain this company from construction. 86 quick quack from tempe, Arizona. The decibels from the blowers is inappropriate to have anywhere near residential neighborhoods.

Stovall, Karen

From: Jason Johnson [REDACTED]
Sent: Wednesday, October 11, 2017 7:40 PM
To: Judith Morris; Mitchell, Mark; Thomson, Alec; Arredondo-Savage, Robin; colby_granville@tempe.gov; Keating, Randy; Gwinn, Kristin; Kuby, Lauren; Navarro, Joel; Schapira, David; Higgins, Elizabeth; Spisz, Parrish; Ching, Andrew; Levesque, Ryan; Stovall, Karen; Weaver, Chad; Abrahamson, Steve; Tim Wright; Travis Kimball
Subject: RE: Opposition to Proposed Quick Quack Car Wash

Judith and the neighbors in Tempe,

Thank you for your thoughtful and respectful email regarding our car wash project. As the CEO and founder of Quick Quack Car Wash, I appreciate sincere dialogue and I believe I understand some concerns you raise in your email. Please allow me to describe our business and our operations to see if it might allay some or all of your concerns. We can dialogue further by email, by phone or in person to try and further answer any questions you have.

- Years ago, I began this business because of my frustration with car wash offerings as a student
 - My personal experience was that car washes were dirty, slow, noisy and probably most frustrating to me, the employees were very unprofessional
 - I discovered that there was a technology available to make car washes very environmentally friendly by recycling water
- I believed that by presenting a clean building with clean Team Members (employees) and getting cars clean (really fast), I could out “car wash” any competitor
- We have implemented the latest water recycling technology and we recapture 100% of our water, recycle it and reuse it. About 70% of our water on every car is recycled. There isn’t necessarily a positive return on this investment (yet), but it has always felt like the right thing to do in order to be good stewards of a very precious resource
- Our Team Members (all of us) have a great passion to be involved in our community. The most enjoyable part of managing a QQ Car Wash is volunteering in the community and sponsoring fundraisers. Car washes are a natural fundraiser and we provide that opportunity to every school, band, club and team we are able to in order to both protect the environment from harmful driveway and parking lot washing, but also to increase the actual dollars earned for the fundraiser involved
- The current use is a gas station that averaged about 1,500 visits per day. We average less than 500 visits per day and will significantly reduce traffic on the proposed site.
 - We are an impulse purchase and not a destination, so we don’t produce additional traffic, but simply serve the traffic that is in front of us on the street
- Quick Quack car washes are surprisingly quiet and we employ the latest technology to keep the sounds that typically are part of a car wash at a conversation level by the time we reach the edge of the property
 - Our sound will be much less than the noise created by the traffic on the street

I love that in this wonderful country we have the ability to innovate, compete, and try to create something better without our government creating barriers to competition

- I noticed in looking at just over the 1-mile radius you reference, there are 6 sandwich shops (2 Jimmy Johns, 3 Subways), 7 burger options (2 McDonald’s) and 3 “Tex-Mex” restaurants. I also noticed that there are very few pizza options in the one-mile radius since that is unusual and disappointing (pizza is still my weakness 20 years after finally graduating).
- I like the Chick-fil-A model – they compete with El Pollo Loco, KFC, Raising Canes, Popeye’s and any other fast food or fast casual option, often within a very close radius (less than 1 mile). They win because they present a very clean facility, their employees are professional and kind and they are a great partner in the community. I

can only aspire to be as good as they are, but we work very hard to treat our wonderful Team Members in a way that they will treat our guests with great kindness and inspire you to want to return again and again.

I believe there is room for competition in any market in any industry. I believe you will find us to be a wonderful neighbor that intends to make a difference in your community, as well as provide great service. We definitely will reduce the traffic on the site and will not be a noise nuisance.

I look forward to dialoging further with you and welcome any additional comments or concerns you may have.

Warmest regards,
Jason Johnson
CEO, Quick Quack Car Wash

Thanks,
Jason

From: Judith Morris [mailto: [REDACTED]]
Sent: Tuesday, October 10, 2017 7:05 PM
To: mark_mitchell@tempe.gov; alec_thomson@tempe.gov; robin_arredondo-savage@tempe.gov; colby_granville@tempe.gov; randy_keating@tempe.gov; kristin_gwinn@tempe.gov; lauren_kuby@tempe.gov; joel_navarro@tempe.gov; david_schapira@tempe.gov; elizabeth_higgins@tempe.gov; parrish_spisz@tempe.gov; andrew_ching@tempe.gov; ryan_levesque@tempe.gov; karen_stovall@tempe.gov; chad_weaver@tempe.gov; steve_abrahamson@tempe.gov; Jason Johnson < [REDACTED] >; Tim Wright [REDACTED]; Travis Kimball [REDACTED]
Subject: Opposition to Proposed Quick Quack Car Wash

To Whom It May Concern,

My name is Judy Morris and I reside at [REDACTED], Tempe, AZ 85283. The purpose of this email is to inform the City Staff, City Council, City Mayor and Quick Quack representative of my opposition to the Quick Quack car wash proposed at 5201 S McClintock Dr, Tempe, AZ 85283.

Many of the neighbors verbalized their list of concerns during the City Council meeting last week. It appears as if this proposal is asking the city to relax their rules; no other properties in this area have requested a variance. This commercially zoned property would be better suited for many types of business, but NOT another car wash (there is a car wash within 1 mile South, East and also West of this intersection). This intersection is a very busy intersection, hosting traffic towards the US 60 and the 101.

In addition, the noise from this neighborhood corner is already immense, from the Chapman intercom, to the Fire Station to endless traffic either heading to one of the freeways or one of the multitude of stores and restaurants in the area.

**CITY OF TEMPE
HEARING OFFICER**

**Meeting Date: 10/03/2017
Agenda Item: 3**

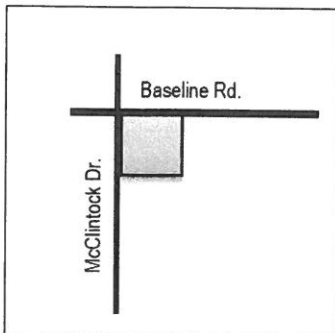
ACTION: Request approval of a variance to reduce the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20' to 11'-8" for QUICK QUACK CAR WASH, located at 5201 South McClintock Drive. The applicant is Identity Mutual, LLC.

FISCAL IMPACT: N/A

RECOMMENDATION: Staff – Approve, subject to conditions

BACKGROUND INFORMATION: QUICK QUACK CAR WASH (PL170240) is a proposed car wash at the southeast corner of McClintock Drive and Baseline Road. The existing gas station building at this corner would be demolished and replaced with a 3,319 s.f. automatic car wash building and self-serve vacuum canopies. The request includes the following:

1. Variance to reduce the required landscape buffer from the street sidewalk for a maneuvering drive lane from 20 feet (20') to 11 feet 8 inches (11'-8").



