

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

Meeting Date: 12/08/2015
Agenda Item: 9

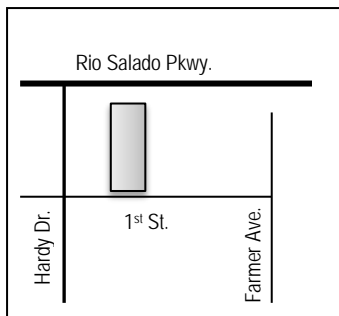
ACTION: Requests for a General Plan Projected Density Map Amendment from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac), a Zoning Map Amendment from GID to MU-4, a Planned Area Development Overlay, and a Development Plan Review for a new 90'-0" mixed-use development containing 356 units and 5 live-work units for CRESCENT RIO, located at 700 West 1st Street. The applicant is Charles Huellmantel, Huellmantel & Affiliates.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Staff – Denial, with condition if approved

BACKGROUND INFORMATION: CRESCENT RIO (PL150283) is a proposed 90'-0" high, mixed-use building containing 356 dwelling units and 5 live-work units. AN AFFIRMATIVE VOTE BY AT LEAST TWO-THIRDS (2/3) OF THE CITY COUNCIL IS REQUIRED TO APPROVE THE GENERAL PLAN DENSITY MAP AMENDMENT. The request includes the following:

1. General Plan Projected Density Map Amendment from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac).
2. Zoning Map Amendment from GID RSOD (General Industrial District, Rio Salado Overlay District) to MU-4 (Mixed-Use, High Density-Urban Core) RSOD
3. Planned Area Development Overlay to establish development standards for a new mixed-use project with a density of 112 du/ac, a maximum 90'-0" building height, 74% lot coverage, and 14% landscape area, with defined setbacks and parking ratios.
4. Development Plan Review including site plan, building elevations, and landscape plan.



Existing Property Owner	Spagnuolo Investments, LLC
Future Owner	City of Tempe
Applicant	Crescent Communities
Zoning District(current/proposed)	Charles Huellmantel, Huellmantel and Affiliates GID RSOD / MU-4 PAD RSOD
Gross/Net site area	3.165 acres
Density	112 du/ac, 356 units (no standard) (GID, n/a)
Unit Types	56 studio 201 one bedroom 94 two bedroom 5 live-work
Total Building Area	
Lot Coverage	74% (no standard) (GID, no standard)
Building Height	90'-0" (no standard) (GID, 35'-0")
Building Setbacks	0' front (Rio Salado), 12' side (west), 7' side (east) 9' rear (1st Street) / (GID 25', 0', 0', 0')
Landscape area	14% (no standard) (GID, 10%)
Vehicle Parking	629 spaces (629 minimum required)
Bicycle Parking	340 spaces (340 min. required)

Note: Highlighted items reflect changes from staff report posted on the City of Tempe website for the November 12, 2015 Development Review Commission meeting. These changes have been made due to the applicant altering the south building elevations; which lessens the number of dwelling units by five and lowers the building height along 1st Street to 73'-0".

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Obenia Kingsby II, Planner I (480) 858-2394

Department Director: Dave Nakagawara, Community Development Director

Legal review by: N/A

Prepared by: Obenia Kingsby II, Planner I

COMMENTS:

This site is located on the north side of 1st Street and on the south of Lakeside Drive (south of Rio Salado Parkway). It is east of Hardy Drive and west of Farmer Avenue. The property is currently zoned GID and is within the Rio Salado Overlay district. It is located approximately 1,320 feet west of the Transportation Overlay District Corridor Area and approximately 2,600 feet from the nearest light rail station.

The site currently contains office, manufacturing, and industrial buildings. To the east and west are properties consisting of industrial uses. The far north portion of the site, along Rio Salado Parkway, is identified to be developed with a sidewalk and parking spaces. The land north of the proposed property line, to the public right of way, identified on the plan is owned by the City of Tempe; the city has authorized the applicant to obtain an easement for access and development of the parking spaces.

This request includes the following:

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2. Zoning Map Amendment from GID RSOD (General Industrial District, Rio Salado Overlay District) to MU-4 (Mixed-Use, High Density-Urban Core) RSOD
3. Planned Area Development Overlay to establish development standards for a new mixed-use project with a density of 112 du/ac, a maximum 90'-0" building height, 74% lot coverage, and 14% landscape area, with defined setbacks and parking ratios.
4. Development Plan Review including site plan, building elevations, and landscape plan for a 90'-0" mixed-use development, containing 356 dwelling units and 5 live-work units.

The applicant is requesting the Development Review Commission provide recommendations to City Council for the four items listed above. For further processing, the applicant will need approval for Preliminary and Final Subdivision Plats to combine the four existing lots into one and an easement on City of Tempe owned property for access, sidewalks, parking, and landscaping.

PRELIMINARY SITE PLAN REVIEW

- July 16, 2015: Preliminary Site Plan Review was completed. Primary comments were to reduce the density of project to high density which is up to 65 du/ac, clearly identify commercial component of project, recommendation to add commercial to portion that fronts on Rio Salado and work with staff to determine required acquisition of City of Tempe property. Staff requested that a second preliminary submittal be due to lack of pertinent information and details not being provided on plans, including concerns about depicting property of the project and key project data.
- August 24 2015: Formal application was submitted. Comments made by staff included: reducing the density to no more than 65 du/ac, applicant provide amount of city land that will need to be obtained for the project, provide material

samples, work with City of Phoenix to determine the parameters needed to be set building in close proximity to the Val Vista Water Line Easement.

- September 4, 2015: Applicant provided Transportation Impact Statement. Staff comments were provided to the applicant.
- September 18, 2015: 3rd Review comments were provided. Primary comment was to provide building elevations with better details and resolution. Elevations were not a good representation of the physical materials provided, staff wanted to see the actual materials being proposed be reflected on the elevations.
- October 15, 2014: 4th Review comments were provided. Primary comments included; applicant provide staff with a site plan that indicates what the finalized property line will be so that density and other project data would be accurate, provide an updated letter of explanation once proposed property line was determined and other project data and informed applicant that the unit types proposed showed two 1 bedroom design being classified as studios and that parking requirements will need to be adjusted to make this change.

NOTE: During the time all of these reviews took place staff and applicant had meetings between submittal dates and staff expressed concerns to the applicant in regards to density and building height proposed for project. Staff urged applicant to reduce density to no more than 65 du/ac and to decrease the height of project to be consistent with other multi-family/mixed-use development in the near vicinity.

PUBLIC INPUT

- A neighborhood meeting was held on September 28, 2015. In addition to the applicant's team members, approximately two individuals were in attendance. The applicant's meeting summary is attached.
- November 16, 2015: Staff received concerns via email regarding this project. Please see the public input attachment.

DEVELOPMENT REVIEW COMMISSION

On November 12, 2015 Crescent Rio was scheduled to be heard by the Development Review Commission. The applicant formally addressed the Commission requesting a continuance to December 8, 2015, so they can work with staff regarding concerns about the project. The commission granted the continuance and provided input on aspects of the project that were concerning and request additional information; the applicant agreed to address those concerns and provide the requested items. Their input and requests consisted of; scaling down the south elevation, adding turf to 1st Street end of project and providing a perspective that demonstrates the scaling of this proposal to other mixed-use and residential developments along 1st Street.

The applicant submitted revised plans on November 20, 2015 to staff. Upon review of these plans the applicant has made an attempt to accommodate the commission and staff's concerns. The south elevation has been scaled down by removing the 7th level and mezzanine facing 1st Street, changes in vertical/horizontal planes to create a more pedestrian environment along 1st Street and provide a building height step-back effect with appropriate massing. The updated landscape plans show turf on the project. The proposed turf areas will need to be modified; removing portions from the right-of-way, which is restricted by code.

Staff is in general support of the changes being made subject to the conditions. Staff's initial direction was to remove the height to 5-stories w a 6th level mezzanines for variation in building height. If acceptable by commission, modifications to condition #7 for the Zoning Amendment and Planned Area Development Overlay would be necessary.

PROJECT ANALYSIS

GENERAL PLAN

The General Plan 2040 projects this property as “Mixed-Use, Medium to High Density” (up to 25 du/ac). The applicant proposes to modify the Projected Density map from “Medium to High Density” (up to 25 du/ac) to “High Density-Urban Core” (more than 65 du/ac).

Surrounding governmental agencies and utilities have been notified by the City of Tempe of this proposed General Plan Amendment. As of the completion of this report, there have been no responses.

The project complies with the existing Mixed-Use projected land use of the General Plan 2040. This category encourages creatively designed developments which create a living environment, reflective of a village concept, in which there is the opportunity to live, work and recreate in the same development or within the area. The MU-4 zoning district allows the mix of uses being proposed. This request complies with the projected land use with the integration of a small co-work office space.

The existing General Plan projected residential density for this site is Medium to High Density (up to 25 du/ac). See the existing General Plan 2040 Projected Density Map of the area below.

Existing General Plan 2040 Project Density Map:



The requested density of 112 du/ac would require an amendment to the High Density-Urban Core category (more than 65 du/ac). The Projected Density map identifies areas intended for High Density-Urban Core development as generally south of the Loop 202, north of Apache Boulevard, east of the railroad tracks, and west of Dorsey Lane. These areas are along the Light Rail Transit corridor and within a Land Use Hub that includes the Town Lake District, Downtown/Mill Avenue District, and ASU/Stadium District. See Attachment 3 for General Plan 2040 Figure 3 Land Use Hubs.

The proposed density is not aligned with the General Plan objectives. Land Use Goal Objective LU1 is to “Establish development of multiple hubs with higher density cores serving the surrounding neighborhoods as its mixed-use urban activity center.” The first strategy of this objective is to “Intensify higher density mixed-use redevelopment within hubs.” The request ignores the intent of the land use hubs to encourage that the highest density developments be concentrated in the downtown. Objective LU3 is “seek balance and compatibility of new land use development with established residential neighborhoods.” There are no developments along 1st Street and west of Ash Avenue are designated as more than 65 du/ac. The majority of properties on the north and south sides of 1st Street are designated as up to either 15 du/ac or 25 du/ac. Developments along 1st Street, between Farmer Avenue and Hardy Drive are the 525 Town Lake Condominiums and Regatta Pointe Condominiums, both with a density category of up to Medium to High Density (up to 25 du/ac). The only exceptions along 1st Street are Skywater at Town Lake (formerly Argo at Town Lake) and recently approved Broadstone Lakeside, with density categories of up to 65 du/ac. Though all sites are reviewed on a case-by-case basis, approval of a development on 1st Street with a density of more than 65 du/ac could encourage higher density developments in the future and lose track of the intended mid-range residential density planned for this neighborhood.

In order to redevelop the site with a density that is compatible with the established residential neighborhood, staff recommends denial of the requested High Density-Urban Core (more than 65 du/ac) and approval of High Density (up to 65

du/ac). This would require a decrease of the proposed density from 112 du/ac to a maximum of 65 du/ac for a total of 156 fewer units (356 down to 205).

Section 6-303 D. Approval criteria for General Plan amendment (*in italics*):

1. *Appropriate short and long term public benefits.* While the General Plan 2040 encourages redevelopment of this site as mixed-use that includes a residential component, the proposed density is out of character with the expected density of the neighborhood. Approval of a lower density will allow redevelopment of the site while maintaining the desired character.
2. *Mitigates impacts on land use, water infrastructure or transportation.* The development will intensify the use of water infrastructure and transportation, but this is expected in this corridor and the intensification is within design limits.
3. *Helps the city attain applicable objectives of the General Plan.* Development of the site at the recommended density (up to 65 du/ac) will help attain several objectives of the General Plan, including: seeking balance and compatibility of new land use development within established neighborhoods and promoting compact, efficient infill development.
4. *Provides rights-of-way, transit facilities, open space, recreational amenities or public art.* The proposed project does not require additional rights-of-way or transit facilities.
5. *Potentially negative influences are mitigated and deemed acceptable by the City Council.* The recommended density will be the highest along 1st Street in the immediate vicinity; it will set a precedence of more than 65 du/ac. The density will result in a development which is significantly different in character than the adjacent properties. The requested height of 90' will consist of seven (7) above grade levels; two (2) garage, five (5) residential and one (1) mezzanine. Building height along 1st Street will be scaled down to 85' with highest portion of building being need for the elevator shaft; to top of parapet will be 73'.
6. *Judgment of the appropriateness of the amendment with regard to market demands, and impacts on surrounding area, service, fiscal, traffic, historic properties, utilities and public facilities.* The request meets the demand for increased multi-family housing in an area close to the downtown. The applicant will bear all costs related to a need for increased infrastructure capacity adjacent to the site.

ZONING

The proposed Zoning Map Amendment from GID to a mixed use district conforms to the existing General Plan Projected Land Use category of Mixed-Use. The zoning is appropriate to other site along 1st Street, which are zoned mixed-use. While the applicant could request the MU-3 district, which permits a density up to 25 du/ac, a density of up to 63 du/ac was approved for the Skywater development to the east and most recently Broadstone Lakeside with a density of up to 65 du/ac. This neighborhood is adjacent to the downtown and within reasonable proximity to a light rail corridor, where an increased number of residents would have access to employment, services, and transit.

Section 6-304 C.2. Approval criteria for Zoning amendment (*in italics*):

1. *The proposed zoning amendment is in the public interest,* because it will eliminate the existing industrial uses in an area intended for mixed-use development and enhance the street frontage along 1st Street.
2. *The proposed zoning amendment conforms with and facilitates implementation of the General Plan,* as it is necessary to implement the existing Land Use category.

PLANNED AREA DEVELOPMENT

The applicant requests a Planned Area Development (PAD) Overlay consisting of 356 dwelling units and 5 live-work units within a 90'-0" high building. The table below shows a comparison of the development standards for the GID zoning district and the proposed MU-4 zoning with PAD Overlay.

CRESCENT RIO – PAD Overlay			
Standard	GID	PROPOSED MU-4 PAD	Change
Residential Density (du/ac)	n/a	356	Increase
Building Height (feet) [Exceptions, see Section 4-205(A)]			
Building Height Maximum	35'	90'	Increase
Building Height Step-Back Required Adjacent to SF or MF District [Section 4-404, Building Height Step-Back]	Yes	Yes	n/a
Maximum Lot Coverage (% of net site area)	40%	74%	Increase
Minimum Landscape Area (% of net site area)	10%	14%	Increase
Setbacks (feet) (a) [Exceptions, see Section 4-205(B)]			
Front (north, Rio Salado Parkway)	25'	0'	Decrease
West Side	0'	12'	Increase
East Side	0'	7'	Increase
Rear (south, 1 st Street)	0'	9'	Increase

The table below is a comparison of other PADs approved along 1st Street:

PAD Overlay Comparison				
Standard	Regatta Pointe Condominiums (2001)	Residences at Town Lake Condominiums (2005)	Skywater (Argo) Apartments (2012)	Broadstone Lakeside (2015)
Zoning	MG (prior to MU)	MU-2	MU-4	MU-4
Acres	5.49 acres	3.3 acres	5.72 acres	2.40
Number of Units	136	67	328	150
Residential Density	25 du/ac	20 du/ac	63 du/ac	62.5 du/ac
Building Height (feet)				
Building Height Maximum	64'(3-4 stories over garages)	35' (3 stories)	90' (70' T.O. parapet)	60'
Maximum Lot Coverage (% of net site area)	20%	26%	75%	55%
Minimum Landscape Area (% of net site area)	25%	49%	43% (including podium amenity deck)	20%
Setbacks (feet) (a) [Exceptions, see Section 4-205(B)]				
South (1 st Street)	10'	20'	0'	11'-1"
Side (east side)	Approx. 12' (not specified in PAD)	12'	34'	6'-8"
Side (west side)	Approx. 8' garage, 40' units (not specified in PAD)	19'	34'	6'-10"
Rear (north)	Approx. 27' (not specified in PAD)	25'	0'	11'-9"

Studio	0	0	32	32
1 Bedroom	22	0	135	63
2 Bedroom	106	60	136	71
3 Bedroom	0	0	16	2
Live Work	8	7	9	
Commercial space	0	0	2,647 s.f.	2,053 s.f.
Vehicle Parking Required	307	148	664	269
Vehicle Parking Provided	277	148	559	314
Bicycle Parking Required	162	34	250	160
Bicycle Parking Provided	148	79 (1 per garage + 12 in racks)	250	148

The recommendation to deny a General Plan Projected Density Map Amendment leads to a recommendation to reduce the proposed PAD density from 112 du/ac to no greater than 65 du/ac.

A building height of 90' is not consistent with other developments on the north side of 1st Street. The 525 Town Lake Condominiums are 35' high (three stories), and the Regatta Pointe Condominiums are 64' high (two to four stories). Skywater at Town Lake is 90' high to top of sails on north side of building which is 20' higher than the parapet (six stories) and Broadstone Lakeside is 60' high (four stories).

The lot coverage of 74% is consistent with typical multi-family coverage maximums and with other developments in the area. On-site landscape area is 14%, which is below average for a mid-range multi-family project (typically minimum of 25%).

The Zoning and Development Code (ZDC) requires a building height step-back when adjacent to a single-family or multi-family zoning district. This would require an additional one-foot building setback for each one-foot of building height over 30'. The developments to the west and east are zoned GID, so no step-back is required.

The table below summarizes the required and proposed *vehicle* parking for the project.

Unit Type	Unit Quantity	Ratio	Parking Required per ZDC
Studio	56	1 space per unit	56
1 bedroom	201	1.5 space per unit	301.5
2 bedroom	94	2 spaces per unit	188
3 bedroom		2.5 spaces per unit	
Guest	356	.2	71.2
Office	3360 s.f.	1/300 s.f.	11.2
TOTAL	356		628 (629 provided)

A traffic impact statement was provided by the applicant (see attached), and the Public Works Department has provided comments regarding this draft. Public Works has stated that the transportation infrastructure can support the proposed increase of residential units and can, therefore, support the request.

Section 6-305 D. Approval criteria for P.A.D. (*in italics*):

1. *The development fulfills certain goals and objectives in the General Plan and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives. With the reduced density recommended by staff, the development will fulfill the goals of the General Plan by creating a mixed-use project on a parcel identified as mixed-use on the Projected Land Use Map. The recommended density will be more consistent with other projects in the area and will encourage higher density developments to occur where identified as preferred locations in the General Plan.*

2. *Standards requested through the PAD Overlay district shall take into consideration the location and context for the site for which the project is proposed.* Setbacks proposed are appropriate for this project.
3. *The development appropriately mitigates transitional impacts on the immediate surroundings.* The detached sidewalk concept proposed on 1st Street will create a better pedestrian experience.

DEVELOPMENT PLAN REVIEW

Site Plan

The property is 3.165 and is rectangular in shape. The project is designed as a "U" shaped building, with an elevated podium courtyard/amenity decks on the third level. A new detached side walk is being proposed along Rio Salado Parkway, which will connect with the existing sidewalks to the west and east. There is vehicular access to the garage is provided on both Rio Salado Parkway and 1st Street; and designed so that traffic cannot use site to cut through development.

Discrepancies exist between the letter of explanation and site plan data project table in regards to the density, acreage, parking, number of dwelling units, unit breakdown, building height, setbacks, lot coverage and landscape area.