Property Owner	Pura Vida Properties, LLC
Applicant	Michael Clark, Identity Mutual, LLC
Zoning District	PCC-1 (Planned Commercial Center Neighborhood)
Net Site Area	31,893 s.f.
Building Area	3,319 s.f.
Lot Coverage	10% (max. 50% allowed)
Building Setbacks	45' front, 36'-10" rear, 19'-4" street side, 113'-3" side (min. 0', 30', 0', 30' required)
Landscape Area	26% (min. 15% required)
Vehicle Parking	19 spaces, subject to use permit approval (11 min. required, 14 max. allowed)
Bicycle Parking	4 spaces (4 min. required)
Hours of Operation	7:00 a.m. to 9:00 p.m.

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Karen Stovall, Senior Planner (480) 350-8432

Department Director: Chad Weaver, Community Development Director

Legal review by: N/A

Prepared by: Karen Stovall, Senior Planner

Reviewed by: Steve Abrahamson, Planning & Zoning Coordinator

COMMENTS

This site is located at the southeast corner of McClintock Drive and Baseline Road and is zoned PCC-1. It is surrounded on the east and south by a commercial shopping center, to the west, across McClintock Drive, by a car dealership (Chapman Chevrolet), and to the north, across Baseline Road, by another commercial center that includes a bank with drive-through at the immediate corner. A commercial center also exists at the northwest corner of the same intersection that includes a restaurant with drive-through at the immediate corner.

The site contains a gas station that was closed and fenced off in early 2017. This gas station had been in operation since the early 1970s.

The applicant submitted for Preliminary Site Plan Review in January 2017 and received a comment from the Public Works, Transportation Division that a 10' right-of-way dedication is required on Baseline Road in order to accommodate a new bus pullout and bus shelter on the south side of Baseline, just east of McClintock. This 10' dedication would increase the south half-street right-of-way width of Baseline from 55' to 65' adjacent to this property.

The applicant has also filed a Development Plan Review application for approval of a site plan, building elevations and landscape plan and two Use Permit applications to allow a car wash and to exceed the maximum number of parking spaces allowed on the site (125%). These applications will be heard by the Development Review Commission at an undetermined future date.

PUBLIC INPUT

A neighborhood meeting was held on August 21, 2017. In addition to the applicant's team, three individuals were in attendance: two residents who live to the south of the site and one individual representing the property owner of the Peter Piper Plaza commercial center that surrounds the subject site to the south and east. The two residents expressed concerns with the following: traffic and vehicle accidents on McClintock, overnight security while the car wash is closed, noise, and how the car wash might impact water pressure in their neighborhood. The applicant responded that the proposed car wash will not generate additional vehicle trips through the intersection, that there will be 24 hour security cameras at the facility and the wash tunnel is secured at night, the site is at least 270' away from any residential properties and the dryers do not operate louder than 65 dB, and that the water used while washing is recycled and would not impact water pressure within the subdivision to the south. The representative of Peter Piper Plaza stated that he did see the need for another car wash in the area. The applicant's meeting summary is attached.

On August 23, 2017, staff received a phone call from an individual who stated that he lives in Tempe but did not identify his specific neighborhood. He expressed concern with the redevelopment of the site if the proposed building would be located any closer to Baseline or McClintock than the existing convenience market for the gas station. He stated that locating it any closer would hinder drivers from seeing on-coming vehicles on the intersecting streets. Staff explained that the building would be closer to both streets than the existing building; however, the Zoning and Development Code allows front and street-side building setbacks of zero feet (0') but the applicant is not locating the building directly adjacent to either property line in order to allow both vehicular circulation on the site and the required street trees. Staff also e-mailed this individual a copy of the site plan and did not receive further communication.

On August 25, 2017, staff received a letter of opposition from a law firm representing Peter Piper Plaza (see attached). This law firm also requested a meeting with staff to discuss their concerns. Staff met with a representative of the law firm on August 29, 2017 to listen to the concerns expressed in the letter.

VARIANCE

The proposed design requires a variance to reduce the required landscape buffer between the sidewalk on Baseline Road and the maneuvering drive lane to enter the car wash tunnel. A minimum 20' is required and the plan provides a buffer of 11'-8".

Section 6-309 D. Variance Approval Criteria (*in italics*):

1. *That special circumstances are applicable to the property, including its size, shape, topography, location, or surroundings;*

Due to the requested right-of-way dedication on Baseline Road, the depth of the property is being reduced by 10'. This dedication is intended to accommodate a new bus pullout and shelter and shifts the existing sidewalk 10' to the south. East of the site, the right-of-way width will remain 55'. The dedication for these transit improvements creates a special circumstance applicable to the property.

2. *The strict application of this Code will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district*

The right-of-way dedication is being requested of this particular development. Elsewhere, along the north and south sides of Baseline, both east and west of McClintock, the half-street rights-of-way will remain 55'.

Additionally, the drive-through uses at the northeast and northwest corners of this same intersection have non-conforming parking and maneuvering lane setbacks. The bank property at the northeast corner of the intersection was developed in the mid-70s, and the vehicle parking spaces currently have no setback along McClintock or Baseline. Historical aerials show that parking setbacks were provided but later eliminated with the widening of both roadways. The drive-through restaurant at the northwest corner of McClintock and Baseline was approved in 2005. At that time, the Zoning and Development Code required a minimum 15' landscape setback adjacent to any street. The provided setback is not dimensioned on the approved site plan, and measuring on aerial photos, there appears to be less than 15' between the back of sidewalk along McClintock and the drive-through maneuvering lane.

3. *The adjustment authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located*

A range of parking and maneuvering setbacks exist along Baseline Road, and granting of this Variance would not create conditions that are inconsistent with other PCC-1 zoned properties in the vicinity.

4. *A variance may not be granted if the special circumstances applicable to the property are self-imposed by the property owner.*

The right-of-way dedication is being made at the request of the City of Tempe and is not self-imposed by the property owner.

REASONS FOR APPROVAL:

Based on the information provided by the applicant, the public input received and the above analysis staff recommends approval of the requested Variance. This request meets the required criteria and will conform to the conditions.

SHOULD AN AFFIRMATIVE ACTION BE TAKEN ON THIS REQUEST, THE FOLLOWING NUMBERED CONDITIONS OF APPROVAL SHALL APPLY, BUT MAY BE AMENDED BY THE DECISION-MAKING BODY.

CONDITIONS OF APPROVAL:

1. Development shall be in substantial conformance with the site plan dated August 24, 2017, subject to further review and approval by the Development Review Commission. The maneuvering drive lane setback may not be reduced further without approval of another variance.
2. This Variance is valid only after a Building Permit has been obtained, the required inspections have been completed, and a Final Inspection has been passed.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/planning/documents.htm or purchase from Development Services.
- **SITE PLAN REVIEW:** Verify all comments by all departments on each Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits
- All business signs shall receive a Sign Permit. Contact sign staff at 480-350-8435.

HISTORY & FACTS:

- | | |
|-----------------|---|
| July 19, 1972 | Design Review Board approved the site plan and landscape plan for Mobil Oil Corp. and Car Wash (DR-72.117), located at 5201 S. McClintock Dr. |
| July 25, 1972 | Board of Adjustment approved a use permit for Mobil Oil Corp. (A-72-7.6) to construct a service station with car wash at the southeast corner of McClintock Drive and Baseline Road, located at 5201 S. McClintock Dr., in the PSC1 district. |
| January 1, 1973 | Design Review Board approved the design review (DR-72.117) for the building for Mobil Oil Service Station, located at 5201 S. McClintock Drive. |

ZONING AND DEVELOPMENT CODE REFERENCE:

- Section 3-408 Drive-Through Facilities
- Section 6-309 Variance

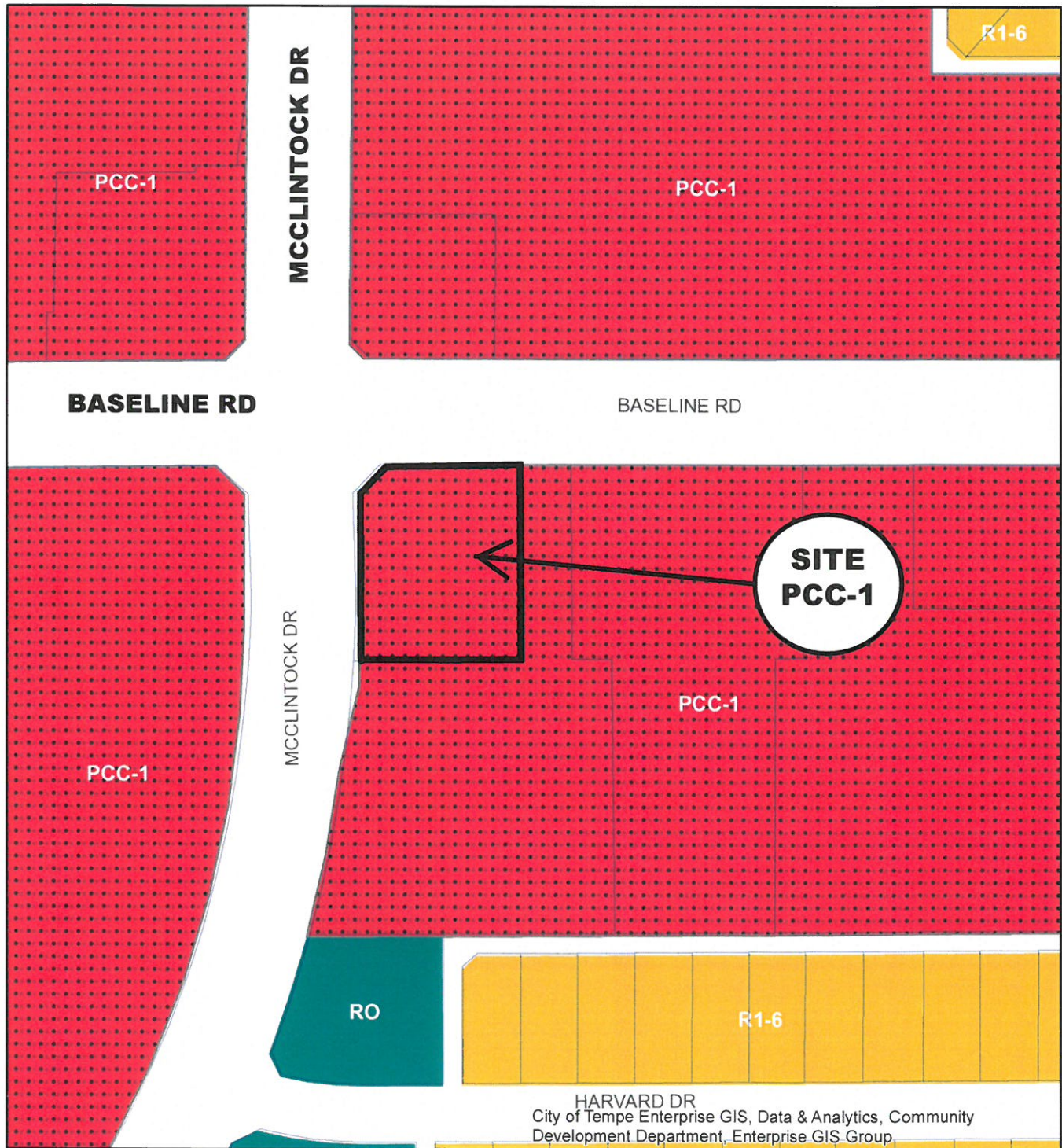
DEVELOPMENT PROJECT FILE
for
QUICK QUACK CAR WASH
(PL170240)




ATTACHMENTS:

1. Location Map
2. Aerial
- 3-4. Letter of Explanation
5. Site Plan
- 6-7. Building Elevations
- 8-10. Letter of opposition
- 11-13. Neighborhood Meeting Summary (A portion of Public Involvement Final Report)

QUICK QUACK CAR WASH

PL170240



-  Planned Commercial Center Neighborhood (PCC-1)
-  Residential/Office (RO)
-  Single-Family Residential (R1-6)

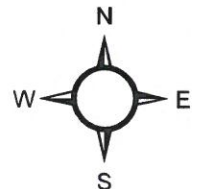


QUICK QUACK CAR WASH

PL170240



Aerial Map





2980 E. Northern Ave., Suite A
Phoenix, Arizona 85028
(602) 667-6685
FAX (602) 667-6612

August 24, 2017

City of Tempe
Planning Division
31 E. 5th St.
Tempe, Arizona 85281

**Re: Letter of Explanation – Variance Request
ZDC Table 4-203.A.
ZDC-Sec.3-408.A.
Proposed Quick Quack Car Wash
SEC Baseline Rd. & McClintock Dr.
Tempe, Arizona**

To whom it may concern:

This document is to supplement the submittal for a Variance Request for a Quick Quack express car wash at SEC Baseline Rd. & McClintock Dr. We desire to raze the existing gas station improvements on the site and construct a free-standing car wash of approximately 3,421 square feet on this parcel of approximately .77 acres. The site is zoned PCC-1, in which a car wash is permitted with a Conditional Use Permit, which we will seek approval. A Variance is required, based on the plans submitted.

Our intent is to build a first-class operation consistent with the branding that Quick Quack builds in the southwest, including Phoenix, the Coachella Valley, and the Inland Empire portions of southern California. Quick Quack is currently the 6th largest car wash in its category in the United States, and will be ranked #2 or #3 by the time this unit opens in 2018. Quick Quack is a touchless car wash: they have two employees on site to assist the customer with paying and guiding them on to the conveyor that guides them through the wash. Aesthetically, our desire is not to build a typical car wash, but a first class looking building that has more of the look and feel of a high-quality retail building, like the retail buildings adjacent to the Fry's Marketplace across the street. The materials we utilize are high quality, including block, stucco, and cultured stone.