Building Elevations

The design is contemporary with flat roofs and parapets to screen rooftop mechanical equipment. The materials used to finish the building are well distributed around the building with the exception of applying stained wood siding/soffit to the northwest corner of building which will help identify an amenity area and the leasing office. Other materials consists of painted stucco, decorative stone veneers, ribbed metal panels painted white (condition that metal panels should be powder coated), welded wire mesh / perforated metal panels for guardrails and welded wire mesh / fiber cement panel for garage screening.

The proposed building will step-back in height along 1st Street to be more compatible with the scaling of other developments in the area and create a more pedestrian oriented vibrancy. The height point along the 1st Street (south) building façade is the elevator core which is intended to be design element by incorporating a wood wall panels to the exterior, which mirrors the location of the elevator core and is applied only on this façade of the building.

Landscape Plan

On-site landscaping totals 14%. The design incorporates a comfortable pedestrian environment along. Landscaping along both side property lines is significant and is a variation of the Desert Willow, desert Museum Palo Verde, Foothills Palo Verde, Honey Mesquite and Rio Salado Mesquite. Date Palms will be implemented in the driveway median on site off of Rio Salado Parkway to create a sense of arrival. There will also be pedestrian pathways on the sides of property that connect both ends of the site.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape;* the building is designed with variation in materials, colors, fenestration, and wall planes. The design provides variety in the streetscape.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* Shade trees planted along all building sides will mitigate heat retention.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* materials provide detail appropriate with their location and function. A condition will be included to address the longevity of the proposed wood siding/soffits and that ribbed metal panels be powder coated white.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* The street frontage and landscape elements are designed appropriately to encourage a better pedestrian environment along 1st Street and Rio Salado.

5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; variation is provided in wall planes, materials, and building height to relieve monotony. Use of materials along the street frontages varies from stone veneer and wood panels at the base to stucco at the top.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; design elements at the street level include stone veneers, wood siding/soffits, and a significant amount of glazing to create interest. Architectural details also shade windows and entrances.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; the project provides clear pedestrian access from the site to sidewalks on the north and south ends of the project.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; vehicular circulation is clearly delineated and separated from pedestrian pathways.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; the parking garage will also be gated, restricting access to resident-only parking spaces. Building access will be restricted by key, and mailboxes will be provided interior to the building. The height of proposed landscaping adjacent to pedestrian paths and lighting requirements both outside and within the parking garage will comply with CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; landscaping along the building perimeter will accent the development and is used to delineate pedestrian areas and pathways.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; signs are subject to separate development plan review.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects. Lighting will comply with current code requirements to meet the minimum illumination levels and be non-intrusive to adjacent properties.*

Conclusion

Due to the proposed building height and density being significantly higher than other developments along 1st Street, staff recommends denial of the General Plan Projected Density Map Amendment, Zoning Map Amendment, Planned Area Development Overlay and Development Plan Review. Should an affirmative action be taken on this request, the following conditions of approval shall apply, but may be amended by the decision-making body.

REASONS FOR DENIAL OF A GENERAL PLAN PROJECTED DENSITY MAP AMENDMENT, ZONING MAP AMENDMENT, PLANNED AREA DEVELOPMENT OVERLAY, AND DEVELOPMENT PLAN REVIEW:

1. The project does not fulfill the goals and objectives of the General Plan.
2. The project does not comply with the General Plan 2040 Projected Density Map. Planned Area Development (PAD) Overlay to establish development standards for a mixed use project is proposed with a density of 112 du/ac when the maximum density allowed for PADs along 1st Street is 63 du/ac for Skywater (formerly Argo).
3. PAD overlay to establish the development standards for the residential portion is proposed with the height of 90'-0" top of parapet when the maximum parapet height for approved mixed-use development along 1st Street is approximately 70' for Skywater (formerly Argo), with the highest point of building being the sail design features only on the north side of property.

4. Reducing the density and scale along 1st street will provide more compatible redevelopment of the site while maintaining the desired characteristics of this area of the city.

GENERAL PLAN AMENDMENT

CONDITIONS OF APPROVAL:

1. The General Plan Projected Density Map Amendment request from Medium to High Density (up to 25 du/ac) to High Density-Urban Core (more than 65 du/ac) is denied; instead an amendment to High Density (up to 65 du/ac) is approved.

ZONING AMENDMENT AND PLANNED AREA DEVELOPMENT OVERLAY

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. A building permit application shall be made on or before two years from the date of City Council approval, or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than 30 days from date of City Council approval, or the General Plan Map Amendment, Zoning Map Amendment, and Planned Area Development approval shall be null and void.
3. An amended Subdivision Plat is required for this development to consolidate the existing parcels, which includes the proposed city property for the purpose of developable land and density. The plat shall be recorded prior to issuance of building permits.
4. An easement on the remaining parcel(s) owned by the City of Tempe must be obtained from the City prior to submittal of construction documents for a building permit. The easement shall include a driveway to provide ingress and egress, parking, sidewalks, landscaping, irrigation and related maintenance.
5. The Planned Area Development Overlay for Crescent Rio shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.
6. The maximum density for this project shall not exceed 65 du/ac.
7. Building height to top of parapet shall be no higher than 70'-0" and no more than 90'-0" to top of top for any decorative architectural feature.

DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL:

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations and landscape plan dated November 20, 2015. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. The developer must receive approval of the final Traffic Impact Study from the Traffic Engineering prior to issuance of a building permit.

3. Guest access to parking garage shall be limited to the Rio Salado entry. Garage access on 1st Street shall be exit only or limited to residents only. There shall be a minimum of 62 parking spaces allocated to guests in the garage. These spaces may be within the controlled parking area and in this circumstance shall be demarcated for guest parking only, by a sign above the parking stall.
4. Applicant shall provide the City of Tempe with a letter from the City of Phoenix, indicating that the proposed building plans do not violate the parameters set forth for developing in close proximity the Val Vista Waterline Easement, before building permits are issued.

Site Plan

5. Provide acceptable ground cover within the 20'-0" fire access, as approved by the Planning Division and Fire Department.
6. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that complements the coloring of the buildings.
7. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

8. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
9. Garage Security:
 - a. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - b. Paint interior wall and overhead surfaces in garage floor levels with a highly reflective white color, minimum LRV of 75 percent.
 - c. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.
10. Parking Garage:
 - a. Minimum required parking dimensions shall be clear of any obstructions.
 - b. At the ends of dead-end drive aisles, provide a designated turn-around space, minimum 8'-6" clear in width (locate on left side if available), including 3'-0" vehicular maneuvering area for exiting. Turn-around area shall be clearly demarcated.
 - c. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.
 - d. Dead-end drive aisles are permitted in areas reserved exclusively for resident parking so long as the applicant provides signage at the entrance to reserved areas indicating "Resident Parking Only"

Building Elevations

11. The materials and colors are approved as presented:

Stucco building colors – Sherwin Williams – Respite SW 6514
Commodore SW 6524
Magnetic Gray SW 7058
Grizzle Gray SW 7068
Incredible White SW 7028
Gray Matters SW 7066

Stone veneer – Belden – Sienna Blend
Wood Siding – Grey stain
Wood Wall Panel – Nichiha – Vintage Wood Cedar
Ribbed Metal Panel – Centria (CS-660) - (paint manufacturer and color name not specified)

Window, door frames, and storefront system – anodized aluminum – clear

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

12. The property owner shall replace the wood siding/soffit on north and west elevation when weathering occurs. Replacement shall be like-for-like, or with approval of a Development Plan Review for another approved material.
13. Application of paint for ribbed metal panels shall be done by powder coating the material or a finish which is factory-applied using a polyvinylidene fluoride resin or equivalent.
14. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
15. Conceal roof drainage system within the interior of the building or the drainage system shall be architecturally integrated into the building as shown on the elevations dated November 20, 2015.
16. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
17. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
18. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Lighting

19. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
20. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

21. Arterial street trees along Rio Salado Parkway shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
22. Collector street trees shall be a minimum of 24" box specimens and a minimum of 1 ½" caliper trunk.
23. Grass shall not be placed within the right-of-way. Grass shall only be located in areas within site property lines. Grass can be placed in landscape areas in front of the five (5) live-work units along 1st Street and is not limited to only this portion of site.
24. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
25. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
26. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2"

uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

27. Trees shall be planted a minimum of 20'-0" from any existing or proposed public water or sewer lines. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Signage

28. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

- COMMUNICATIONS:
 - Provide emergency radio amplification for the combined building and garage area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: www.tempe.gov/index.aspx?page=949. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
 - For building height in excess of 50'-0", design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.

- WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.

- HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

- SECURITY REQUIREMENTS:
 - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
 - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
 - Provide method of override access for Police Department (punch pad or similar) to controlled access areas including pool, clubhouse or other gated common areas.
 - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

- FIRE:
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

- ENGINEERING:
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

- REFUSE:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-118.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801 . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- LANDSCAPE:
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm . Follow the link to "applications to move a native plant" to "notice of intent to clear land".
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

700 West 1st Street

- May 2, 1984 Design Review Board approved building elevations, site and landscape plans for Office/Warehouse, located at 700 W. 1st Street.
- November 7, 1984 Certificate of Occupancy granted for Office/Warehouse at 700 W. 1st Street.
- January 21, 1998 Design Review Board approved the addition for Warehouse Expansion located at 700 W. 1st Street.
- February 2, 1999 Certificate of Occupancy granted for Warehouse at 700 W. 1st Street.
- October 8, 1997 Hearing Officer approved a variance for SDB Warehouse, located at 700 W. 1st Street, to reduce the required off-street parking from 30 to 26 spaces and to waive the required landscape islands at the end of handicap stalls at the rear of site.

810 & 812 West 1st Street

- September 17, 1986 Design Review Board approved building elevations, site and landscape plans for Tempe Riverview Industrial Park, located at 812 W. 1st Street.
- April 4, 1989 Design Review Board approved building elevations, site and landscape plans for MGC Office Buildings, located at 812 W. 1st Street.
- November 17, 1994 Design Review Board approved building elevations, site plan and landscape plan for Office/Warehouse for SDB, Inc. located at 810 & 812 W. 1st Street.
- March 16, 1995 Design Review Board approved building elevations, site plan and a landscape plan for the SDB Center, located at 810 & 812 W 1st Street.
- June 6, 1995 Hearing Officer approved a variance, to increase the maximum allowable building height from 35' to 42' for SDB Center, located at 810 & 812 W. 1st Street.
- March 21, 1996 Certificate of Occupancy granted for office/warehouse at 810 W. 1st Street.
- November 15, 2010 Certificate of Occupancy granted for office/warehouse at 810 W. 1st Street.
- November 10, 2015 This request is scheduled for the Development Review Commission public hearing.
- December 17, 2015 This request is scheduled for the first City Council public hearing.
- January 14, 2016 This request is scheduled for the second City Council public hearing.

ZONING AND DEVELOPMENT CODE REFERENCE:

- Section 6-302, General Plan Amendment
Section 6-304, Zoning Map Amendment
Section 6-305, Planned Area Development (PAD) Overlay districts
Section 6-306, Development Plan Review

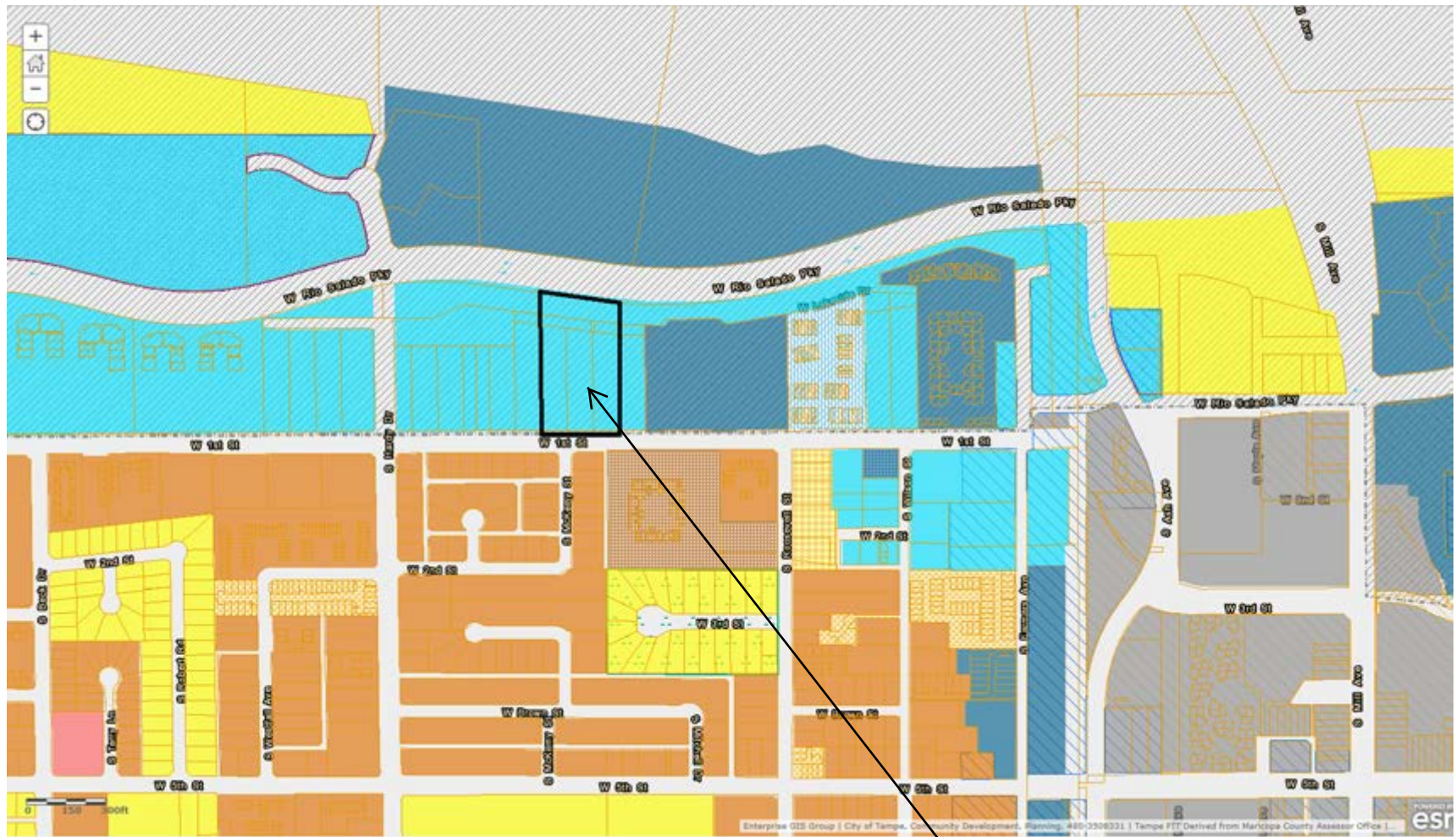


DEVELOPMENT PROJECT FILE
for
CRESCENT RIO
(PL150283)

ATTACHMENTS:

1. Location Map
2. Aerial
3. General Plan 2040 Figure 3 Land Use Hubs
- 4-25. Letter of Explanation
- 26-33. Site Photos
- 34-35. Proposed PAD Cover Sheet and Site Plan for Crescent Rio
36. Site Plan
- 37-40. Black & White Building Elevations
41. Colored South Elevation from 11/12/15 DRC Staff Report
- 42-45. Colored Elevations
46. Building Sections
- 47-49. Landscape Planting Plan
50. Illustrative Landscape Plan
- 51-54. Floor Plans
- 55-57. Unit Plans

- 58. 1st Street Perspective from 11/12/15 DRC Staff Report
- 59-64. Perspectives
- 65-66. Summary of Neighborhood Meeting
- 67-68. Traffic Statement
- 69-70. City of Phoenix Input Letter
- 71-74. Public Input



GID / RSOD

LOCATION MAP



AERIAL MAP

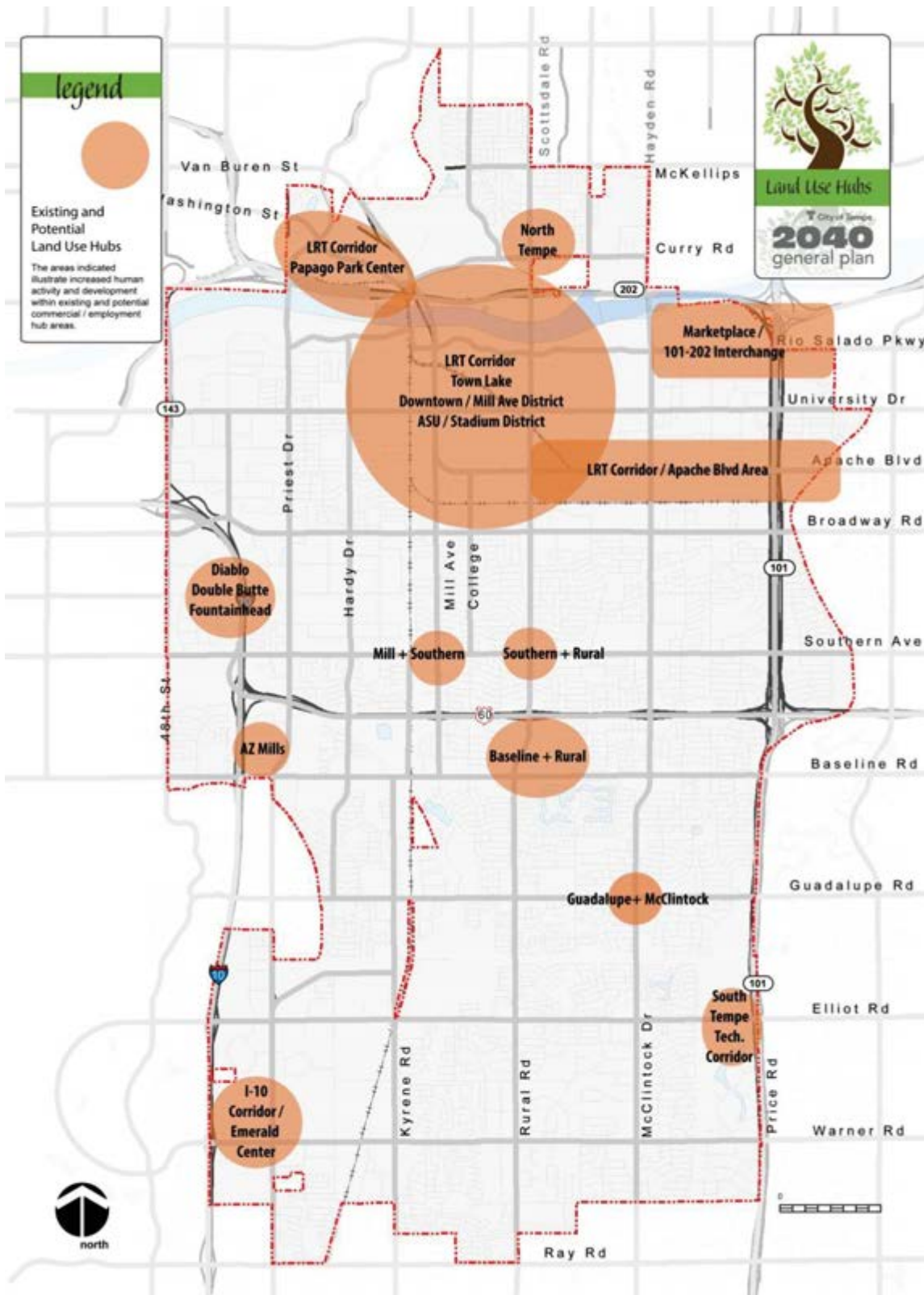


Figure 3 Land Use Hubs



CRESCENT RIO

700 WEST 1ST STREET

**UPDATED LETTER OF EXPLANATION AND REQUEST FOR
GENERAL PLAN AMENDMENT, ZONING MAP AMENDMENT,
PAD OVERLAY AND DEVELOPMENT PLAN REVIEW**



HUELLMANTEL
AFFILIATES

P.O. Box 1833 - Tempe, Arizona 85280-1833 – 480.921.2800 - charles@huellmantel.com

SUMMARY

Our goal is to turn an industrial area along First Street into a pedestrian friendly mixed-use community. Crescent Communities would like to re-develop 3.165 acres (3.63 acres to right-of-way) on parcels 124-24-018A, 124-24-018B, 124-24-017, 124-24-247, 124-24-244, 124-24-246 and 124-24-027K into a multi-family residential project. The site is on the south side of Lakeside Drive and the north side of 1st Street, east of Hardy Drive at 700 West 1st Street. Currently, the parcels are zoned General Industrial (GID) with a General Plan 2040 Projected Density of Medium-High (up to 25 dwelling units per acre) and has a General Plan 2040 Projected Use of Mixed-Use.

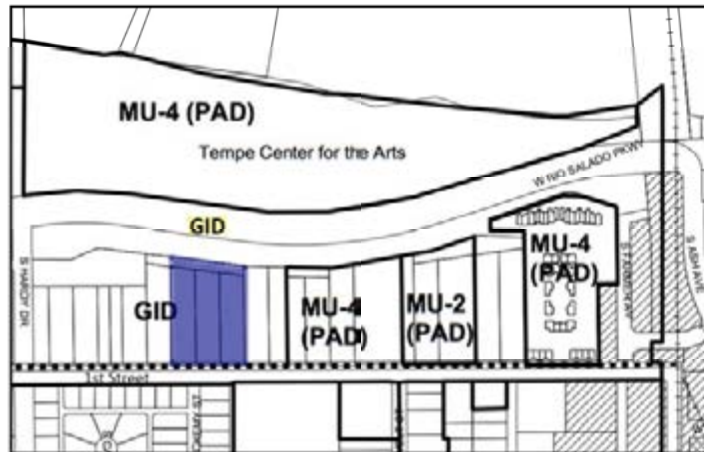
**General Plan 2040 Density:
Medium-High**



**General Plan 2040 Use:
Mixed-Use**



**Zoning:
GID**



The site will require a General Plan Projected Density amendment from Medium-High to Urban Core High and a rezoning from GID to High Density Mixed-Use (MU-4). The site will also require a PAD Overlay and a Development Plan Review.

Crescent Communities' Crescent Rio is proposed to be a 5-story multi-family residential project consisting of 5 levels of residential dwelling with a mezzanine level in some areas to help define the roofline and three floors of parking – one below grade and two above grade. The scale will be

reduced along 1st Street. The street-level of the project will include a pool, fitness center, clubhouse, leasing office and live/work units, which have been designed to add activation to First Street. The development will be approximately 90' in height along Rio Salado and 68' in height along 1st Street. The project is mostly one and two bedroom units. A mix of three and four bedroom units would lower the density of the project but also lower the quality of the environment for the target audience of young professionals and empty nesters. Crescent Communities is proposing to provide 626 vehicular parking spaces, a reduction of only 3 from the required vehicular parking spaces.

	Required	Proposed
Vehicular Parking	629	626
Bicycle Parking	340	340

As stated above, the Tempe Zoning and Development Code definition of “density” is not an accurate measurement of the Crescent Communities Rio development. We argue that unit density is not an accurate measurement. As the project is now, Rio will have 56 studio units, 201 one-bedroom units, 94 two-bedroom units and 5 live/work/townhouse units. In short, the project is designed to provide small units with a strong amenity package. This is an unusual unit mix but we think it serves an important niche as Tempe continues to develop office buildings filled with young high tech workers. The approximate number of people living in the development (as it is currently proposed) – calculating one person per studio and one-bedrooms and two people per two-bedroom unit totals 450 people. If Crescent were to replace the existing unit mix with four-bedroom units, keeping the building size and structure and footprint the same, there would be approximately 206 dwelling units and 823 people (bedrooms) living at Crescent Rio. The unit density would be the smaller but the density of people would be much higher.

	DU/Acre	# of People	Bedrooms/Acre
Current Unit Mix	112	450	145
4-Bedroom Unit Mix	65	823	260

REVISIONS BASED ON DRC COMMENTS

When we arrived at our first scheduled DRC hearing on November 10, we told you that we were not ready to proceed. We were responding to concerns from Staff and DRC Commissioners so by the time we arrived at that scheduled hearing, we were already modifying the southern elevation of the building. At the time of our November 10 hearing, our team had been working hard to create an attractive revision but we simply didn't have a redesign we were proud of. Accordingly, we requested that you not vote but instead give us more time. We worked feverishly since then to address concerns with the southern face of the building. Our goal in the redesign was to recreate the southern face of the building to be in line with the residential scale and mass of 1st Street while keeping the important contemporary character. These comments, while challenging to address in a short period of time, have created a better project and a better 1st Street pedestrian place. As you can see below, the changes have resulted in an exciting pedestrian scale 1st Street:



The revised southern face now has the bulk of its mass and street edge at 68 feet, with intentional architectural articulation undulation at 73 feet to provide a varied roofline (wisely requested by staff). In addition, the elevator core has been converted into a design element. Of course, elevator cores are always taller and that is true in this case as well. The mass on this portion of the building in the previous elevation was at 85 feet (or 17 feet taller).



The new massing is in line with the existing projects on the street, such as Lennar to our east, which is 70 feet along 1st Street. They have accents going up to 90 feet.

These modifications in scale come by removing two levels from the building along First Street (the top level of units and the mezzanine level attached to it). The proposed modification added horizontal and vertical articulation and relate architecturally to the adjacent neighborhood through the introduction of another material, a wood-like material designed to withstand the Arizona sun. Removing the units that were included in the top level and mezzanine reduced the total number of units (and corresponding density) on site slightly – from 361 to 356 units and changed the unit mix. The impact of these changes to the First Street elevation is significant. Additionally, we added grass/turf to the landscaping at the DRC Commissions request.

GENERAL PLAN AMENDMENT

1. Written justification for the amendment should consider long-term and short-term public benefit and how the amendment, considering Land Use Principles, will help the city attain applicable objectives of the General Plan.

Although the site is outside of the Mill Avenue Hub, the site is very close to public transportation, ASU, Tempe Town Lake and the newly revitalized Farmer Arts District. This area is experiencing an unprecedented growth spurt along Rio Salado Parkway across from Tempe Town Lake that calls for greater density regulations for appropriate mixed-use projects. The addition of residents and live/work units due to the proposed Crescent Communities project – only possible with a General Plan 2040 Density amendment to High Density Urban Core - will benefit the surrounding area now and in the future, boosting the economy and bringing a much needed young professional population to the region.

In addition, the measurement of density prescribed by the City of Tempe is not accurate for the Crescent Rio project. As described, the units will be composed of studios, one- and two-bedrooms, which reduce the actual number of people moving to the area, especially when compared with a four-bedroom unit mix. The proposed Crescent Rio development should house approximately 450 people with a 112 du/ac density on the Crescent owned lots and a density of 98 if the parcels to the Right-of-Way are counted. If Crescent Communities changed the unit mix to only 4-bedroom units, the number of people would equal approximately 823 people, but hit the 65 du/ac density calculations.

2. If the proposed amendment is only to the General Plan's text, there should be objective discussion of the amendment's long-term and short-term public benefit and the larger issue of its impact on the city attaining applicable objectives of the General Plan.

Because the amendment does not regard the General Plan text, just the General Plan 2040 Projected Density map, this question does not apply. The reclassification of the site, though, will benefit the City of Tempe as a whole as the increased density in the area will help revive the underutilized current GID area and help make it part of the vibrant, downtown core. Because the proposed Tempe Streetcar will be constructed in such close proximity to the proposed site, the increase in potential ridership will benefit the Tempe Streetcar, Valley Metro light rail and all of the businesses on Mill Avenue and the Farmer Arts District as well as the Lake District, Tempe Center for the Arts and ASU.

3. If the proposed amendment impacts the General Plan's Projected Land Use Map only, there should be objective discussion of the amendment's impact on the projected land use within a minimum of a half-mile of the property.

The proposed amendment for the construction of the Crescent Communities Rio project will not affect the General Plan Projected Land Use Map. We are requesting an amendment to the General Plan 2040 Projected Density Map – to change the site from Medium to High Density to High Density Urban Core. The projected increase in density, when considering the unit mix will consist of studios, one- and two-bedroom units and the fact that the project is not aimed at students but at a more mature audience, will bring new residents to an up and coming neighborhood. Crescent Communities will build a project that reflects and compliments the surrounding neighborhood and brings needed live/work space to 1st Street. The increase in density will benefit the surrounding area, not hurt it. The Crescent Rio project will help complete the 1st Street streetscape by increasing the amount of pedestrian oriented retail/commercial. This will increase the amount of pedestrian and bicycle traffic in the area and the additional residents will help boost the commercial customer base.

4. With a proposed amendment to the General Plan Projected Land Use Map, the applicant/developer's written discussion on the proposed amendment should respond to the Land Use Principles in the Land Use Element of the General Plan. The principles are presented below, in a generalized request/response format:

a. Describe the public benefit of the proposed amendment in terms of increase/decrease in intensity and its impact on adjacent land uses versus the impact of the present land use designation

The proposed density amendment will benefit the surrounding area by creating a more dense population near important retail and entertainment destinations. The site has a General Plan Projected Land Use of Mixed-Use so the General Plan Amendment to a higher density and Zoning Map Amendment to Mixed-Use High Density will help create a project that is appropriate for the area. The character of the surrounding neighborhood has changed with the development of newer apartment complexes and the creating of the Farmer Arts District.

b. Describe the public benefit of the proposed amendment in terms of impact on the city's infrastructure (i.e. water, sewer, utilities, streets, in terms of anticipated traffic generation, projected carrying capacity, projected volume, availability of transit, need for additional access, or city services such as fire and police staffing and response times, etc.) versus the impact of the present land use designation

As the City of Tempe is constructing of the Tempe Streetcar along Rio Salado Parkway, the proposed Crescent Rio project will not impact the infrastructure (with regards to traffic) and any way that is unprecedented or unusual. The site has a General Plan 2040 Land Use of Mixed-Use with implies that the City planned for redevelopment of the site. The increase in public transit and the increase in retail/entertainment services in the neighborhood will also help cater to the needs of the additional residents the Crescent Rio project will generate.

c. Describe the proposed development quality of life in terms of how its components reflect unique site design, building design, landscaping and parking; integrate or provide access between varied uses; deal creatively with multi-modal transportation; and reduce/eliminate physical barriers, as well as provide residential, employment, shopping and local services
Crescent Communities is known for their high quality design with all of their projects. The Crescent Rio development will draw inspiration from the surrounding urban area, Tempe Town Lake, Tempe Center for the Arts and Mill Avenue. The proposed landscaping is desert in nature without being scarce and the implementation of the pedestrian and bicycle passageway will help with circulation and public transportation access and eliminate physical barriers. The mixed-use nature of the Crescent Rio development will provide residential, employment, local services and shopping for the neighborhood.

d. Describe the use of open space, parks or green belts, and how the development separates, as well as links, residential and nonresidential components, if the proposed development incorporates a residential component. If applicable, describe how the proposed development impacts existing parks

The development will link Rio Salado Parkway with 1st Street by implementing the pedestrian and bicycle passageway. Crescent Rio will also positively impact Tempe Beach Park and Tempe Town Lake by bringing new residents into close proximity. The Crescent Rio project itself will provide amenities for residents including pool, BBQ and lounge areas that will lighten the load on the surrounding parks.

e. Describe the proposed development in terms of supporting regional and local transit objectives for arterial streets; implementing the goals and objectives of the transit plan;

describe the internal street system in terms of supporting the above goals and objectives and incorporating uniquely designed transit facilities along the arterial streets

The Crescent Rio project will support local regional transportation such as the Valley Metro light rail and the proposed Tempe Streetcar. The addition of residents in the area will build ridership and the addition of the live/work components along 1st Street will bolster the destination vibe of 1st Street. The construction of the pedestrian and bicycle passageway will also help increase ridership and use of alternative modes of transportation. To help mitigate the impact of development, Crescent Communities will bear all costs related to a need for increased infrastructure capacity adjacent to the site.

f. Describe the proposed amendment in terms of effects on the school districts (enrollments and facilities)

The amendment will not have any negative effect on the Tempe School District.

g. Identify additional quality of life components of the proposal to justify an Amendment

The quality of life for Tempe residents will increase greatly with the construction of the Crescent Rio project. Many recent graduates from Arizona State University want to stay in Tempe but are limited in housing options. To help retain recent graduates, Crescent Rio will provide a sophisticated, non-student housing option for young professionals. Retaining the graduate class from ASU by providing non-student housing options near entertainment and retail destinations will improve the quality of life for all Tempe residents by boosting the tax base and increasing economic development.

ZONING MAP AMENDMENT

Crescent Communities would like to rezone the subject site from General Industrial to High Density Mixed-Use (MU-4) based on a finding of consistency and conformance with the General Plan Goals and Objectives. The Vision of Tempe includes a city that is, “visually attractive and accessible by multiple modes of transportation,” is “comprised of and defined by vibrant mixed-use hubs” and is “a city with homes of distinctive quality and varied density.” Crescent Rio will implement the Elements of the General Plan 2040 as follows:

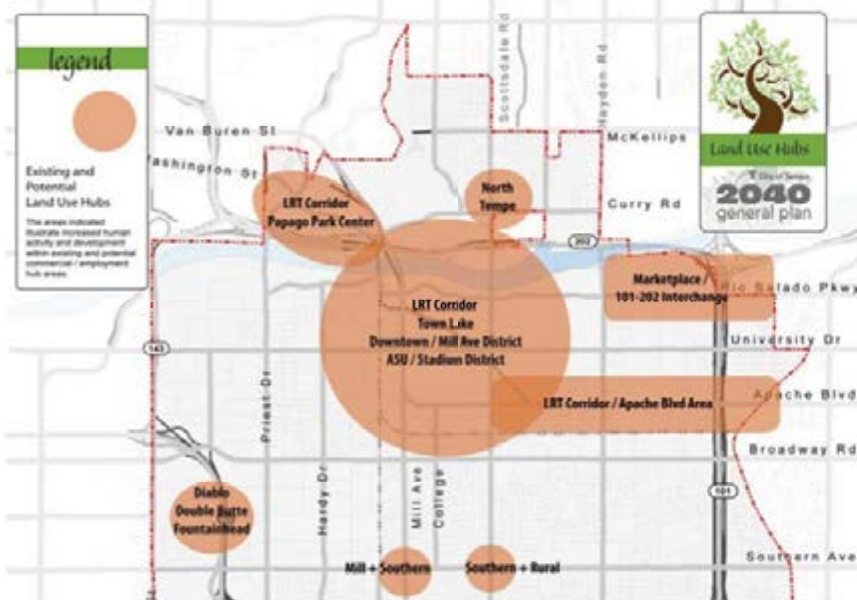
Land Use Element

The proposed rezone of the Crescent Rio project is in conformance with the General Plan 2040 Proposed Land Use of Mixed-Use for the site. The rezone from General Industrial (GID) to High-Density Mixed-Use (MU-4) will create cohesion between the General Plan and the Zoning Code. The MU-4 zoning district has No Standard for density – the General Plan Amendment for density from Medium-High to High Density Urban Core help further unify the site for both the General Plan 2040 and the City of Tempe Zoning and Development Code.

In addition to the cohesion of the General Plan 2040 to the zoning code, rezoning the Crescent Rio site helps the city meet the following Land Use Goals:

LU₁ – “Establish development of multiple hubs with higher density cores serving the surrounding neighborhoods as its mixed-use urban activity center.”

The new development will fit in with the other existing and planned high-density developments and uses near the Farmer Arts District and Mill Avenue. The project will be located in the LRT Corridor, Town Lake, Downtown/Mill Avenue District and ASU/Stadium District. The increased need for employees due to the State Farm project, Stadium District and new Mill Avenue development creates a need for employee housing that Crescent Communities Rio will fill.



LU₂ – “Promote land use patterns that encourage long-term sustainability”

Crescent Rio will bring high-density housing close to the urban core of downtown Tempe. The location of the project, within walking distance of the Valley Metro light rail, proposed Tempe Streetcar, ASU, Mill Avenue and Tempe Town Lake reduces the need for cars and promotes sustainable transportation options.

LU₆ – “Promote compact, efficient infill development”

A high-density multifamily, mixed-use housing development will promote the compact, efficient infill development the City of Tempe has described in the General Plan 2040.

Community Design Element

The Crescent Rio project can be considered “infill development” or “redevelopment.” Rezoning the site from General Industrial to Mixed-Use, High Density will allow for integration of a mixed-use project into a residential and entertainment/park and recreation district will help build the character area and integrate more residential life into the Tempe Town Lake area. Rio will integrate art into their proposed bicycle parking that will help define the character area with regards to Tempe Center for the Arts and Tempe Town Lake.

The project will ‘Integrate’ the site into 1st Street – Crescent will construct a pedestrian and bicycle passageway along the west side of the project for residents and non-residents for biking, walking and transit access. The site will create ‘Articulation’ by utilizing beautiful, interesting building façade with perforated metal, corrugated metal, brick masonry, stone masonry, metal louver, storefront glazing, metal sunshades and a decorative metal rollup door. These specific design innovations add human interest, quality, creativity and identity to the project. The rezoning of Crescent Rio will help Tempe reach the following Community Design Goals:

CD₁ – “Create recognizable and usable “places”.”

The Crescent Rio development will be a notable building with creative landscaping, building façade and accessibility that would not be possible if the site remained zoned GID.

CD₂ – “Provide focal points”

Crescent Rio’s design and elevation materials will provide many points of interest for pedestrians on both Rio Salado Parkway and 1st Street. The building entrance will be well defined by using the podium structure and ground floor lighting for an interesting, well-articulated development.

CD₄ – “Encourage and enhance pedestrian movement”

Crescent Communities plans on developing a pedestrian and bicycle passageway along the east side of the development that will allow for access between Rio Salado Parkway and 1st Street. This pedestrian access way does not currently exist but the rezoning of the site and development of the project will allow for the enhanced pedestrian movement.

CD₇ – “Encourage mixed-use designs”

Crescent Rio, after the rezoning of the parcel from General Industrial to High Density Mixed-Use will allow for the City to reach this design goal. The mixed-use component of the Crescent Rio project, along 1st Street, will contain four live/work units that will promote economic development in the area.

CD₉ - “Promote sustainable design concepts”

The site, as it currently sits, is mostly asphalt and parking. The north side of the site (City of Tempe parcels) is only asphalt with no landscaping. The rezoned, redeveloped site will include desert landscaping with indigenous plants that will help the site achieve a more sustainable footprint in Tempe.

CD₁₂ – “Utilize the built environment to promote a healthy community and encourage active lifestyles”

Redeveloping the site will help activate 1st Street and the construction of the pedestrian and bicycle passageway will help the city meet this goal. A passageway will promote walking, biking and public transit use, which can contribute to the healthy community.