Due to the small size of the parcel and that it is not a part of the ownership of the adjacent shopping center, there are challenges for any user who would redevelop this site. Further complicating the matter is the desire of the City to have the bus bay moved from about 180 feet east of this site along Baseline Rd. to immediately on the corner at the north end of this site. Quick Quack has entered into a ground lease for this property, and as a part of this redevelopment, the property owner is dedicating land for this bus bay to the City.

In order to redevelop this site with the 10-foot right-of-way dedication, we are requesting a variance to reduce the minimum landscape buffer for maneuvering drive lanes from 20 feet from the street sidewalk to 11' 8" (ZDC-Sec.3-408.A.) as the land that would have satisfied these requirements is now a part of the right of way dedication.

This hardship is not self-imposed. Due to the growth in the area and an increased use of mass transit requiring widening of Baseline Rd., and now the dedication of land for a new bus bay, frontage has been, and continues to be taken from this property. These dedications have finally come to a point where

redevelopment and modernization of the property without special consideration to the existing Zoning and Development Code is not possible. Other properties in the area are not subject to these stipulations as the dedications have been made and absorbed into the overall property, or the properties are much larger and can handle dedications of this size with minimal impact. This property can not handle such a large impact.

We are excited to have the opportunity to open one of our first Quick Quack's in this market be in the City of Tempe, and kindly request the above referenced variance.

If you have any questions, please call me.

Regards,

A handwritten signature in cursive script that reads "Michael R. Clark".

Michael R. Clark
602-717-6717
mclark@mutualdevco.com

08-24-17

SHEET NOTES

- 1 PROPERTY LINE
- 2 CONCRETE PAVING- SEE CIVIL DRAWINGS
- 3 CONCRETE WALKWAY- SEE CIVIL DRAWINGS
- 4 CONCRETE CURB- SEE CIVIL DRAWINGS
- 5 CONCRETE PAVEMENT WITH TRODDING CURB- SEE CIVIL DRAWINGS
- 6 PLANTED AREA
- 7 ACCESSIBLE STALL AND ACCESSIBLE ASILE
- 8 ACCESSIBLE RAMP
- 9 ACCESSIBLE PARKING SIGN
- 10 ACCESSIBLE PARKING SPACE SURFACE IDENTIFICATION
- 11 NEW 8'-0" HIGH LIGHT POLE
- 12 VAN ACCESSIBLE PARKING SIGN- 407 MIN. ABOVE PAVED SURFACE. SEE CIVIL DRAWINGS
- 13 12" HIDE x 48" LONG STAMPED CONCRETE LEADING TO CORRELATOR NOT USED
- 14 12" HIDE x 48" LONG STAMPED CONCRETE LEADING TO CORRELATOR AND DISCREETIONARY PARKING AT ALL DISTANCES
- 15 PROVIDE STAMPED CONCRETE LANE DIVIDERS AND DISCREETIONARY PARKING AT ALL DISTANCES
- 16 STAMPED CONCRETE STROPPING
- 17 PAINTED BOLLARD
- 18 HENR ROAD (WHEN FINISHED, OTHER INSTALLED)
- 19 PAY STATION CANOPY
- 20 VACUUM SHADE CANOPY
- 21 TRASH / ROSE HOLDER (WHEN FINISHED, CONTRACTOR INSTALLED)
- 22 NOT USED
- 23 BIKE RACK- (2) RACKS PER 1-578 (DDC 4-608)
- 24 BLUE PAINT BORDER STROPPING
- 25 TRANSFORMER- SEE ELECTRICAL DRAWINGS



PROJECT DESCRIPTION

CONTACT/ APPLICANT: IDENTITY METAL, LLC, AS AGENT FOR QUACK CAR WASH DEVELOPMENT, LLC
 780 E. NORTHERN AVENUE, SUITE A PHOENIX, AZ 85028
 CONTACT: JIM WATSON
 PHONE: (602) 451-6669, FAX: 602-661-6662, E-MAIL: jwatson@identitymetal.com

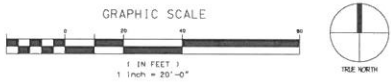
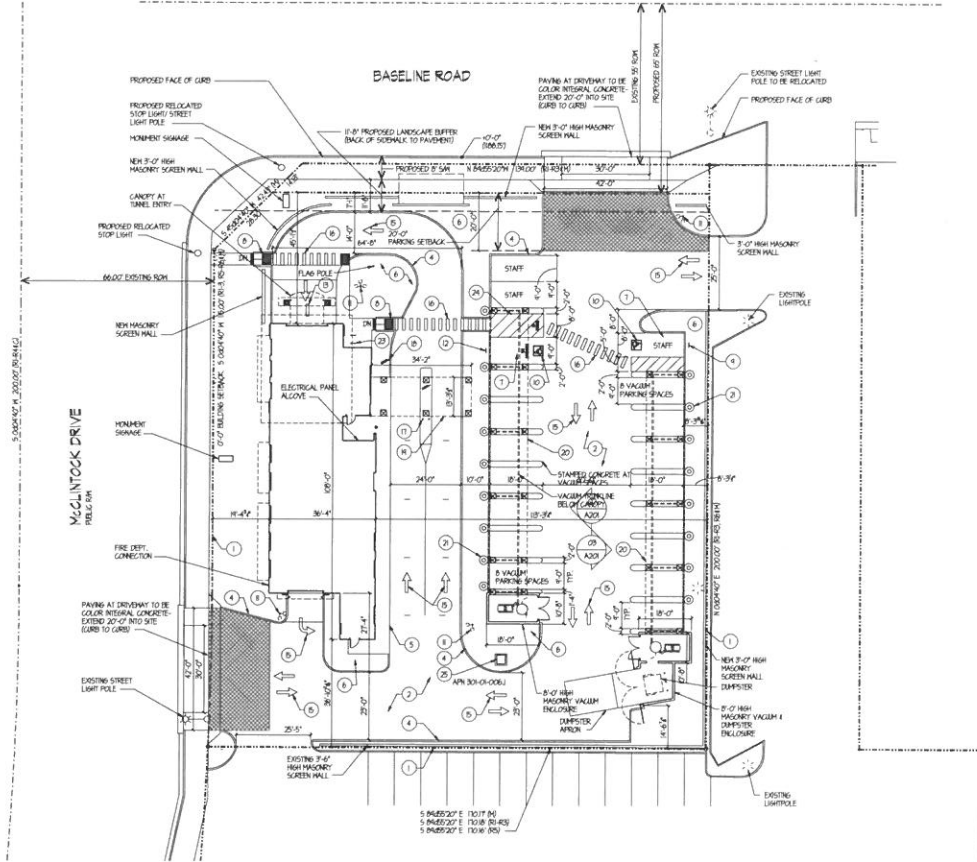
DESIGN PROFESSIONAL: ADW ARCHITECTS, PA
 2816 COLLEGIUM CENTRE DRIVE, SUITE 8 CHARLOTTE, NORTH CAROLINA 28217
 CONTACT: JEFFREY J. LAYNE, JR., P. MANAGING PRINCIPAL
 PHONE: 704-378-1920, FAX: 704-378-1920, E-MAIL: jlayne@adwarchitects.com

PROPERTY OWNER: PURA VIDA PROPERTIES
 8406 SOUTH BAYVIEW AVENUE TEMPE, AZ 85284
 CONTACT: JAMES DINE
 PHONE: (480) 844-2942, E-MAIL: jldine@puravida.com

PROJECT TITLE: NEW FACILITY FOR QUACK CAR WASH
ADDRESS: 5201 S. MCCLINTOCK DR., TEMPE, AZ 85283
PID: 301-01-006J

GENERAL PLAN PROJECTED LAND USE: COMMERCIAL
PROJECTED DENSITY: MEDIUM DENSITY (8P TO 5.0/AC)
PROPOSED LAND USE: VEHICLE CAR WASH

ZONING:	EXISTING: PGC-1	PROPOSED: PGC-1
LOT SIZE:	NET: 3,043 SF	GROSS: 33,847 SF
DENSITY CATEGORY:	MEDIUM DENSITY (8P TO 5.0/AC)	
TOTAL BUILDING AREA:	EXISTING: N/A	
PROPOSED BUILDING:	3,034 SQUARE FEET (84,055)	
TOTAL CANOPY AREA:	ENTRY LANE CANOPY: 451 SF VACUUM CANOPY A: 1,048 SF VACUUM CANOPY B: 1,045 SF TOTAL: 3,000 SF	
PROPOSED USES:	CAR WASH (BUSINESS)	PERCENT: 100%
BUILDING HEIGHT:	30'-0" MAXIMUM (TAKEN AT GRADE, TOP OF CURB AT CENTERLINE OF STREET FRONT)	
LOT COVERAGE:	MAXIMUM: 50%	PROPOSED: 40.3%
LANDSCAPE:	MINIMUM: 0%	PROPOSED: 24.7%
LANDSCAPE IN ROOM:	2.3%	PROPOSED: 0%
LANDSCAPING AT PARKING LOT:	MINIMUM: 0%	PROPOSED: 17%
DENSITY:	ALLOWED: N/A	REQUESTED: N/A
REQUIRED BUILDING SETBACKS:	NORTH: 0' FRONT 50' REAR	EAST: 30' INTERIOR SIDE WEST: 0' SIDE STREET
PARKING SPACES:	3,294 SGL. FT. / 300 SGL. FT. = 11 SPACES MINIMUM	
PROPOSED:	8 VACUUM PARKING SPACES (INCLUDING ONE ACCESSIBLE) 10 STAFF PARKING SPACES NOTE: (2) STAFF PARKING AT ALL TIMES TIME CAPACITY: 3 VEHICLES AT ANY POINT IN TIME	
BICYCLE PARKING:	REQUIRED: 4 BICYCLE PARKING SPACES PROVIDED: 2 BIKE RACKS PER DETAIL 1-578 (DDC 4-608)	
BICYCLE COMPLETE AREA?	NO	
CONSTRUCTION TYPE:	V-B	
OCCUPANCY:	PRIMARY: B-BUSINESS SECONDARY: HH-RECREATIONAL	4 OCCUPANTS 10 OCCUPANTS
SEPARATED OCCUPANCY:	<input type="checkbox"/>	NON-SEPARATED OCCUPANCY: <input checked="" type="checkbox"/>
SPRINKLERED:	YES	FIRE ALARM: NO



SITE PLAN SCALE: 1"=20'-0" 01

adwarchitect
 environments for
 architecture planning interior

616 coliseum centre
 2816 coliseum centre drive, suite 8
 charlotte, north carolina 28217
 (704) 378-1919
 (704) 378-1920
 www.adwarchitects.com

NEW FACILITY FOR

**Quick
 Quack
 Car Wash**

5201
 S. MCCLINTOCK DR.
 TEMPE, AZ 85283
 PID: 301-01-006J

QQ 9-001

SITE PLAN

DATE: 08.24.2017
 PROJECT NO: 1609

REVISIONS
 NO DATE DESCRIPTION:

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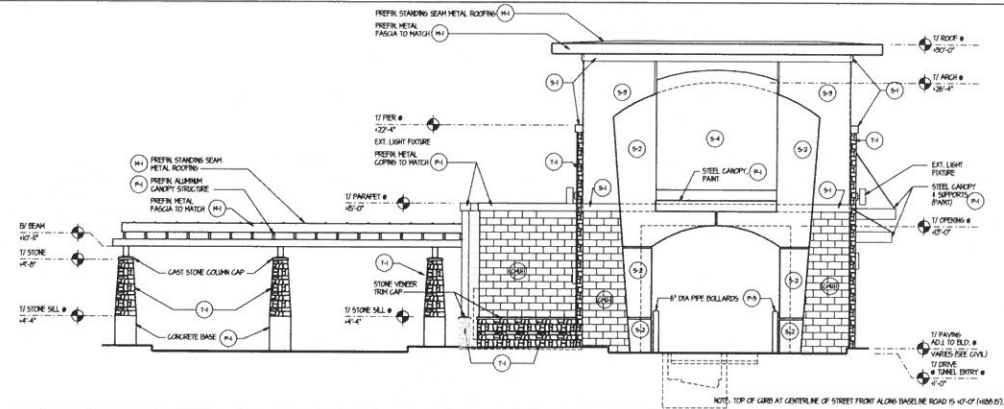
SEAL