AE₃ – “Where possible, create multi-user access”

By rezoning the site from an under utilized General Industrial district with industrial uses that do not benefit a large population of the City to MU-4, Crescent can further activate the site and in

addition to building the Rio project, will also construct a multi-user (pedestrian and bicycle) path that will allow for access between Rio Salado Parkway and 1st Street.

Historic Preservation Element

Rezoning the subject site from GID to MU-4 will not affect the Historic Preservation Element of the General Plan 2040.

Neighborhood Preservation and Revitalization Element

The Lakeshore Drive and 1st Street neighborhood has been established as a high-density residential area with the construction of Regatta Point and Pulte 525 on the east and west sides of the subject parcels. Including more residents and a mixed-use component into this established neighborhood will help boost the surrounding economies while respecting the small amount of single family housing across the street. Rezoning the site from General Industrial to High Density Mixed-Use will reach the following objective:

NP₃ – “Promote a healthy and safe neighborhood environment”

Rezoning the site, which will allow for the construction of Crescent Rio, will redevelop and revitalize the area. The site promotes alternative modes of transportation with the proximity to the light rail and potential Tempe Streetcar and other necessary daily activities such as ASU, Tempe Town Lake and the Farmer Arts District.

Redevelopment Element

The Redevelopment Element goal is to “Sustain or maximize the efficiency of land uses within areas of stagnation or decline by promoting the greatest economic, social and cultural potential.”

Rezoning and redeveloping the site, currently a large parking area for industrial uses to a mixed-use residential and live/work development will maximize the efficiency of use for the land by providing an inviting live/work atmosphere near Tempe Town Lake, close to Mill Avenue and the Farmer Arts District. Rezoning the site will facilitate the following goals:

RED₁ – “Encourage reinvestment, rehabilitation, redevelopment or reuse”

Rezoning the Crescent Rio site will allow for reinvestment and redevelopment of the site. The GID zoning category is no longer appropriate for the site with the construction of the Valley Metro Light Rail and the proposed Tempe Streetcar – the site should be mixed-use and Crescent Rio will help redevelop the area.

Housing Element

As stated in the General Plan 2040, “Approximately 58 percent of the land in Tempe is developed with or targeted for single family housing,” and only “...nine percent of the residential land in Tempe...” is midrise or high-rise multi-family housing. In order to provide a variety of choices for Tempe residents, Crescent Communities would like to rezone the site to build a 6-story (midrise) development. This will fulfill the following objectives:

H₁ – “Support housing development that meets the needs of the disabled, those with special needs, older adults and those aging in place”

The Crescent Rio project will build according to ADA standards and will include accessibility features throughout the entire development.

H₁₀ – “Encourage development of needed housing in close proximity to transit, employment and services”

The site’s proximity to public transportation and recreational/entertainment/educational facilities will help fulfill this objective. The high-density housing component will put people close to where they need to go and close to convenient modes of transportation.

General Plan Amendment (note the criteria)

Please see the General Plan Amendment section above.

Economic Development Element

The rezoning of the site and the development of the Crescent Rio project will create jobs by allowing for a live/work component in a high-density project. The new project and the redevelopment of the site will help reach the following objectives:

ED₂ – “Develop an increased tax base”

The rezoning from an underutilized industrial site to a high-density, mixed-use development will increase the tax base, attract more residents to Tempe and increase the property value.

ED₃ – “Promote a sustained improvement in the standard of living and quality of life for all residents”

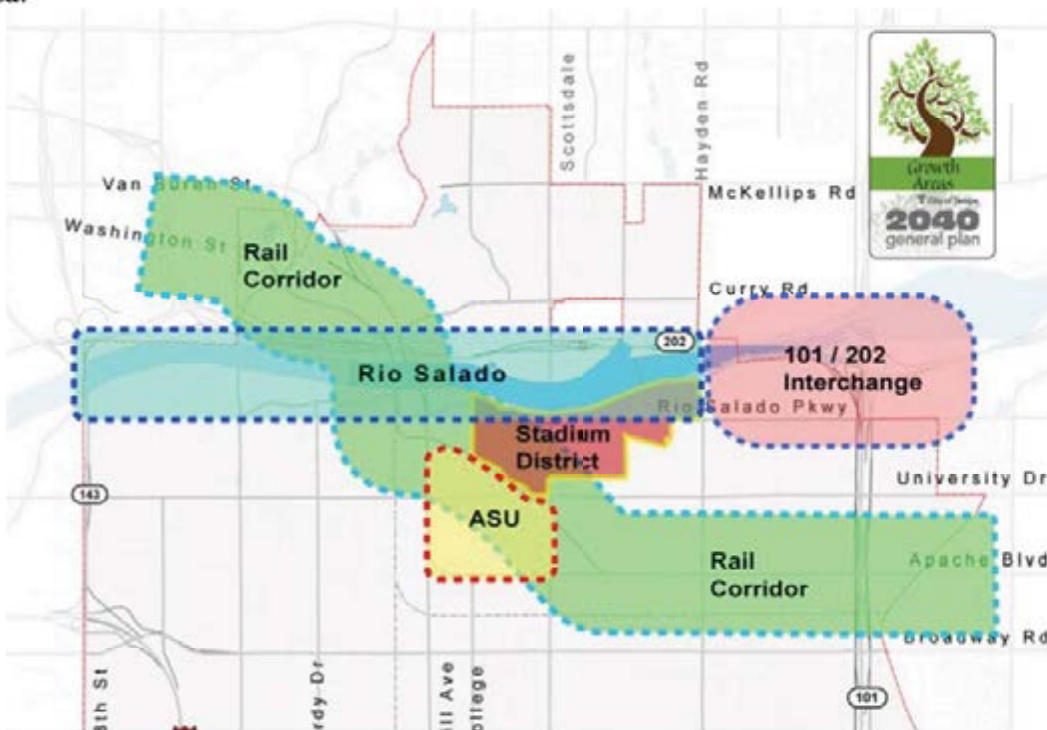
The increase in residents in this area, close to Tempe Town Lake, Mill Avenue and Farmer Arts District will help draw in business and tax dollars to the area. Giving people who work in Tempe the option to also live in Tempe and therefore, spend their tax dollars in Tempe will boost economic development.

ED₅ – “Attract businesses and employers that provide jobs paying wages at or above the regional average”

Rezoning the site from GID to MU-4 will allow for Crescent to redevelop the site. The increase is attractive, new, creative living space will help draw in higher end employers to the City of Tempe. Providing an attractive housing option such as Crescent Rio with close proximity to public transportation options and the surrounding amenities will help keep graduating ASU students in Tempe and contributing to the workforce.

Growth Area Element

The proposed site is located in *both* the Rail Corridor Growth Area and the Rio Salado Growth Area:



Rezoning the site from GID to MU-4 will help the City of Tempe reach their goal to build the area as an employment, retail and high-density residential hub. According to the General Plan 2040, “Between 2010 and 2040, an estimated 55,000 persons will be added to Tempe...” yet, “Housing units within Tempe are projected to reach 91,000 units by 2040, an increase of more than 18,000 units over 30 years.” There will be a deficit of approximately 30,000 housing units per jobs created in Tempe. Rezoning the site from GID and redeveloping the parking lot dominated business on 1st Street at the site will allow for Crescent Rio to provide some of the housing that the City projects will be necessary to accommodate projected job growth. The unique location of the site in both the Rio Salado Growth Area and the Rail Corridor Growth Area makes the site a prime candidate for redevelopment and mixed-use development.

RS₅ – “Develop and use Rio Salado to improve regional quality of life”

The Crescent Rio proposed project and new pedestrian and bicycle passageway along the east side of the project will promote public accessibility and expand bike and walking paths in an appropriate location (linking Rio Salado Parkway to 1st Street).

RC₁ – “Focus mixed use development near rail investments to support reduced transportation costs for residents and, in turn, produce increased transit ridership”

Rezoning the Crescent Rio site from General Industrial to High-Density Mixed-Use will allow for this site to reach this objective. The live/work component of Crescent Rio near the Valley Metro light rail and the proposed Tempe Streetcar will reduce transportation costs for residents and will also increase public transportation ridership.

RC₂ – “Create a walkable community enhanced by rail transit”

The Crescent Rio development will have live/work units on the ground floor that will help activate the area and create a pedestrian friendly environment. In addition, Crescent will build a pedestrian and bicycle passageway from Rio Salado Parkway to 1st Street – available to all Tempe residents. This passageway will provide more than adequate desert landscaping and shade trees to make the area walkable.

RC₆ – “Maintain high design standards in landscape and building treatments”

The Crescent Rio project will include high quality building materials and landscaping. The site will feature a mixture of metal, stucco, brick and stone and the landscaping will consist of Desert Willow, Foothills Palo Verde, Date Palms and Rio Salado Mesquite trees.

RC₈ – “Sustain the Mill Avenue District as a regional destination”

The development of the site for Rio Crescent and the rezoning of the site from GID to MU-4 will facilitate the implementation of the Tempe Streetcar by providing increased ridership numbers along Rio Salado. The project will also provide for additional Streetcar destinations with the completion of the live/work units.

RC₁₂ – “Continue investment consistent with the public investment in transit and reflective of transit-oriented design and development”

The requested rezoning of the site will increase the utilization of the underdeveloped GID parcels on the arterial street of Rio Salado Parkway with the high-density transit oriented Crescent Rio. Including the live/work mixed-use component will give future residents and business owners business options and create a desirable walkable urban neighborhood.

RC₁₃ – “Enhance area quality of life for existing and future residents”

The construction of Crescent Rio will improve the quality of life for Tempe residents – the site will underground utility lines, be aesthetically pleasing and have a welcoming pedestrian front and improve bicycle and pedestrian flow with the inclusion of the passageway along the east side of the project. Crescent Rio will provide former ASU students and those who can not afford to purchase a home with a housing option that will allow them a greater quality of life than living in student housing.

RC₁₄ – “Promote desirable reuse of land”

One of the strategies to meet this objective is to increase residential and transit development – the Crescent Rio project will not only redevelop a GID site but it will also increase residential uses in Tempe and support both the Valley Metro light rail and the Tempe Streetcar.

Cost of Development Element

The development of the Crescent Rio project will not put any excess stress on the existing infrastructure that will not be covered by development taxes. The area is highly accessible by an arterial street – Rio Salado Parkway – and many different public transportation opportunities that will lessen the impact of new residents on the infrastructure.

Pedestrian and Bicycle Element

Crescent Rio will be mixed-use and high density near the Tempe urban core. The proximity to many different public transportation options will embrace the objectives of the General Plan 2040, such as improving the pedestrian network by providing live/work opportunities on the ground floor on 1st Street and encouraging bicycle and pedestrian traffic near, through, to and from the development with the construction of the pedestrian and bicycle passageway providing access from 1st Street to Rio Salado Parkway.

PN₂ – “Provide convenient and safe pedestrian access to destinations to promote neighborhood sustainability”

The Crescent Rio project will help add to the Pedestrian and Bicycle Network by providing safe travel options near residents’ homes, work and recreational destinations. The shaded passageway leading from 1st Street to Rio Salado Parkway, combined with the proposed bike racks along 1st Street near the live/work units will help keep Tempe a 20-minute city and will encourage biking, walking and public transit use. The pedestrian and bicycle passageway will connect two streets with bike paths/lanes (including 1st Street, which is classified as a Green Street) and help Tempe increase accessibility.

PN₄ – “Increase pedestrian accessibility and enhance the pedestrian environment with engaging and interesting experiences for pedestrians”

Rezoning the Crescent Rio site will allow Crescent Communities to build their mixed-use development and it will also allow for the construction of the pedestrian and bicycle passageway which will create an accessible environment for Tempe residents to move from Rio Salado Parkway to 1st Street. This will improve the shaded pedestrian network.

B₁ – “Provide safe and convenient access between neighborhoods and schools, parks, shopping, transit, employment, and other destinations”

The rezoning of the site will create a diversity of land use with the implementation of the live/work units on 1st Street in Crescent Rio. The connection of the pedestrian and bicycle passageway will also help meet this objective by “Ensuring walkable and bikeable connecting streets and paths that contribute to a healthy lifestyle.”

B₄ – “Improve the bikeways network”

Rezoning the Crescent Rio site will allow for Crescent Communities to help Tempe improve the bike network. The pedestrian and bicycle passageway will reduce barriers to bike travel and create an additional passageway connecting two important Tempe streets. This will fill the a gap in the bikeways system.

Transit Element

The proposed project is located near the Potential Commuter Station where the future Streetcar and existing light rail will meet and is serviced by the Orbit buses, and local Valley Metro buses. This site is near a valuable transportation and should be rezoned from General Industrial to High Density Mixed-Use (MU-4) to take advantage of the transportation opportunities. The Crescent Rio site is

located on both the local bus route, in the local transit (Orbit) zone, near the Valley Metro light rail and near the future Tempe Streetcar proposed route:



Travelways Element

The proposed site will back an arterial street – Rio Salado Parkway and front a collector street – 1st Street. The Crescent Rio site is also very close to the Freeway 202 and Sky Harbor Airport. There are multiple transportation options for the traffic drawn to the live/work element of the Crescent Rio project.

Parking and Access Management

The site will be adequately parked for residents and customers of the live/work units. Crescent Rio will provide the pedestrian and bicycle access way to help mitigate vehicular traffic issues along Rio Salado Parkway and 1st Street.

Aviation Element

The proposed Crescent Rio will be in close proximity to Phoenix Sky Harbor Airport and the key location will provide residents many different options for public transportation to the airport. The site is less than half a mile from the Valley Metro light rail which provides direct transit to the airport. A rezoning is appropriate for the Crescent Rio project as it is a prime area that would benefit from a high-density transit oriented development.

A₁ – “Encourage regional approaches to aviation transportation, while recognizing the regional role of Phoenix Sky Harbor International Airport”

Rezoning the existing GID site to a MU-4 use and density will help promote the proximity to the Sky Harbor Airport and give Tempe residents the option to live in an easily accessible public transit area for airport travel. The residential element of Crescent Rio will help Tempe meet this objective by reducing vehicular travel to the airport and instead promote public transit to the airport – through the Valley Metro light rail – which will reduce the environmental impact of the airport.

Conservation Element

All of Crescent Communities developments are built and designed to be Bronze Certified NGBS Green.

ER₄ – “Encourage energy and resource conservation as part of all development”

The Crescent Rio development will implement the following to reach energy and resource conservation goals:

- A construction waste plan implemented with a goal to recycle or salvaging a minimum of 50% by weight of construction waste.
- High-efficacy lighting – A minimum of 50% of the total hard-wired lighting fixtures or bulbs in those fixtures, qualify as high efficacy or equivalent.
- Roofing material will be highly reflective white, TPO membrane to reduce heat load on the building.
- Windows and Exterior doors will meet or exceed a U-Factor of .65 and a SHGC rating of .30
- All air conditioner and heat pump unit will exceed a cooling efficiency of 14 SEER
- Refrigerator, dishwasher and the washing machine will be Energy Star rated.
- 3rd party onsite inspection will be conducted to verify
 - Ducts are installed in accordance with ICC, IRC or IMA and all ducts are sealed
 - Building envelope air sealing is installed
 - Insulation is installed according to Grade 2 standards
 - Windows and doors are flashed, caulked and sealed in accordance with manufacturer’s instructions an NGBS specs.
- Showerheads shall be limited to 1.5 – 2.5 GPM, water closets shall be limited to 1.28 gallons per flush.
- Drip irrigation will be installed for all planting beds.
- Evapotranspiration based irrigation controller with a rain sensor or soil moisture sensor will control all irrigation.
- Fireplaces will not be installed in any units.
- All composite wood used in wood cabinets will be CARB Composite Wood Air Toxic Contaminant Measure Standard or equivalent as certified by a 3rd party.
- Exhaust Fans will be Energy Start certified

Land Element

The Crescent Rio development site is not in a Brownfield site. Crescent Communities promotes recycling for all of their residential developments. The Crescent Rio project will include recycling options for all residents.

SWR₁ – “Reduce the amount of solid and hazardous waste sent to landfills”

In addition to implementing a recycling program on the site for residents, during construction a plan will be applied to recycle or salvage a minimum of 50% by weight of the construction waste.

Environmental Planning Element

The proposed Crescent Rio project will help Tempe meet their Environmental Planning Element goal by utilizing objective two – to reduce the number of vehicle miles traveled locally and regionally. The location of the site near downtown Tempe, Farmer Arts District, Tempe Town Lake, the light rail and ASU will help residents choose environmentally friendly transit options, such as walking, biking and public transit. This will improve air quality through the following strategies and objectives:

AQ₂ – “Reduce the number of vehicle miles traveled locally and regionally”

By including the live/work component in the rezoned project, Crescent Rio will help reduce the number of miles residents travel. The site will be more appropriately used as a residential project than an industrial site considering the proximity of the site to the Valley Metro light rail, the

proposed Tempe Streetcar, Farmer Arts District (including the Madison Improvement Club, Over Easy, Culinary Dropout, and The Lodge). The reduced number of trips and distance traveled by residents to reach daily necessities is a key factor in the rezoning of the site and the construction of the Crescent Rio project. To further reach this objective, Crescent Rio plans to construct a pedestrian and bicycle passageway connecting Rio Salado Parkway and 1st Street.

AQ₄ – “Promote pollen sensitive landscape treatment”

The landscaping on the Crescent Rio site will be appropriate, water sensitive desert landscaping and approved by the City of Tempe. Crescent Rio will utilize many different desert trees and conserve water, provide shade and reduce pollen such as Desert Willow, Foothills Palo Verde, Date Palm and Rio Salado Mesquite – these trees will help also reduce ambient temperature. The increase in landscaping on the site from the current parking lot and asphalt dominated General Industrial use will help reduce the ambient temperatures in the area. In addition, the rezoning of this parcel from GID to MU-4 will also help control the ambient temperature of the site. The increased landscaping percentage and covered ground level parking (podium) will help ease the urban heat island effect.

AT₁ – “Consider ambient temperature reduction within development, energy and water resources policies and programs”

The roofing material will be highly reflective white and TPO membrane, which will reduce the heat load of the building and to further reduce the amount of heat produced and used by the building, fireplaces will not be installed in any units. Water resources will be conserved with an environmentally conscious landscape palette.

Water Resources Element

The Crescent Rio site will include xeriscaping land water sensitive plants such as Desert Willow, Foothills Palo Verde, Date Palm and Rio Salado Mesquite trees. At this time, Crescent Rio will not be utilizing stormwater saving.

Open Space Element

The Crescent Rio rezoning will not negatively affect the amount of public or private open space in Tempe.

Recreation Element

Crescent Communities provides recreation for residents in the form of a swimming pool, fitness center, indoor and outdoor lounge areas and access to entertainment areas that will alleviate additional stress on the Tempe public parks with the increase of residents in the area. In addition, the Crescent Rio site is directly across from Tempe Town Lake and will bring new residents and awareness to the public services Tempe provides its residents.

Public Art and Cultural Amenities Element

The live/work component to the Crescent Rio site could potentially be used as artistic space or galleries. The proximity to the Tempe Center for the Arts will help highlight the events Tempe promotes for residents and could bring business to Tempe and the Tempe Center for the Arts.