A001

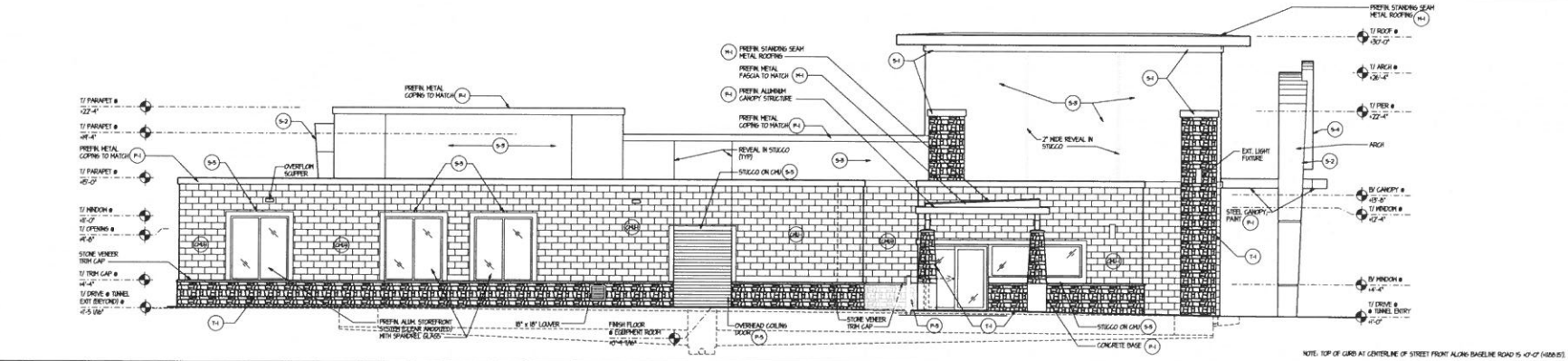
SHEET NUMBER

EXTERIOR FINISH SCHEDULE		
LABEL	MATERIAL	COLOR / MANUFACTURER
CM4	SMOOTH FACE CMU	SUBSTITUTE FELDHAUSE "CORBERT TELLUM" INTERIOR COLOR
S-1	STRUZZO	MATCH SH FACIA "ARCHING AUBURN"
S-2	STRUZZO	SH BETH "CORULUMPT"
S-3	STRUZZO	MATCH SH BETH "THE ENIGMA DIFF"
S-4	STRUZZO	MATCH SH BETH "THUNDERBOLT WHITE"
S-5	STRUZZO	MATCH SH BETH "TRAMLETTE"
P-1	PAINT	MATCH SH BETH "ARCHING AUBURN"
P-2	PAINT	SH BETH "CORULUMPT"
P-3	PAINT	SH BETH "THE ENIGMA DIFF"
P-5	PAINT	SH BETH "TRAMLETTE"
T-1	TEN STONE VENER	CORONAADO STONE PRODUCTS "BACK STACK CARREL MONTANA"
M-1	STANDING SEAM ROOFING	FREESTONE TREATMENT (PREFERRED)

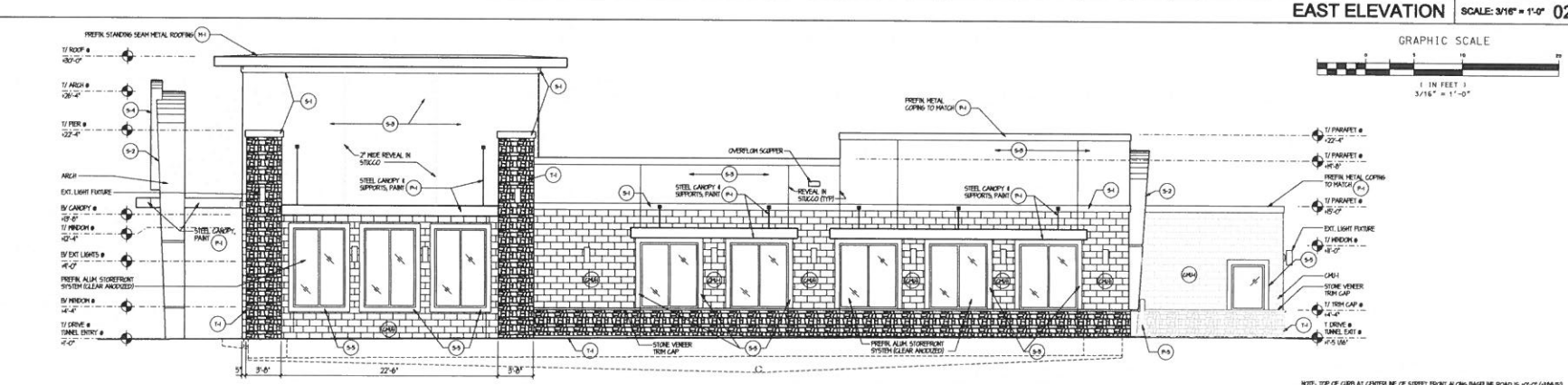
NOTE: PROVIDE SEALER TO INTEGRAL COLOR CMU
 NOTE: STANDING SEAM ROOFING TO HAVE 1/2" KID (TYP)



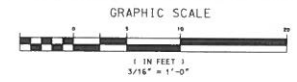
NORTH ELEVATION SCALE: 3/16" = 1'-0" 03



EAST ELEVATION SCALE: 3/16" = 1'-0" 02



WEST ELEVATION SCALE: 3/16" = 1'-0" 01



adw environments life
 architecture planning interiors
 six coliseum centre
 2816 coliseum centre drive, suite 600
 charlotte, north carolina 28217
 (704) 378 1818
 (704) 378 1820
 www.adwarchitects.com

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EXTERIOR ELEVATIONS

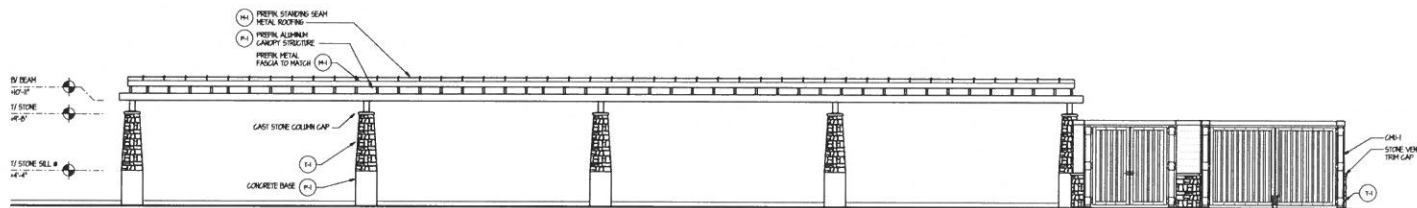
DATE 07.14.2017
 PROJECT NO 16097
 REVISIONS NO DATE DESCRIPTION

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BSAL

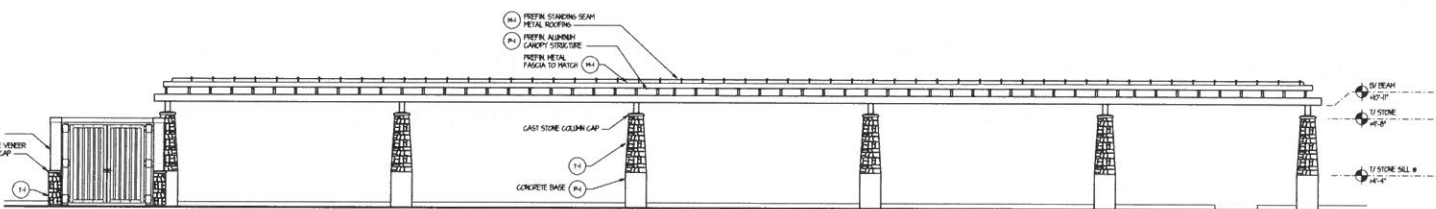
A200

SHEET NUMBER



NOTE: TOP OF CURB AT CENTERLINE OF STREET FRONT ALONG BASELINE ROAD IS 147'-0" (1488.05)