Public Buildings and Facilities Element

Not applicable to the Crescent Communities Rio rezoning.

Public Services Element

Not applicable to the Crescent Communities Rio rezoning.

Municipal Court Element

Not applicable to the Crescent Communities Rio rezoning.

Safety Element

The new development will be in conformance with Fire Code, Building Codes and Tempe Safety Codes.

PLANNED AREA DEVELOPMENT OVERLAY

A. Identify and provide justification for the specific modification(s) to the general development standards;
 The development standards for the MU-4 district are mostly undefined in the City of Tempe Zoning and Development Code. The proposed rezone from GID to MU-4 requires a PAD Overlay. For this overlay, we have included a chart below detailing the proposed standards.

The proposed project seeks MU-4 zoning which does not have standards. Instead, we are proposing standards for the Crescent Rio site.

B. Explain how the PAD Overlay District accommodates, encourages, and promotes innovatively designed developments involving residential and/or nonresidential land uses, which form an attractive and harmonious unit of the community;

These proposed PAD Overlay standards are appropriate for the site given the urban context along 1st Street and the lakefront proximity in an industrial neighbored by a residential district. Crescent Communities will not build a student housing development but seeks to focus on the young professional and empty-nester population. Accordingly, the dwelling unit per acre measure of density is not representative of our actual density as the majority of our dwelling units will be one-bedroom units.

Please keep in mind that if the Crescent Rio project were to replace the studio, one- and two-bedroom units entirely with four-bedroom units, the same size building would have **940 bedrooms**. As the project is proposed, Crescent Rio will only have **463 bedrooms**. If each bedroom contained one person, the density of people in Crescent Rio, with a lower density of du/acre would be increased dramatically.

C. Describe how the PAD Overlay District is deemed appropriate or necessary, and traditional zoning regulations are replaced by performance considerations to fulfill the objectives of the General Plan.

This PAD District Overlay is not replacing any zoning standards for the MU-4 zoning district – the MU-4 zoning district (as shown below) mostly states “No Standard” and requires the PAD Overlay. With the amendment of the General Plan for Projected Density and our rezone from a GID to MU-4 zoning district, the proposed standards are appropriate and necessary for Crescent Communities to deliver the best product possible and include the design standards they are known for.

	GID Standards	MU-4 Standards	PAD Overlay Standards
Density (du/acre)	No Standard	No Standard	112 du/acre
# of Bedrooms	--	--	450
Building Height	35 feet	No Standard	90 feet
Maximum Lot Coverage	No Standard	No Standard	74%
Minimum Landscape Area	10%	No Standard	14%
Front Setback (Rio Salado)	25 feet	No Standard	0 feet

Front Parking Setback	20 feet	20 feet	17 feet 7 inches
Side Building Wall Setback (West)	0 feet	No Standard	12 feet
Side Building Wall Setback (East)	25 feet	No Standard	7 feet
Side Street Parking Setback	20 feet	20 feet	NA
Rear Building Wall Setback (1 st Street)	0 feet	No Standard	9 feet

DEVELOPMENT PLAN REVIEW

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape;

The placement of the building and the structure of the building will provide great variety on both streetscapes (Rio Salado Parkway and 1st Street). The building will feature podium style parking, varied heights in the building façade, varying materials at the ground floor, visual separation between parking area and living space above. Additionally, the frontage on 1st Street will feature the live/work component which will be pedestrian level, inviting and will hopefully bring in pedestrian and bicycle traffic to that area.

2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;

The Crescent Rio development will be built to be NGBS Bronze certified. This includes a construction waste recycling and salvage program, heat-resistant roofing, energy efficient doors and windows and Energy Star rated appliances. The desert-landscaping palette will not only reduce water use but also will help mitigate heat and heat absorption into the building. Almost all of the site parking will be located under the building, which will further reduce glare and heat gain.

3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;

The building materials are of superior quality and are varied in a way that will provide an interesting, detailed community. The materials were drawn from inspiration of the surrounding Tempe area, including the Tempe Center for the Arts and include perforated metal, finished stucco, metal panels, brick and stone masonry, metal louver, metal sun shading and a decorative metal rollup door.

4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;

The building and the landscaping will be properly scaled. The building frontage along 1st Street will be pedestrian in design as Crescent Rio intends to attract business to the live/work units that along 1st Street.

5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;

Crescent Communities prides themselves in being creative and innovative when designing buildings. The building will reflect the surrounding area – including Tempe Town Lake and the Tempe Center for the Arts – and the detailed finishes on the building will relieve monotony. The building will also feature a mezzanine level that will bring the eye to the top of the structure and present an iconic view of the area from the 202 Freeway.

6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;

The building façades Crescent Communities has planned for Crescent Rio will completely reflect the urban environment of Tempe while keeping in mind the necessary street level interest for pedestrians accessing the development and live/work component from 1st Street. The live/work units on 1st Street will feature storefront glazing and metal canopies to help reduce sun exposure. Each proposed live/work unit will have a separate walkway leading to the storefront with inviting shade landscaping. The project will be an appropriate pedestrian scale from 1st Street and of appropriate vehicular traffic scale from Rio Salado Parkway.

7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;

Crescent Communities would like to use the eastern portion of the property to construct a pedestrian and bicycle passageway to give Crescent Rio and City of Tempe resident access from Rio Salado Parkway to 1st Street. The passageway will include shade trees and desert landscaping that will create a pleasant and convenient access way to reach public transportation options and recreational and entertainment options in the Farmer Arts District.

8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;

The vehicular circulation plans will minimize conflicts with pedestrians. The resident parking will be located inside of a parking garage and mostly underground which will reduce vehicular contact with pedestrians and bicycles. The surrounding residential uses and the Crescent Rio residents will benefit from the proposed bicycle and pedestrian passageway that will be located to the east of the project. This passageway will further reduce bicycle and pedestrian conflicts and help with circulation.

9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;

The Crescent Rio development will appropriately integrate Crime Prevention Through Environmental Design principles as suggested in the City of Tempe Zoning and Development Code.

10. Landscape accents and provides delineation from parking, buildings, driveways and pathways;

The appropriate desert landscaping planting scheme will create a pedestrian/bicycle barrier from vehicles on the project. The landscaping in the center island of the entry way and the landscaping outlining the pedestrian path from Rio Salado Parkway to the leasing office and building entrance will help protect residents from vehicular contact. The south side of Crescent Rio will have shade landscaping near the bike racks for live/work customers and clients and the reduction of access ways to one vehicular ingress/egress into Crescent Rio from 1st Street will help minimize pedestrian exposure to vehicles.

11. Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; and

Crescent Rio will follow City of Tempe guidelines with regards to monument and building signs.

12. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.

The proposed lighting will be compatible with the surrounding neighborhood, buildings and uses. The lighting will adequately light Crescent Rio to create a safe environment without creating a nuisance or disturbance.









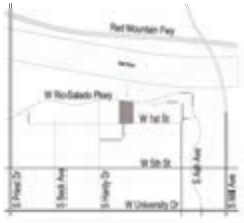




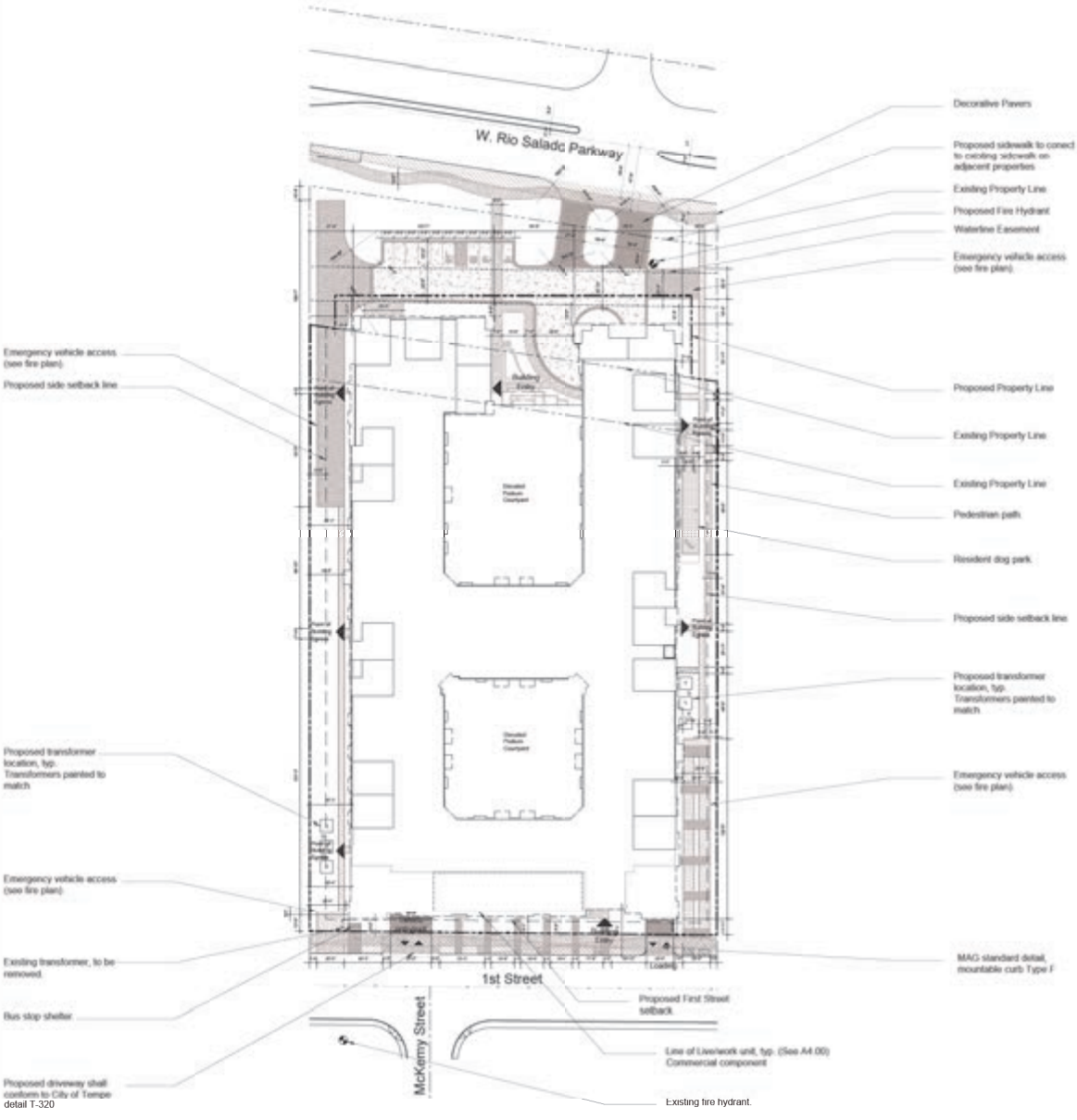




SITE VICINITY MAP



PROJECT ADDRESS
 W RIO SALADO PKWY
 TEMPE, AZ 85281



- Decorative Flowers
- Proposed sidewalk to connect to existing sidewalk on adjacent properties
- Existing Property Line
- Proposed Fire Hydrant
- Waterline Easement
- Emergency vehicle access (see fire plan)
- Proposed Property Line
- Existing Property Line
- Existing Property Line
- Pedestrian path
- Resident dog park
- Proposed side setback line
- Proposed transformer location, typ. Transformers painted to match
- Emergency vehicle access (see fire plan)
- MAG standard detail, mountable curb Type F

- Emergency vehicle access (see fire plan)
- Proposed side setback line
- Proposed transformer location, typ. Transformers painted to match
- Emergency vehicle access (see fire plan)
- Existing transformer, to be removed
- Bus stop shelter
- Proposed driveway shall conform to City of Tempe detail T-320

Line of Livestock unit, typ. (See A4 00) Commercial component

Existing fire hydrant.



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KTGY Project No: 20150390

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 Project Designer: Hector Gonzalez

Developer

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 crescentcommunities.com

Project Name

CRESCENT RIO
 RIO SALADO PKWY
 TEMPE, AZ 85281



Drawing Name

SITE PLAN

PA2 Submittal November 20, 2015

A1.00



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Drawing Name

BLACK & WHITE ELEVATIONS

PA2 Submitted November 20, 2015

A2.05



Key Map N.T.S.

Extraction schedule

- | | | |
|----|------------------------------|---|
| 1 | Stucco Finish 1 | Color: SW 6034 |
| 2 | Stucco Finish 2 | Color: SW 6236 |
| 3 | Stucco Finish 3 | Color: SW 7028 |
| 4 | Stucco Finish 1 | Color: SW 7028 |
| 5 | Stucco Finish 2 | Color: SW 7028 |
| 6 | Stucco Finish 2 | Color: SW 7028 |
| 7 | Brick Masonry | Belton "Ironstone Blend", unit 3 5/8" x 10 1/4" |
| 8 | Metal Cladding | Robur White Metal Panel |
| 9 | Wood Wall Panel | Nichia Vintage/Wood Color, horizontal |
| 10 | Metal Guardrail 1 | Worldeal Blue Mesh |
| 11 | Metal Guardrail 2 | Perforated Metal Panel |
| 12 | Open Window | Clear Anodized Aluminum Finish |
| 13 | Slatted Window | Clear Anodized Aluminum Finish |
| 14 | Open Garage Screening | Worldeal Blue Mesh |
| 15 | Closed Garage Screening | Fiber Cement Panel - Color: SW 7028 |
| 16 | Metal Lintel | |
| 17 | Not used this sheet | |
| 18 | Not used this sheet | |
| 19 | Decorative Metal Rollup Door | |

1. South Elevation (First Street Elevation)



2. East Elevation



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Drawing Name

BLACK & WHITE ELEVATIONS

PAD Submittal November 20, 2015

A2.04



Key Map N.T.S.

ELEVATION KEYNOTES

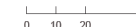
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|----|------------------------------|---|
| 1 | Stucco Finish 1 | Color: SW 6524 |
| 2 | Stucco Finish 2 | Color: SW 6524 |
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| 4 | Stucco Finish 1 | Color: SW 7008 |
| 5 | Stucco Finish 2 | Color: SW 7008 |
| 6 | Stucco Finish 3 | Color: SW 7008 |
| 7 | Brick Masonry | Brick: "Terra Bond", size 3 1/2" x 2 1/2" |
| 8 | Metal Cladding | Ribbed White Metal Panel |
| 9 | Wood Siding/Suitts | Grey Oak |
| 10 | Metal Screenshot 1 | Welded Wire Mesh |
| 11 | Metal Screenshot 2 | Perforated Metal Panel |
| 12 | Unit Window | Clear Anodized Aluminum Finish |
| 13 | Storefront Window | Clear Anodized Aluminum Finish |
| 14 | Open Garage Screening | Welded Wire Mesh |
| 15 | Closed Garage Screening | Fiber Concrete Panel - Color: SW 7008 |
| 16 | Metal Sunshade | |
| 17 | Water Feature w/ Landscaping | |
| 18 | Metal Canopy | |
| 19 | Not used this sheet | |



1. North Elevation (Rio Salado Parkway Elevation)



2. West Elevation





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Project Name

CRESCENT RIO
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 TEMPE, AZ 85281



Drawing Name

BLACK & WHITE ELEVATIONS

PAD Submittal November 20, 2015

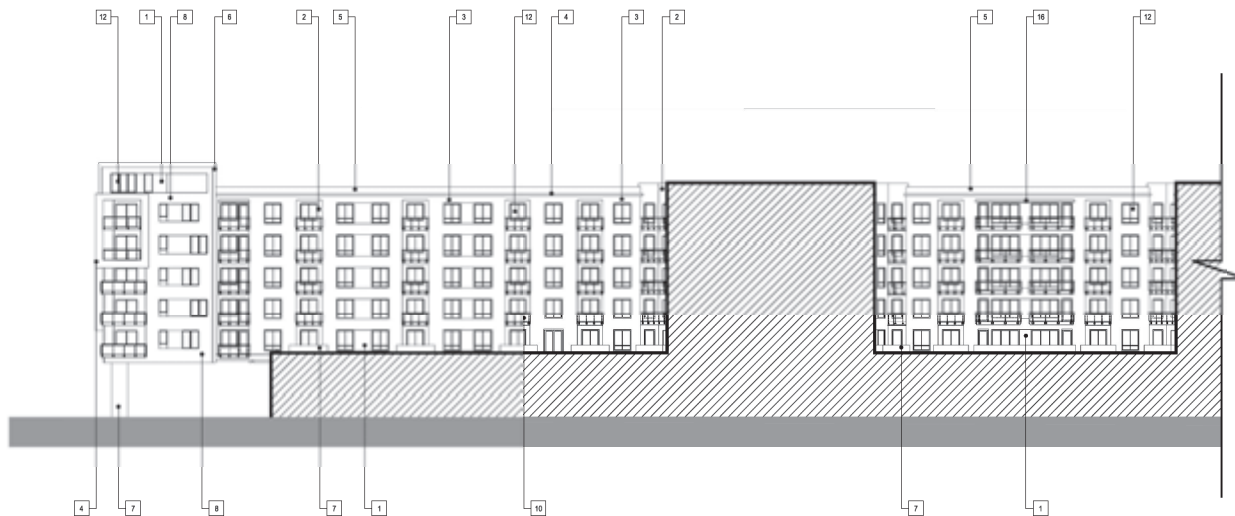
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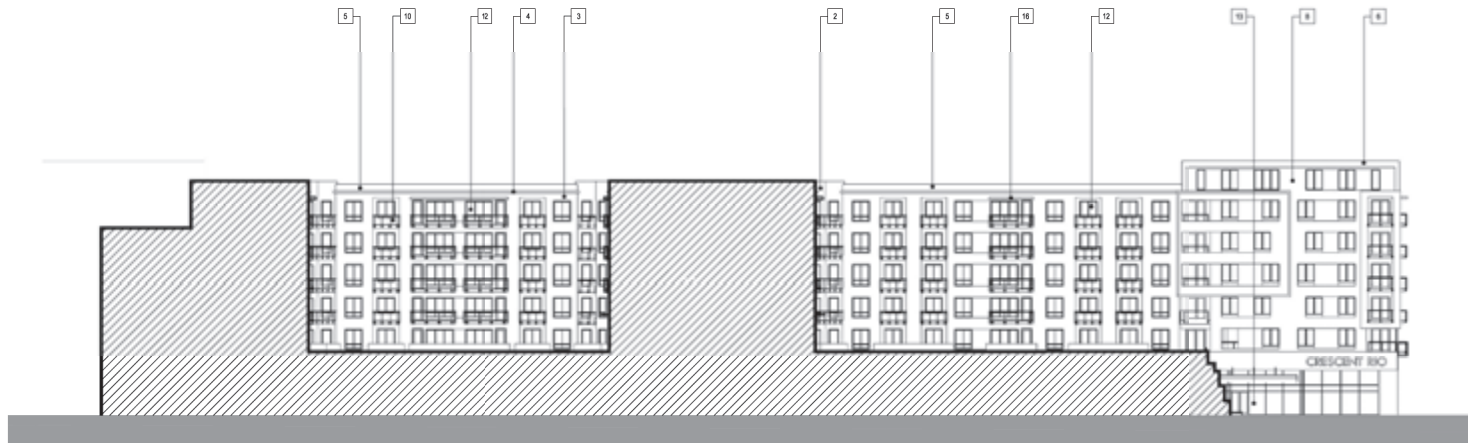
Key Map N.T.S.

ELEVATION KEYNOTES

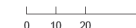
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|----|---------------------|--|
| 1 | Stucco Finish 1 | Color: SW 6504 |
| 2 | Stucco Finish 1 | Color: SW 6504 |
| 3 | Stucco Finish 1 | Color: SW 7058 |
| 4 | Stucco Finish 1 | Color: SW 7058 |
| 5 | Stucco Finish 2 | Color: SW 7028 |
| 6 | Stucco Finish 2 | Color: SW 7058 |
| 7 | Brick Masonry | Brick: "Sienna Blend", size 3 1/2" X 10 1/4" |
| 8 | Metal Cladding | Ribbed White Metal Panel |
| 9 | Not used this sheet | |
| 10 | Metal Guardrail 1 | Welded Wire Mesh |
| 11 | Not used this sheet | |
| 12 | Unit Window | Clear Anodized Aluminum Finish |
| 13 | Storefront Window | Clear Anodized Aluminum Finish |
| 14 | Not used this sheet | |
| 15 | Not used this sheet | |
| 16 | Metal Sunshade | |
| 17 | Not used this sheet | |
| 18 | Not used this sheet | |
| 19 | Not used this sheet | |

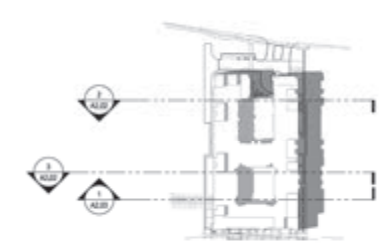


1. West Interior Elevation (Courtyard Elevation)



2. East Interior Elevation (Courtyard Elevation)

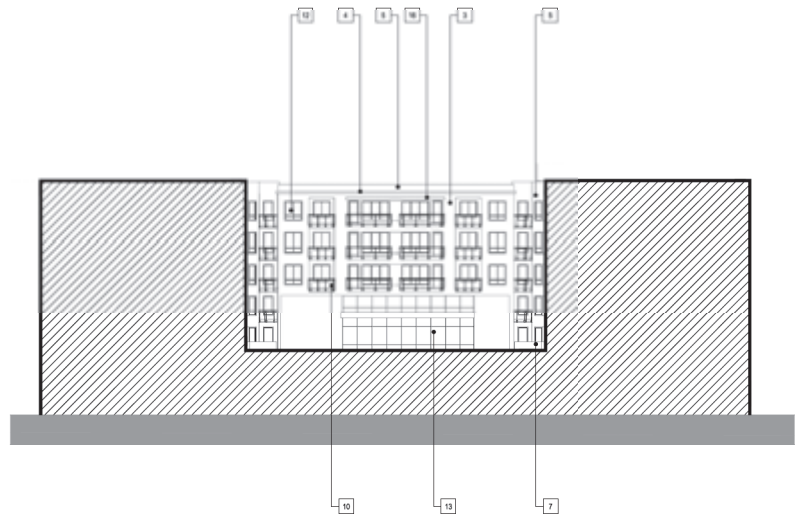




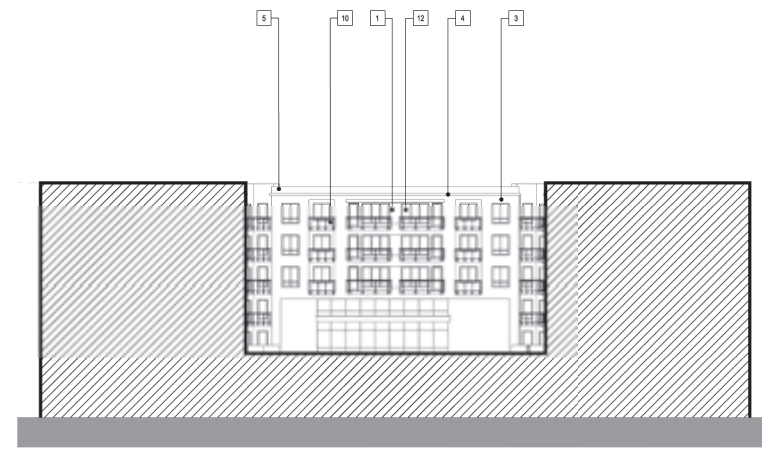
Key Map N.T.S.

ELEVATION KEYNOTES

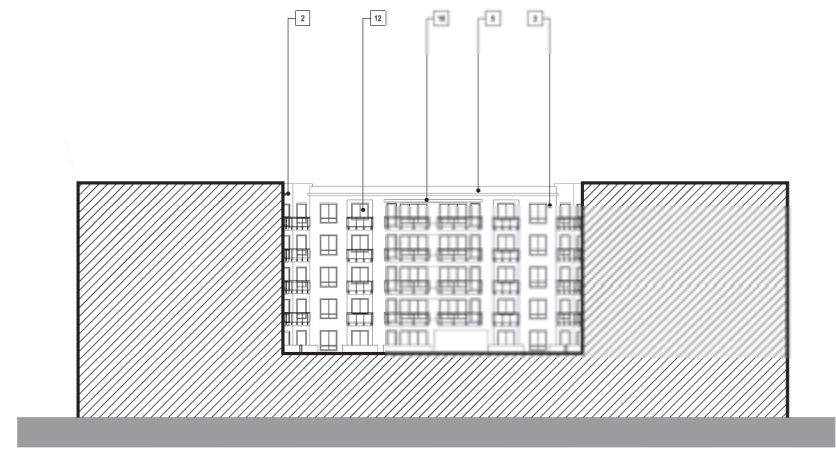
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2	Stucco Finish 1	Color: SW 9324
3	Stucco Finish 1	Color: SW 7028
4	Stucco Finish 1	Color: SW 7068
5	Stucco Finish 2	Color: SW 7028
6	Not used this sheet	
7	Brick Masonry	Welded "Gamma Bond", size 3 5/8" x 10 1/2"
8	Not used this sheet	
9	Not used this sheet	
10	Metal Guardrail 1	Welded Wire Mesh
11	Not used this sheet	
12	Unit Window	Clear Anodized Aluminum Finish
13	Storefront Window	Clear Anodized Aluminum Finish
14	Not used this sheet	
15	Not used this sheet	
16	Metal Sunshade	
17	Not used this sheet	
18	Not used this sheet	
19	Not used this sheet	



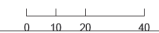
1. South Interior Elevation (Courtyard Elevation)



2. North Interior Elevation 1 (Courtyard Elevation)



3. North Interior Elevation 2 (Courtyard Elevation)



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 Project Designer: Hedges Gonzalez

Developer

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Project Name

CRESCENT RIO
 RIO SALADO PKWY
 TEMPE, AZ 85281



Drawing Name

**BLACK & WHITE
 ELEVATIONS**

PAD Submittal November 20, 2015

A2.07

South color elevation from the 11/12/15 DRC Staff Report, updated/proposed elevation is the next attachment.



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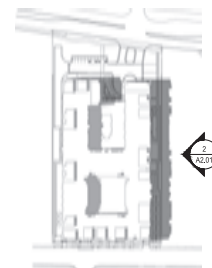
Principal: David Senden
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CRESCENT RIO

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Project Name



Key Map N.T.S.



1. South Elevation (First Street Elevation)



2. East Elevation

CRESCENT RIO

RIO SALADO PKWY
 TEMPE, AZ 85281



Drawing Name

ELEVATIONS

PAD Submittal October 21, 2015

A2.01



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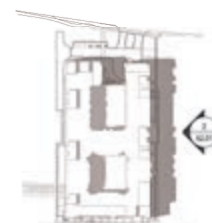
Principal: David Sendon
 Project Designer: Hector Gonzalez

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Project Name



Key Map N.T.S.

EXPLANATION OF NOTATION

- | | | |
|----|------------------------------|--|
| 1 | Stucco Finish 1 | Color: SW 9004 |
| 2 | Stucco Finish 1 | Color: SW 9029 |
| 3 | Stucco Finish 1 | Color: SW 7058 |
| 4 | Stucco Finish 1 | Color: SW 9088 |
| 5 | Stucco Finish 2 | Color: SW 7028 |
| 6 | Stucco Finish 2 | Color: SW 7086 |
| 7 | Brick Masonry | Brick: "Terra Blend", size 3 1/2" x 3 1/2" |
| 8 | Metal Cladding | Black/White Metal Panel |
| 9 | Wood Wall Panel | North/South/Vestige/Wood Color, horizontal |
| 10 | Metal Screenshot 1 | Welded Wire Mesh |
| 11 | Metal Screenshot 2 | Perforated Metal Panel |
| 12 | Unit Window | Clear Anodized Aluminum Finish |
| 13 | Storefront Window | Clear Anodized Aluminum Finish |
| 14 | Open Garage Screening | Welded Wire Mesh |
| 15 | Closed Garage Screening | Fiber Cement Panel - Color: SW 9060 |
| 16 | Metal Screenshot | |
| 17 | Not used this sheet | |
| 18 | Not used this sheet | |
| 19 | Decorative Metal Rollup Door | |



1. South Elevation (First Street Elevation)



2. East Elevation

CRESCENT RIO

RIO SALADO PKWY
 TEMPE, AZ 85281



Drawing Name
ELEVATIONS

PA2 Submittal November 20, 2015

A2.01



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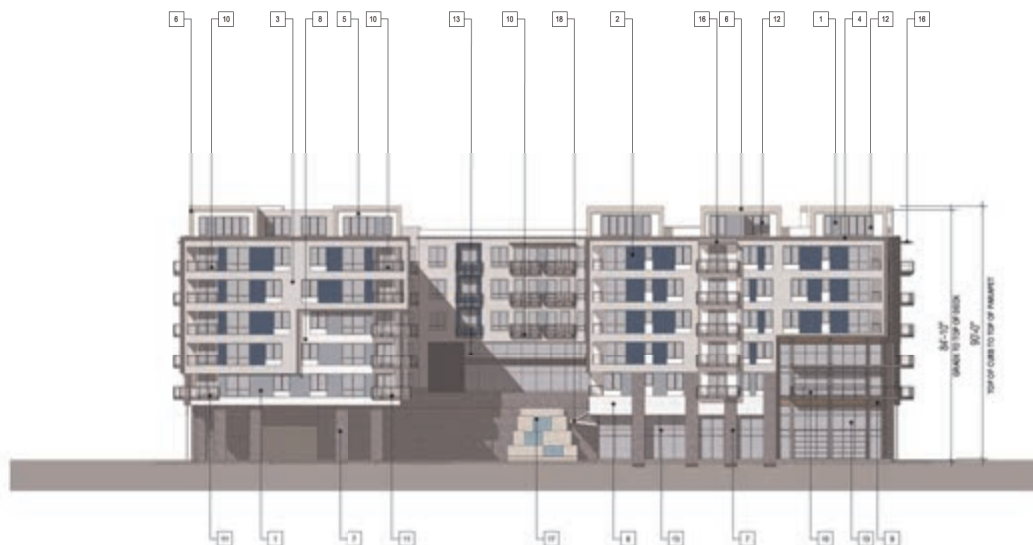
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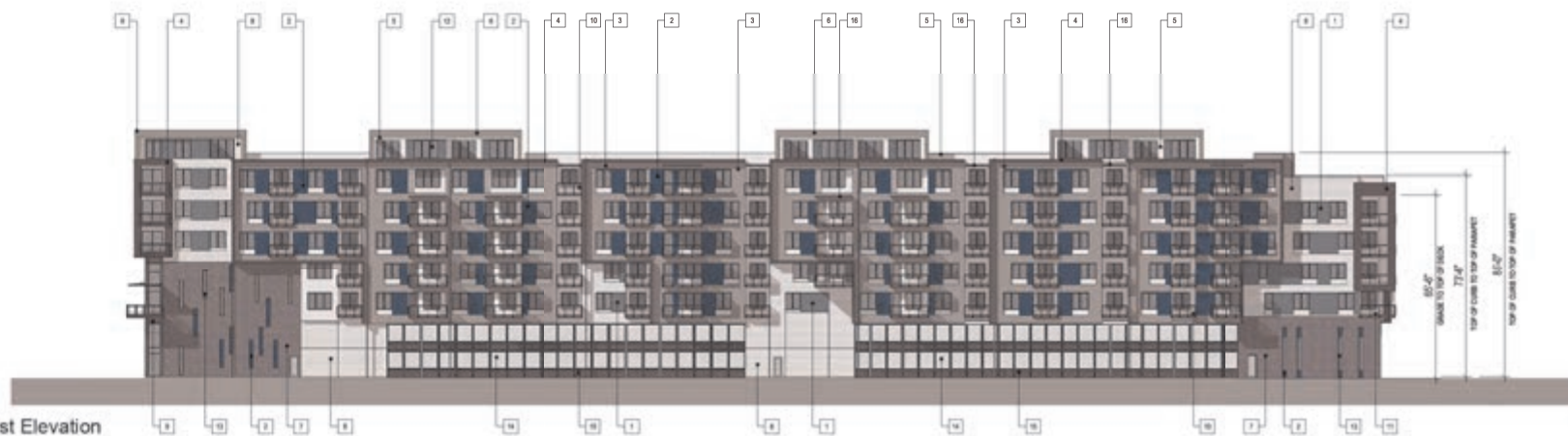
Key Map N.T.S.

EXHIBITION SCHEDULE

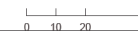
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|----|--------------------------------|---|
| 1 | Stucco Finish 1 | Color: SW 8504 |
| 2 | Stucco Finish 1 | Color: SW 8504 |
| 3 | Stucco Finish 1 | Color: SW 7008 |
| 4 | Stucco Finish 1 | Color: SW 7008 |
| 5 | Stucco Finish 2 | Color: SW 7008 |
| 6 | Stucco Finish 2 | Color: SW 7008 |
| 7 | Brick Masonry | Brick: "Tennessee Brick", size 2 1/2" x 10 1/2" |
| 8 | Metal Cladding | Aluminum White Metal Panel |
| 9 | Wood Siding/Trim | Grey stain |
| 10 | Metal Siding/Trim | Weathered Silver Metal |
| 11 | Metal Siding/Trim 2 | Perforated Metal Panel |
| 12 | Unit Window | Clear Anodized Aluminum Finish |
| 13 | Storefront Window | Clear Anodized Aluminum Finish |
| 14 | Open Garage Screening | Weathered Silver Metal |
| 15 | Closed Garage Screening | Fiber Cement Panel - Color: SW 7008 |
| 16 | Metal Siding/Trim | |
| 17 | Water Feature (w/ Landscaping) | |
| 18 | Metal Canopy | |
| 19 | Not used this sheet | |



1. North Elevation (Rio Salado Parkway Elevation)



2. West Elevation



CRESCENT RIO

RIO SALADO PKWY
 TEMPE, AZ 85281



Drawing Name
ELEVATIONS

PAD Submittal November 20, 2015

A2.00



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Project Name



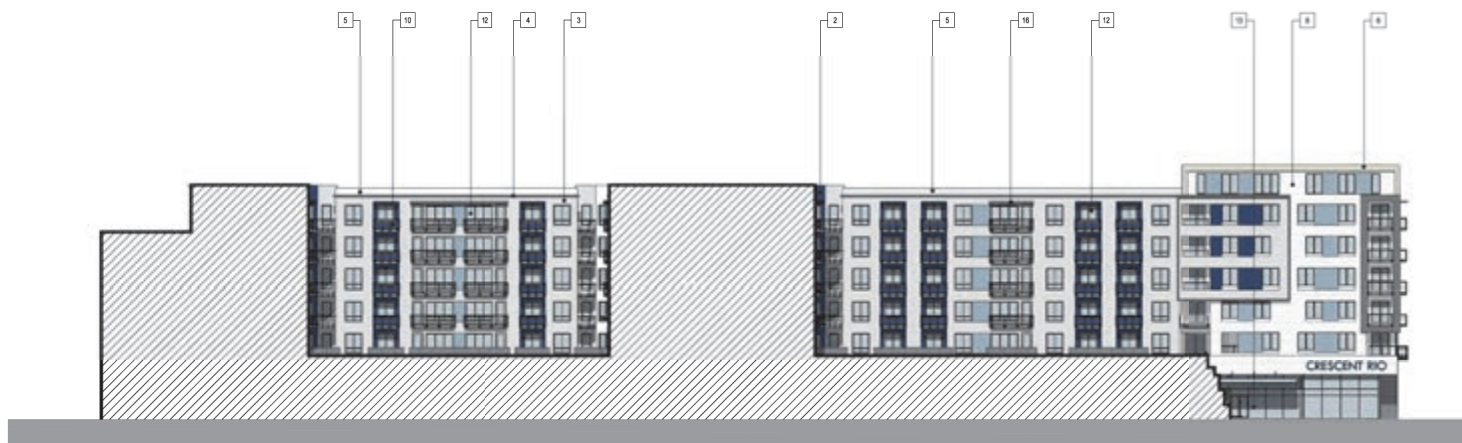
Key Map N.T.S.

ELEVATION KEYNOTES

- | | | |
|----|---------------------|---|
| 1 | Stucco Finish 1 | Color: SW 6524 |
| 2 | Stucco Finish 1 | Color: SW 6524 |
| 3 | Stucco Finish 1 | Color: SW 3088 |
| 4 | Stucco Finish 1 | Color: SW 3088 |
| 5 | Stucco Finish 2 | Color: SW 3028 |
| 6 | Stucco Finish 2 | Color: SW 3080 |
| 7 | Brick Masonry | Brick "Sienna Blend", size 1 1/2" x 13 1/2" |
| 8 | Metal Cladding | Ribbed White Metal Panel |
| 9 | Not used this sheet | |
| 10 | Metal Guardrail 1 | Welded Wire Mesh |
| 11 | Not used this sheet | |
| 12 | Unit Window | Clear Anodized Aluminum Finish |
| 13 | Storefront Window | Clear Anodized Aluminum Finish |
| 14 | Not used this sheet | |
| 15 | Not used this sheet | |
| 16 | Metal Sunshade | |
| 17 | Not used this sheet | |
| 18 | Not used this sheet | |
| 19 | Not used this sheet | |



1. West Interior Elevation (Courtyard Elevation)



2. East Interior Elevation (Courtyard Elevation)

CRESCENT RIO

RIO SALADO PKWY
 TEMPE, AZ 85281

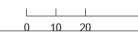


Drawing Name

ELEVATIONS

PAD Submittal November 20, 2015

A2.02





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KTGY Project No: 20150390

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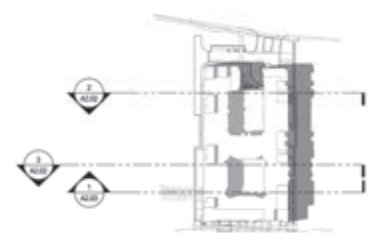
Principal: David Sinden
 Project Designer: Hedges Gonzalez

Developer

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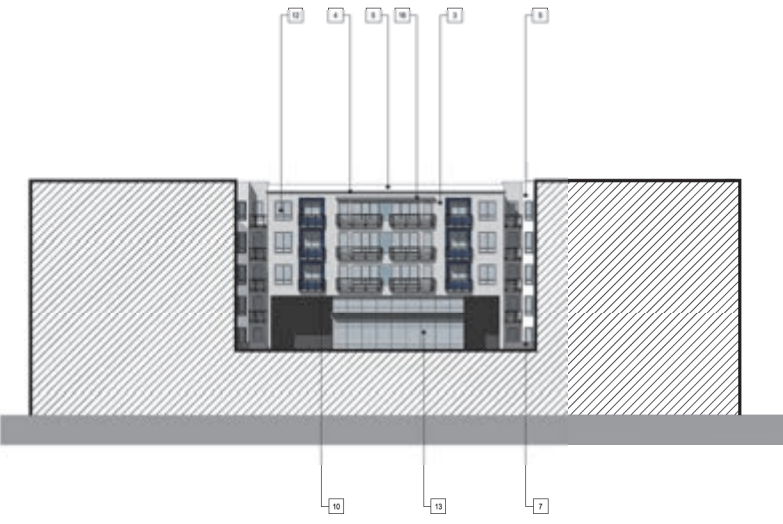
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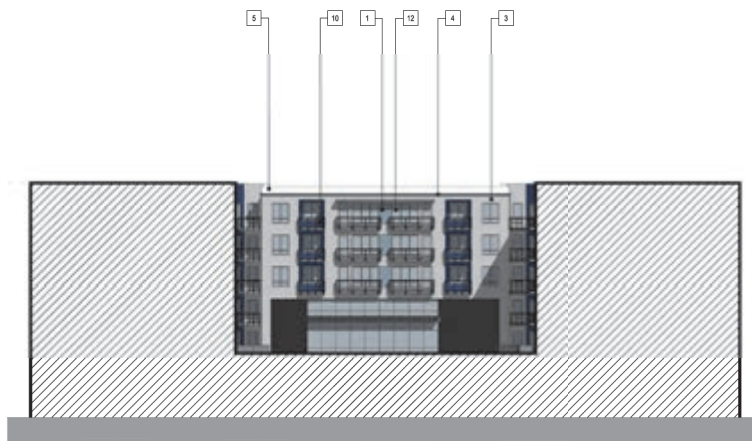
Key Map N.T.S.