ELEVATION SCALE: 3/16" = 1'-0" 03

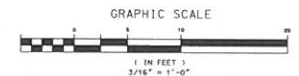
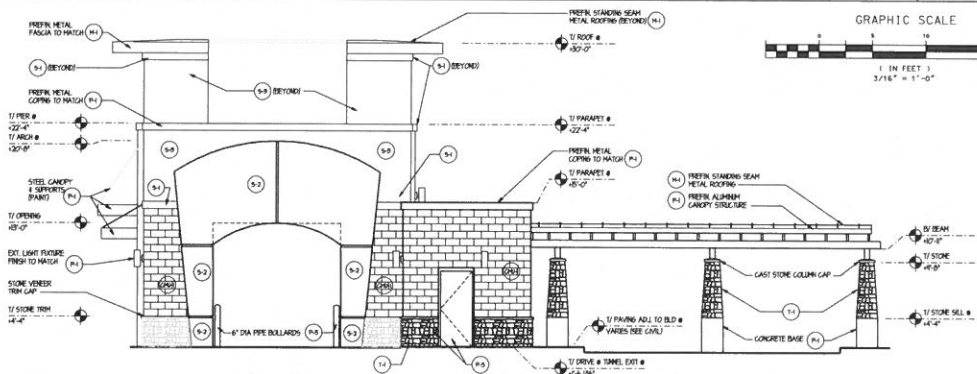


NOTE: TOP OF CURB AT CENTERLINE OF STREET FRONT ALONG BASELINE ROAD IS 147'-0" (1488.05)

ELEVATION SCALE: 3/16" = 1'-0" 02

EXTERIOR FINISH SCHEDULE		
LABEL	MATERIAL	COLOR / MANUFACTURER
GD-1	SMOOTH FACE GIB	SPERLITE / GLENCASLE, VENER YELLOW INTEGRAL COLOR
S-1	STUCCO	MATCH SH BOEM 'ABRASSING AURORE'
S-2	STUCCO	SH BETA 'CORUSANT'
S-3	STUCCO	MATCH SH BOEM 'TELEVARIABLE BHP'
S-4	STUCCO	MATCH SH BOEM 'SNOCKERSMID WHITE'
S-5	STUCCO	MATCH SH BOEM 'SANGUETTE'
P-1	PAINT	MATCH SH BOEM 'ABRASSING AURORE'
P-2	PAINT	SH BETA 'CORUSANT'
P-3	PAINT	SH BOEM 'TELEVARIABLE BHP'
P-4	PAINT	SH BOEM 'SANGUETTE'
T-1	TRIM STONE VENER	CORUNDO STONE PRODUCTS, 'SERIC STAGE CARREL HEURTAUX'
M-1	STANDING SEAM ROOFING	PREPONE BRAND/THREY (PREPARED)

NOTE: PROVIDE SEALER TO INTERIOR COLOR GIB
 NOTE: STANDING SEAM ROOFING TO WHITE 1 1/2" RIB (171)



NOTE: TOP OF CURB AT CENTERLINE OF STREET FRONT ALONG BASELINE ROAD IS 147'-0" (1488.05)

ELEVATION SCALE: 3/16" = 1'-0" 01

NEW FACILITY FOR

Quick Quack Car Wash

5201
 S. McCLINTOCK DR.
 TEMPE, AZ 85283
 PID: 301-01-006J

QQ 9-001

ELEVATIONS

DATE 07.14.2017
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REVISIONS
 NO DATE DESCRIPTION

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REAL

A201

SHEET NUMBER

August 25, 2017

SENT VIA ELECTRONIC MAIL

Ryan Levesque
Deputy Community Development Director
City of Tempe
ryan_levesque@tempe.gov

Karen Stovall
Senior Planner
City of Tempe
karen_stovall@tempe.gov

RE: Opposition from Adjacent Neighbor at Peter Piper Plaza to Variance Case Number PL170240

Dear Ryan and Karen,

We represent arguably the property owner who will be most directly affected by the proposed development of the Quick Quack Car Wash as our client, Michael Pollack, owns the property that abuts it on its eastern and southern sides. We strongly object to the two variances as they do not meet any of the legally required tests for Variances to the zoning code which our client and all other property owners have abided by in developing their land in Tempe.

The Variances to (1) reduce the required parking setback along Baseline Road from 20' to 7'1" and (2) reduce the minimum landscape buffer along Baseline Road for maneuvering drive lanes from 20' from the street sidewalk to 7'1" do not in any way meet the criteria necessary to allow for a legal Variance approval. Even if the Quick Quack Car Wash reduced their setback request, they would not in any way meet the following necessary legal requirements. We believe that any reduction in these setbacks, on this specific parcel are not legally permissible.

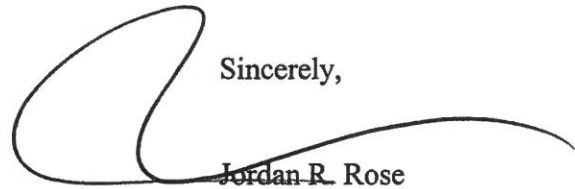
1. The special circumstances are applicable to the property, including its size, shape, topography, location, or surroundings;
 - The proposed site is clearly not burdened by any special circumstances.
 - The site is not small in size. Its lot size is approximately 33,367 square feet. The U.S. Bank located just across the street on the northeast corner of Baseline Rd and McClintock Rd sits comfortably on a 22,296 square foot lot.
 - The site is not irregular in shape or topography. It is rectangular and sits flat.
 - The site is not burdened by its location or surroundings. In fact, it is prime real estate. It is located on a busy intersection and is surrounded by banks, a dealership, restaurants, and other commercial and residential properties.

2. The strict application of this Code will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district; and
 - The property is not being deprived of any privileges enjoyed by similar properties in the PCC-1 zoning district. All of the commercial properties at the intersection of Baseline Rd and McClintock Rd are zoned PCC-1 and follow similar standards.
 - Only the U.S. Bank, which is two-thirds of the size of the proposed site, appears to have reduced its parking setback to about 15'.
 - El Pollo Loco on the northwest corner does not appear to have reduced its parking setback.
 - Chapman Chevy on the southeast corner does not appear to have reduced its parking setback.
 - El Pollo Loco is an existing drive through facility with a maneuvering lane. It sits on a lot that is only slightly larger than the proposed car wash site and the landscape buffer appears to have been reduced to 14'. A reduction to 7'1" for the proposed site, or even 10' as staff suggested, would be unnecessary and extreme.
3. The adjustment authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located; and
 - A reduction in development standards for the proposed site will constitute a grant of special privileges.
 - The requested Variances for development standard reductions are not comparable to the existing limitations on the surrounding properties. The U.S. Bank and El Pollo Loco did not receive significant reductions similar to what the applicant here is requesting and the lots they are on have peculiar issues that would merit a Variance. Even a reduction to 10', as staff suggested, would constitute a grant of special privileges.
 - According to the Tempe Zoning Ordinance, the Use Permit Standard allows a change in development standards by a specified percentage. The required development standard for a parking setback in a PCC-1 zoning district is 20'. The specified percentage Use Permit Standard for parking is 10%. Here, the applicant is requesting a 64.5% reduction in development standards.
4. A variance may not be granted if the special circumstances applicable to the property are self-imposed by the property owner.
 - The applicant states that the hardships are not self-imposed and faults the site's inability to be redeveloped and modernized to (1) the property's small size and (2) area growth causing the city to request a 10' right of way dedication along Baseline Rd.
 - As discussed previously, the site is clearly not small in size.
 - Applicant is attempting to use the City's ROW request as leverage for an improper and significant reduction in development standards.