ELEVATION KEYNOTES

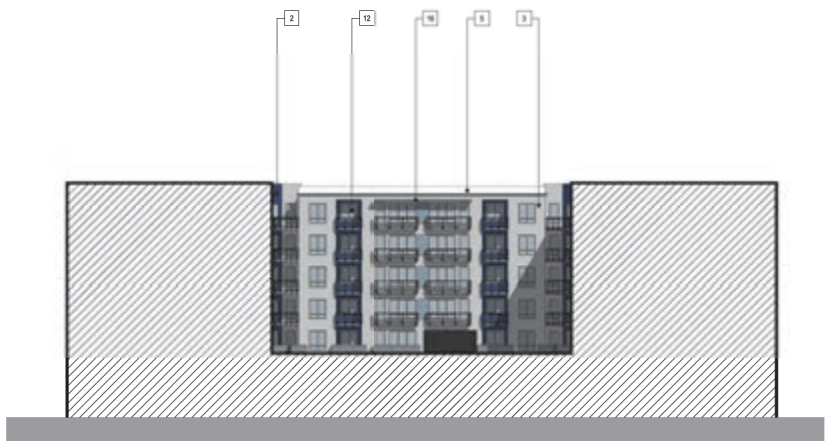
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2	Stucco Finish 1	Color: SW 6528
3	Stucco Finish 1	Color: SW 7058
4	Stucco Finish 1	Color: SW 7068
5	Stucco Finish 2	Color: SW 7058
6	Not used this sheet	
7	Brick Masonry	Belden "Danna Blend", size 3 5/8" x 10 5/8"
8	Not used this sheet	
9	Not used this sheet	
10	Metal Guardrail 1	Welded Wire Mesh
11	Not used this sheet	
12	Unit Window	Clear Anodized Aluminum Finish
13	Storefront Window	Clear Anodized Aluminum Finish
14	Not used this sheet	
15	Not used this sheet	
16	Metal Sunshade	
17	Not used this sheet	
18	Not used this sheet	
19	Not used this sheet	



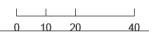
1. South Interior Elevation (Courtyard Elevation)



2. North Interior Elevation 1 (Courtyard Elevation)



3. North Interior Elevation 2 (Courtyard Elevation)



CRESCENT RIO
 RIO SALADO PKWY
 TEMPE, AZ 85281



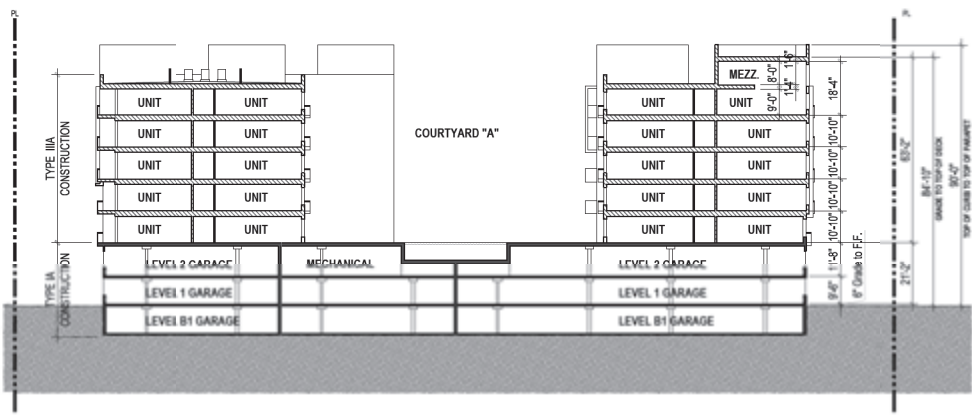
Drawing Name
 ELEVATIONS

PAD Submittal November 20, 2015

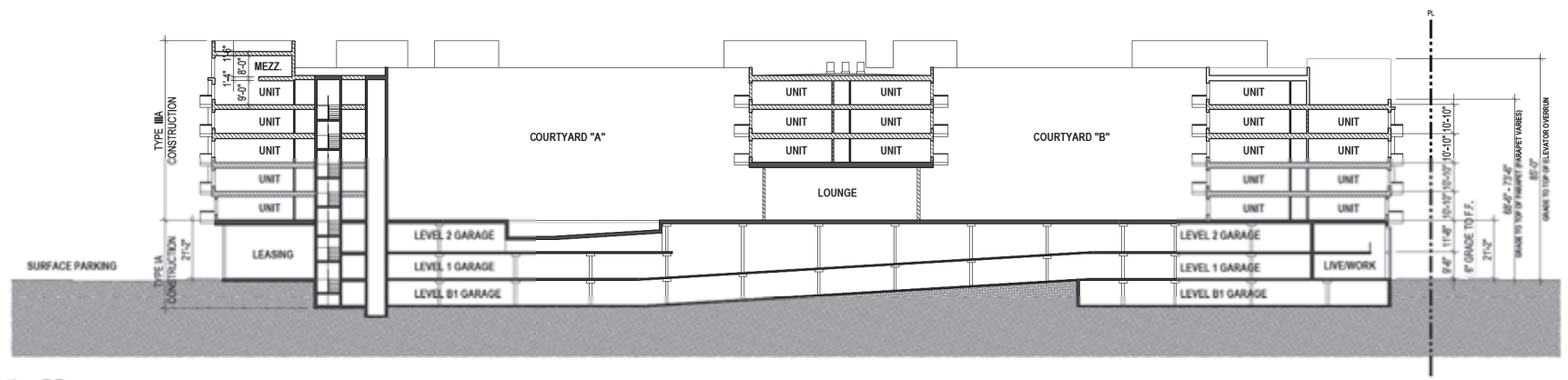
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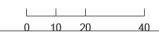
Key Map N.T.S.



Section AA



Section BB



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Project Name

CRESCENT RIO
 RIO SALADO PKWY
 TEMPE, AZ 85281



Drawing Name

BUILDING SECTIONS

PAD Submittal November 20, 2015

A3.00

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE CITY REPRESENTATIVE IMMEDIATELY.
2. IN THE EVENT THAT POTTED TREES NEED TO BE REMOVED IN ORDER TO PROVIDE ACCESS FOR UTILITY MAINTENANCE, REPLACEMENT OF SUCH TREES SHALL BE AT THE DEVELOPER'S EXPENSE.
3. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE PROJECT REPRESENTATIVE, PRIOR TO INSTALLATION.
4. MAINTENANCE: ALL LANDSCAPING AND IRRIGATION SYSTEMS SHALL BE MAINTAINED TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING.
5. ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER.
6. THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. PLANT SIZE, LOCATION AND SPACING:
 - 7.A. TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING OR SITE OR OFFSITE UTILITY SERVICES, LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY.
 - 7.B. ALL SHRUBS AND GROUND COVERS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
8. PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES, EXISTING PRESERVED VEGETATION, AND OTHER FIELD CONDITIONS. CONTACT THE PROJECT REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
9. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE PROJECT REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
10. THE CONTRACTOR SHALL WARRANT THE PLANT MATERIAL, IRRIGATION SYSTEM AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR.
11. IN THE EVENT OF ANY DISPUTE BETWEEN THESE PLANS AND THE STANDARD SPECIFICATION, THE STANDARD SPECIFICATION SHALL PREVAIL.
12. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
13. IT IS THE OWNER'S RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA, MUST PROVIDE A WINDOW OF VISIBILITY FROM 30' TO 70' ABOVE GRADES.
14. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
15. REMOVE ALL EXISTING LANDSCAPE WITHIN THE LANDSCAPE LIMITS SHOWN ON LANDSCAPE PLAN, WITH THE EXCEPTION OF PLANTS IDENTIFIED AS PROTECT IN PLACE OR AS DIRECTED BY THE OWNERS REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT. COORDINATE A SITE VISIT PRIOR TO DEMOLITION.
16. LANDSCAPE UPRIGHTS WILL BE LOCATED AT SPECIMEN TREES.
17. LANDSCAPE ARCHITECT TO SELECT AND TAG TREES PRIOR TO INSTALLATION.

CITY OF TEMPE LANDSCAPE NOTES

1. ANY REBAR ROCK MATERIAL MUST BE EMBEDDED IN CONCRETE TO A DEPTH OF TWO-THIRDS (2/3) THE DIMENSION OF THE ROCKS PRIOR TO ITS REMOVAL OR RELOCATION.
2. ALL TREES SHALL BE A MINIMUM OF ONE AND ONE-HALF (1 1/2) INCH CALIPER AND SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STANDARD TREE PLANTING DETAIL.
3. STREET TREES ARE REQUIRED ALONG ALL STREET FRONTAGES, PUBLIC AND PRIVATE, AND A MINIMUM OF ONE (1) TREE SHALL BE PROVIDED FOR EVERY FIFTY (50) FEET OF LINEAR STREET FRONTAGE. TREE LOCATION AND SPACING SHALL BE ESTABLISHED THROUGH DEVELOPMENT PLAN REVIEW.
4. PARKING LOTS SHALL HAVE LANDSCAPE TREATMENTS THAT PROVIDE SHADE AND ALLOW FOR NATURAL SURVEILLANCE.
5. EACH LANDSCAPE ISLAND SHALL INCLUDE, AT THE TIME OF INSTALLATION, A MINIMUM OF ONE (1) TREE WITH A MINIMUM CALIPER OF ONE AND ONE-HALF (1 1/2) INCHES AND FIVE (5) GROUND COVERS OF ONE (1) GALLON SIZE FOR EACH PARKING SPACE LENGTH. ALL WOOD COVERS IN PARKING LOT LANDSCAPE ISLANDS SHALL NOT EXCEED TWO (2) FEET IN HEIGHT.
6. TREE TRUNKS SHALL NOT BE PLACED CLOSER THAN TWENTY (20) FEET, MEASURED HORIZONTALLY, FROM A LIGHT SOURCE. TREES AND LIGHTING SHALL BE LOCATED TO AVOID CONFLICTS WITH ONE ANOTHER AND TO AVOID CONFLICTS WITH EXISTING AND PROPOSED STRUCTURES.
7. ALL LANDSCAPE AND WALLS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
8. ANY WALLS TO BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE DEVELOPMENT PLAN APPROVAL AND/OR PRIOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT, AND RECEIVE AN ENCROACHMENT PERMIT.
9. THE MINIMUM HEIGHT OF ANY FREESTANDING WALL OR FENCE SHALL BE MEASURED FROM THE HIGHEST ADJACENT FINISHED SURFACE OF THE GROUND, PAVING, OR SIDEWALK WITHIN TWENTY (20) FEET UNLESS OTHERWISE NOTED.
10. INCLUDE REQUIREMENT TO DE-COMPACT SOIL IN PLANTING AREAS ON SITE AND IN PUBLIC RIGHT OF WAY AND REMOVE CONSTRUCTION DEBRIS FROM PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.

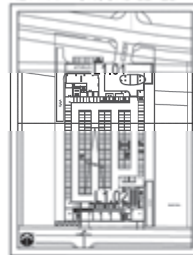
SHEET INDEX

SHEET #	DESCRIPTION	STATUS: REVIEWED FOR AND SUBMITTED
L1.00	LANDSCAPE COVER	X
L1.01	LANDSCAPE PLAN	X
L1.02	LANDSCAPE PLAN	X
L2.01	LANDSCAPE DETAILS	X
L2.02	LANDSCAPE DETAILS	X
L3.01	ILLUSTRATIVE LANDSCAPE PLAN	X
L4.01	ILLUSTRATIVE STREET SECTION	X
L5.01	ILLUSTRATIVE ENTRY WATER FEATURE	X
L6.01	ILLUSTRATIVE STREET SECTION	X

VICINITY MAP



KEY MAP - GROUND LEVEL



PLANT SCHEDULE

SYM.	BOTANICAL NAME COMMON NAME	SIZE CALIPER	
TREES	<i>Chilopsis brevifolia</i> Desert Willow	3" BOX MULTI-MIN. 1.5" CALIPER	
	<i>Parthenocissis Desert Museum'</i> Desert Museum Palo Verde	4" BOX MULTI-MIN. 1.5" CALIPER	
	<i>Parthenocissis microphylla</i> Foothill Palo Verde	3" BOX MULTI-MIN. 1.5" CALIPER	
	<i>Phoenix dactyloides</i> Date Palm	1" CLEAR TRUNK	
	<i>Prosopis glandulosa</i> Honey Mesquite	4" BOX MULTI-MIN. 1.5" CALIPER	
	<i>Prosopis sp. 'Rio Salado'</i> Rio Salado Mesquite	4" BOX MULTI-MIN. 1.5" CALIPER	
	SHRUBS	<i>Artemisia tridentata</i> Frigid Sagebrush	5 GAL
		<i>Bougainvillea La Jolla</i> Bougainvillea Bush	15 GAL
		<i>Calliandra californica</i> Baja Fairy Duster	5 GAL
		<i>Cercidiphyllum latrobei</i> Winter Pal	5 GAL
<i>Encelia latuda</i> Turquoise Bush		5 GAL	
<i>Quercus brachyloba</i> Savato Tree		5 GAL	
<i>Jurinea arborescens</i> Mexican Honeycuculla		5 GAL	
<i>James Hillieria</i> Crescent Bush		5 GAL	
<i>Leucosiphon zeyherianum</i> Clematis (late winter)		5 GAL	
<i>Ruellia brittoniana</i> Aztec Ruellia		5 GAL	
ACCENTS	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
	<i>Ruellia brittoniana</i> Aztec Ruellia	15 GAL	
GROUND COVER	<i>Agave angustifolia</i> Smooth Agave	5 GAL	
	<i>Agave colostea</i> Mescal Centia	5 GAL	
	<i>Agave murphyi</i> Hillman Agave	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
GRASSES	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
	<i>Agave schottii</i> Amalillo	5 GAL	
TOPDRESS	Decomposed Granite Mix 80% 3/4" Minus 80% Desert Pavement. Color: Express Gold.	2" Depth Min.	
	Decomposed Granite 3/4" Minus, Color: Express Gold.	2" Depth Min.	
	BOULDERS	3" Boulder	By Aztec Boulders, Phone: 623.581.9111
		3" Boulder	
		3" Boulder	
		3" Boulder	
		3" Boulder	
		3" Boulder	
		3" Boulder	
		3" Boulder	



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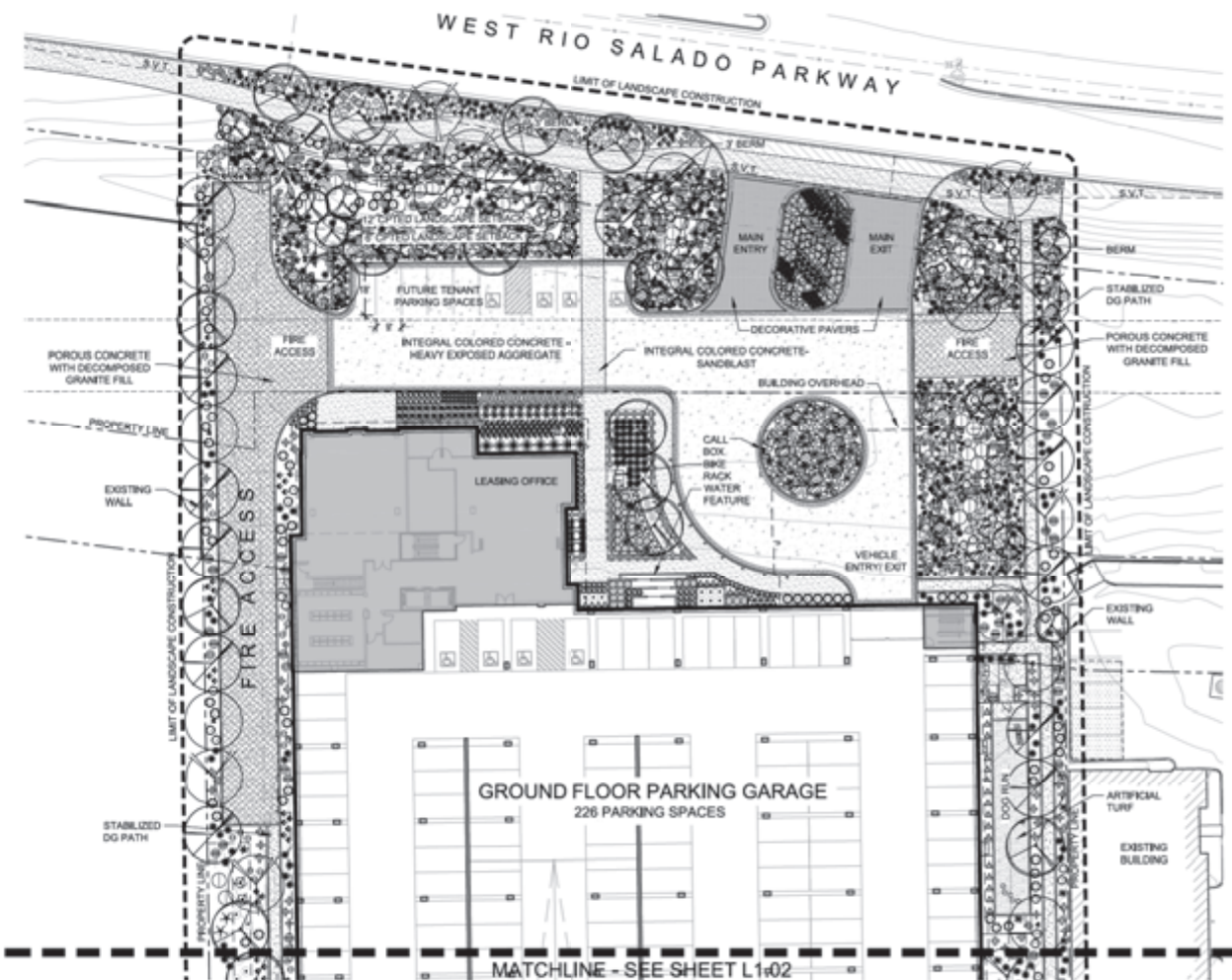
CRESCENT RIO
RIO SALADO PKWY
TEMPE, AZ 85281