- The bottom line is that if the Applicant chose to locate his car wash at a more suitable location (not one of the City of Tempe's premier commercial corners), they would not need a Variance.
- This request is entirely self-imposed. There is no necessity to burden the entire City with a use that will underutilize a very important site by providing some special exceptions that entirely self-imposed.

We appreciate the opportunity to comment and hope you will share our concerns with the hearing officer. Under no circumstance do we believe these Variances are justified under the law and we look forward to sharing our input at the upcoming hearings.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'J' followed by a horizontal line that tapers to the right.

Jordan R. Rose

Final Report

Identity Mutual, LLC as agent for Quick Quack Development, LLC and applicant for the proposed development, mailed out its neighborhood notification letters, posted signs and provided the City with its affidavit confirming notification letters were mailed on August 4, 2017. The notification letters were mailed out to the 33 property owners within 600 feet of our proposed site, located at 5201 S. McClintock Dr. as well as the representatives of the six registered neighborhood associations, homeowners associations and affiliate associations located within ¼ mile of the Property. The registered associations receiving the notice were based on the list provided to Applicant by our City of Tempe Planner, Karen Stovall, upon her review of list requested and received by First American Title Company and advise to us that this list was incorrect.

In addition, Site Maintenance posted two notification signs on the Property on Friday, August 4, 2017. Per Ms. Stovall's direction, one sign was placed facing Baseline Rd. approximately midway on our site from the corner to our most eastern point. The second sign was placed facing McClintock Dr. approximately midway from the corner and the most southern point on our site.

As of this point in time, Identity Mutual has not received any inquiries regarding the proposed project. One meeting notification letter, addressed to Manuela Q. Fuentes or Current Resident, has been returned as "Return to Sender, Vacant, Unable to Forward" received on August 11, 2017.

The neighborhood meeting for the Quick Quack Car Wash Property took place as scheduled on Monday, August 21, 2017 at 5:30pm at Arredondo Elementary School, located at 1330 E. Carson Dr., Tempe, AZ 85282. Michael Clark from Identity Mutual arrived at approximately 4:15pm to meet with school staff and set up for the meeting and put up directional signs to the Multi-Purpose Room, where the meeting was held, for attendees.

Four members of the public and one attorney representing a property owner attended the meeting (see attached sign in sheet) all arriving prior to 5:30pm. Also in attendance was Ms. Karen Stovall from the City of Tempe Community Development Department, Planning Division who also arrived prior to scheduled meeting start time.

The attendees were as follows:

- Ms. Karen Stovall: City of Tempe Planning
- Mr. Dale and Ms. Jamie Burt: Owner of the Subject Property
- Mr. Larry and Ms. Sylvia Orioli: Homeowner on Harvard Dr.
- Mr. Thomas Galvin: Attorney for Mr. Michael Pollack, owner of the adjacent shopping center (Baseline Plaza, LLC).

Mr. and Ms. Orioli asked a number of questions regarding the traffic that is generated by a car wash, and what impact it would have on their street. Their concerns revolved around how

difficult it is for them to make a left turn on to south bound McClintock Dr. from their street, west bound Harvard Dr. They also made several references relating to how much more difficult traffic at the intersection had become since the bike lane was added, reducing automobile capacity for McClintock Dr. I discussed how our facility does not generate any extra traffic to the intersection, but only utilizes and diverts traffic that is already at the intersection, and that the car wash use on the site is not material to previous traffic changes instituted along McClintock Dr. The Orioli's also asked questions as to why we needed the two variances, and I explained that one was for a parking setback, and one for a landscape setback that comes as a result of the property owners dedicating a bus bay to the City of Tempe.

Mr. Galvin asked similar questions as to why we needed the two variances, and stated that our request for these variances is imposed by our development, and not because of constraints of the property unique to us. In addition, Mr. Galvin said that his client, Mr. Pollack, does not support a car wash use because there are car washes in the area, and he thinks there are better uses for the corner. I asked him what Mr. Pollack would like to see here, and Ms. Burt responded that Mr. Pollack indicated he would like to see a Jimmy John's sandwich shop, or something similar, on the corner. Mr. Galvin stated this was accurate.

Clearly, the bus bay has an impact on the site. Property has been dedicated to the City from the Burts along both Baseline Rd. and McClintock Dr. in the nearly 30 years they have owned the property. The new bus bay dedication is now impacting the ability to develop the property. However, to be a good neighbor, Identity Mutual, LLC and Quick Quack have decided that we will reduce our request for two variances to one variance, and we are no longer requesting a variance to the parking setback from 20' to 10', thus lessening any perceived impacts to the area. I discussed this possibility in the meeting with the attendees, and was able to get approval by Quick Quack the following day.

As there were no further comments, the meeting concluded around 6:15 pm.

After the meeting, Ms. Stovall was sent a letter from Mr. Galvin's firm on August 25th in opposition to the variances. The points of the letter (as outlined in Section 2 and Section 3) are centered around the parking variance request to be reduced from 20' to 10', which is a variance that we are no longer seeking.

It should be noted that the arguments from Mr. Galvin's firm note that the US Bank Pad "appears to have reduced its parking setback to 15'," and El Pollo Loco's landscape buffer "appears to have been reduced to 14,'" and El Pollo Loco's variance was not due to any type of recent dedication to the City for roadway improvement or bus bays.

Ultimately, in Section 4 of the letter, Mr. Gavin's firm notes that, "The bottom line is that if the Applicant chose to locate his car wash at a *more suitable location* (not one of the City of Tempe's premier commercial corners), they would not need a Variance (emphasis added)." It appears that Mr. Gavin's client is using the language in the variance to oppose a use that should

be in a 'more suitable location' in his opinion, which is not a reason to deny a variance now necessary because of a dedication of land for a bus bay.

Ms. Oliori reached out on September 19th noting that she had received the Public Hearing Notice and noted that it had only one variance request instead of the two as previously contemplated, and requested an updated site plan. The plan was sent on September 20th, and no further questions have been raised.