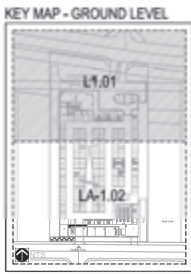
Drawing Name
COVER SHEET

November 20, 2015
L1.00





LANDSCAPE PLAN - GROUND LEVEL



PLANT SCHEDULE

SYM.	BOTANICAL NAME COMMON NAME	SIZE CALIPER
TREES		
⊗	Chrysalis Beards Desert Willow	30" BOX MULTI-MIN. 1.5" CALIPER
⊗	Palm Springs 'Desert Museum' Desert Museum Palo Verde	40" BOX MULTI-MIN. 1.5" CALIPER
⊗	Palm Springs Monographia Footfall Palo Verde	30" BOX MULTI-MIN. 1.5" CALIPER
⊗	Phoenix dactyloides Date Palm	18" CLEAR TRUNK
⊗	Prosopis glandulosa Honey Mesquite	40" BOX MULTI-MIN. 1.5" CALIPER
⊗	Prosopis sp. 'Rio Salado' Rio Salado Mesquite	40" BOX MULTI-MIN. 1.5" CALIPER
SHRUBS		
⊙	Artemisia tridentata Fringed Wormwood	5 GAL.
⊙	Bougainvillea 'La Jolla' Bougainvillea Bush	15 GAL.
⊙	Calliandra californica Baja Fairy Duster	5 GAL.
⊙	Ceanothus lewisii Winter Fat	5 GAL.
⊙	Echinacea laetida Turquoise Bush	5 GAL.
⊙	Gouera brachybotrys Sedona Pink	5 GAL.
⊙	Jacquinia spigularis Mexican Ironwood	5 GAL.
⊙	Larrea tridentata Creosote Bush	5 GAL.
⊙	Leucosiphon zygophyllum Chionox (Silver Sage)	5 GAL.
⊙	Ruellia brittaniana Katie Ruella	5 GAL.
⊙	Ruellia peruviana Baja Ruella	15 GAL.
⊙	Ruellia equisetifolia Firecracker Bush	15 GAL.
⊙	Thamnosium montana Lupulina Ironweed	5 GAL.
ACCENTS		
⊙	Agave angustifolia Smooth Agave	5 GAL.
⊙	Agave obovata Mexican Century	5 GAL.
⊙	Agave murphyi Hickman Agave	5 GAL.
⊙	Agave ocaali Anecho	5 GAL.
⊙	Agave lutescens Turkey Agave	1 GAL.
⊙	Agave schottlandii Club Agave	5 GAL.
⊙	Aloe barbadensis Barbados Aloe	5 GAL.
⊙	Aloe oppositifolia Soap Aloe	5 GAL.
⊙	Cassia wheeleri Desert Soap	5 GAL.
⊙	Euphorbia antisyriaca Candelabra	5 GAL.
⊙	Pedicularis macrocarpa Lark Silene	5 GAL.
⊙	Pennisetum setaceum Pink Pampas	5 GAL.
⊙	Pennisetum setaceum Panicum	5 GAL.
⊙	Turkey Turf Turkey Turf	5 GAL.
GROUND COVER		
⊙	Boleros multicaulis Desert Marigold	1 GAL.
⊙	Chrysanthemum mediana Dianthus	1 GAL.
⊙	Eragrostis fasciculata Panicum	5 GAL.
⊙	Eragrostis sparganii Night Buckwheat	5 GAL.
⊙	Lupinus termis New Gold	5 GAL.
⊙	Tetrasida acutifolia Angelita Daisy	5 GAL.
GRASSES		
⊙	Muhlenbergia dumosa Bardonia Mule	5 GAL.
⊙	Muhlenbergia sp. Deer Grass	5 GAL.
TOPDRESS		
⊙	Decomposed Granite 80% 80% 3/4" Minus 40% Desert Pavement, Color: Express Gold	2" Depth Min.
⊙	Decomposed Granite 3/4" Minus, Color: Express Gold	2" Depth Min.
BOULDERS		
⊙	3/4" Boulder	By Astec Boulders, Phone: 623.581.9111
⊙	30" Boulder	
⊙	40" Boulder	



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Drawing Name
LANDSCAPE PLAN

November 20, 2015

L1.01





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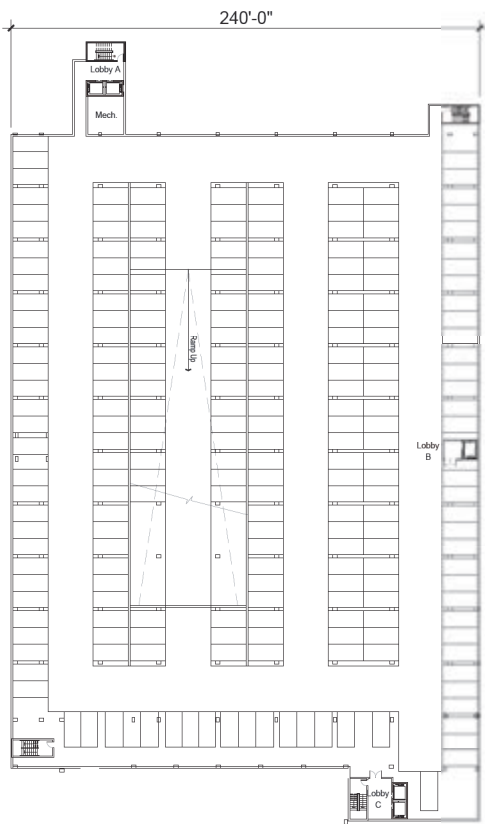
**ILLUSTRATIVE
 LANDSCAPE PLAN**

November 20, 2015

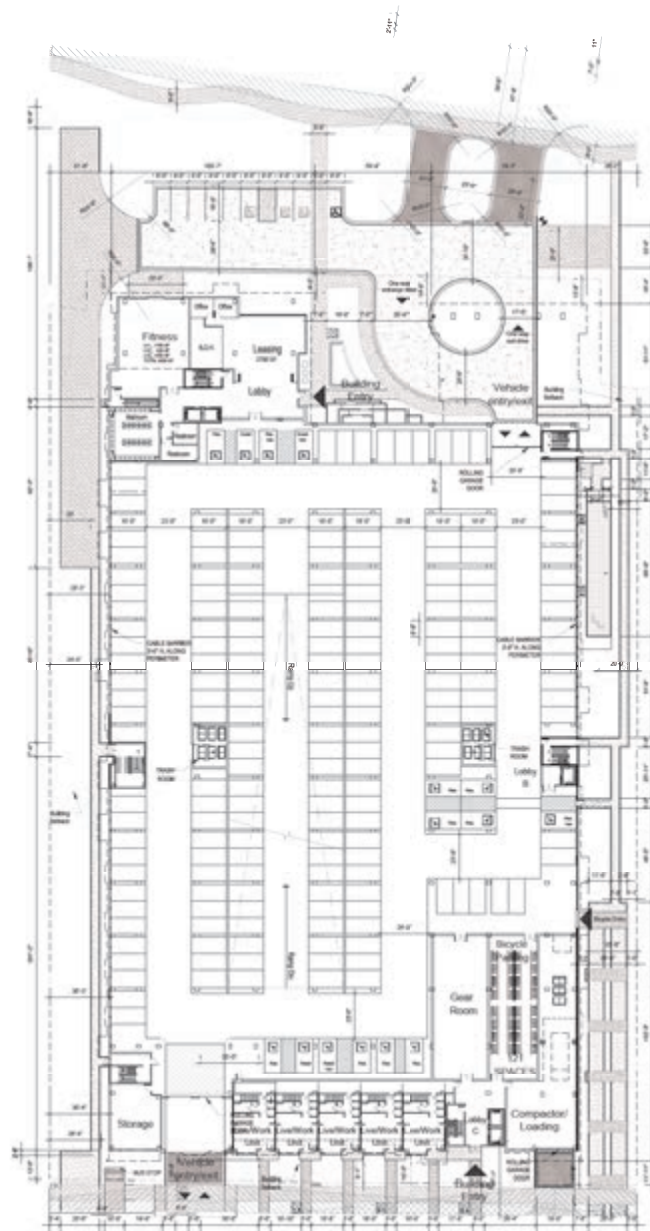
L3.01



NORRIS DESIGN
 Planning • Landscape Architecture
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SUB-TERRANEAN GARAGE



GROUND LEVEL



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Drawing Name

**FLOOR PLANS
 SUB-T GARAGE
 AND GROUND**

PA2 Submittal November 20, 2015

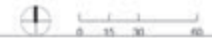
A4.00



LEVEL 2



LEVEL 3 - COURTYARD LEVEL



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Drawing Name

**FLOOR PLANS
 LEVEL 2 AND
 LEVEL 3**

PA0 Submittal November 20, 2015

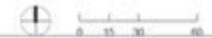
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LEVEL 4



LEVELS 5-6



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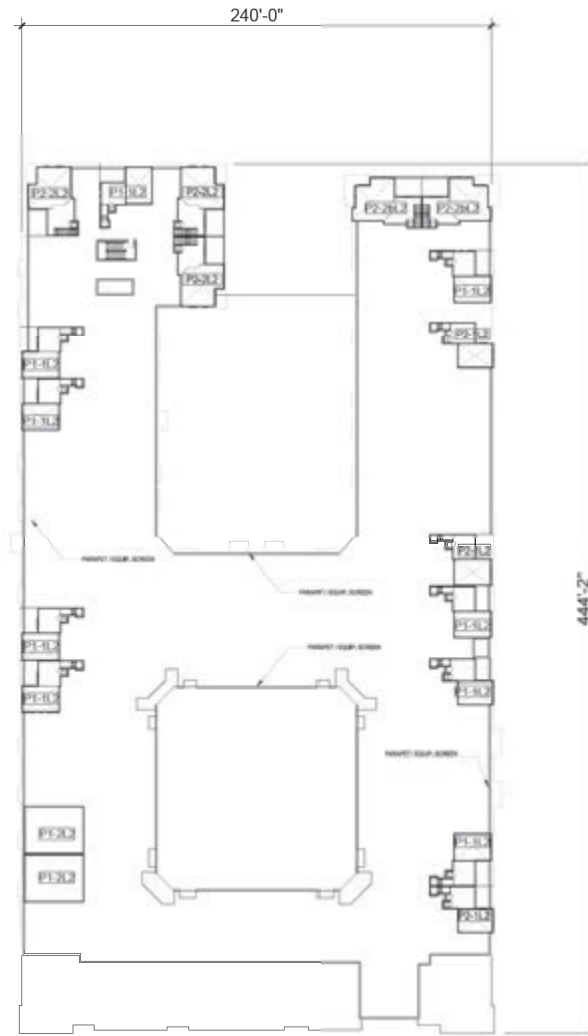
**FLOOR PLANS
 LEVELS 4-5-6**

PAD Submittal November 20, 2015

A4.02



LEVEL 7



LEVEL 8 - ROOF PLAN / MEZZANINE PLAN



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Drawing Name

**FLOOR PLANS
 LEVELS 7-8**

PA2 Submittal November 20, 2015

A4.03



PLAN 0-1
STUDIO / 1 BATHROOM
543 SF



PLAN 1-4
1 BEDROOM / 1 BATHROOM
647 SF

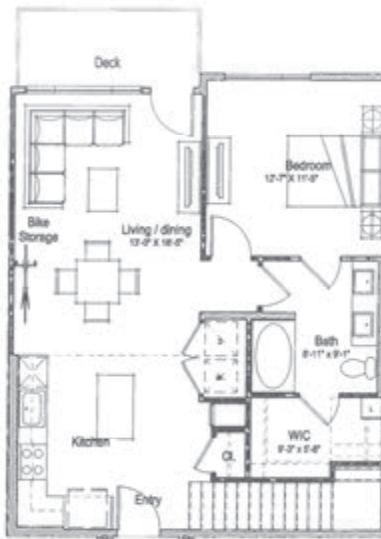


PLAN 1-2
1 BEDROOM / 1 BATHROOM
712 SF

Unit Type	Description	Unit Area (SF)	Total Units
Plan 0-1	Studio	543	56
Plan 1-1	1 bd/1 ba Premium	849	52
Plan 1-1L	1 bd/1ba loft	1015	9
Plan 1-2	1 bd/1ba Econ.	712	95
Plan 1-2L	1 bd/1ba loft	750	2
Plan 1-3	1 bd/1 ba Int. Corner	734	20
Plan 1-4	1 bd/1ba Junior	647	19
Plan 1-TH	1 bd/1ba TH	1106	5
Plan 2-3	2 bd/2ba	1133	43
Plan 2-1L	2 bd/2ba Loft	1320	3
Plan 2-2	2 bd/2ba Corner	1252	25
Plan 2-2L	2 bd/2ba Loft	1449	5
Plan 2-3	2 bd/2ba Int. Corner	1301	20
Total			356



PLAN 1-1
1 BEDROOM / 1 BATHROOM
849 SF



PLAN 1-1 LOFT - Lower level
1 BEDROOM / 1 BATHROOM / 1 STUDY
841 SF + 174 SF = 1015 SF



PLAN 1-1 LOFT - Upper level
1 BEDROOM / 1 BATHROOM / 1 STUDY
841 SF + 174 SF = 1015 SF



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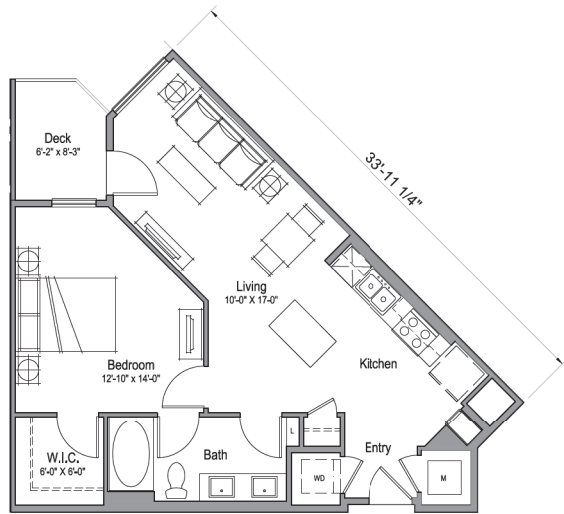
RIO SALADO PKWY
TEMPE, AZ 85281



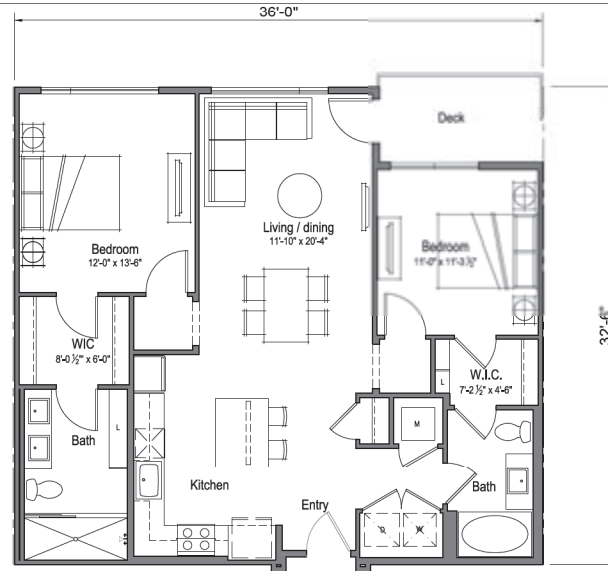
Drawing Name
UNIT PLANS

PAID Submittal November 20, 2015

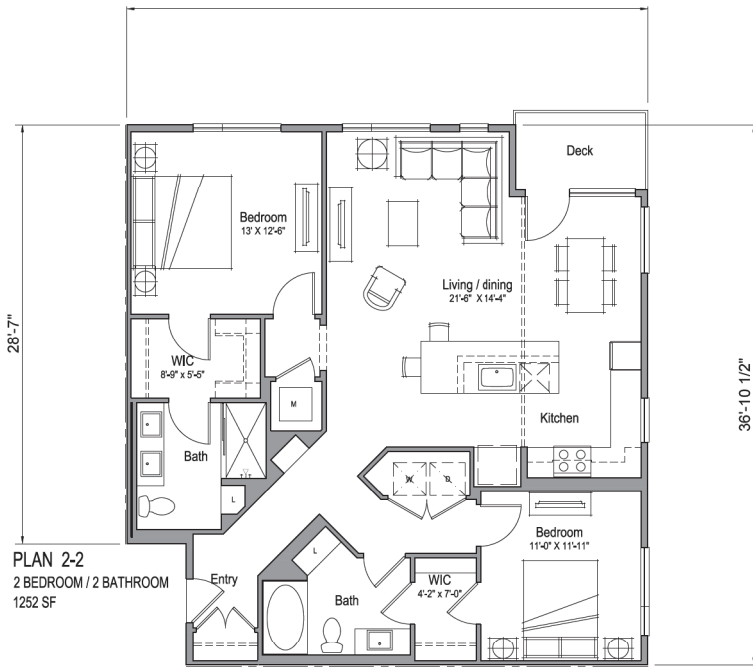
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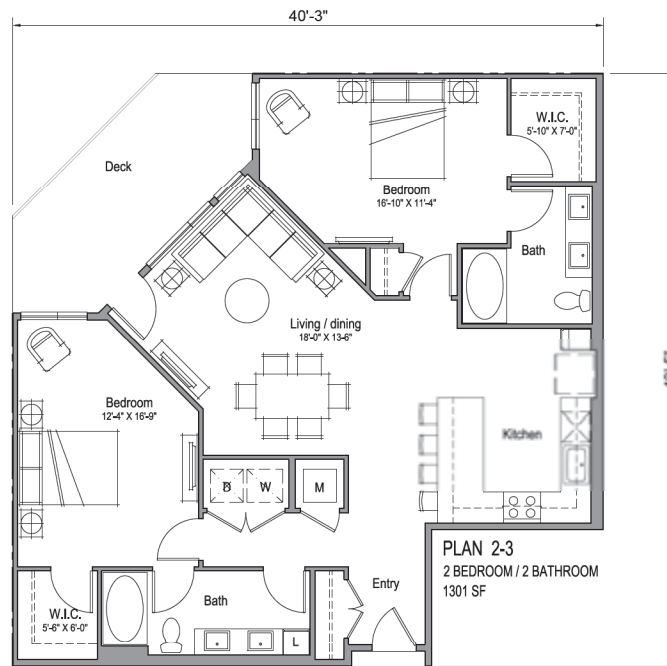
PLAN 1-3
1 BEDROOM / 1 BATHROOM
/14 SF



PLAN 2-1
2 BEDROOM / 2 BATHROOM
1113 SF



PLAN 2-2
2 BEDROOM / 2 BATHROOM
1252 SF



PLAN 2-3
2 BEDROOM / 2 BATHROOM
1301 SF



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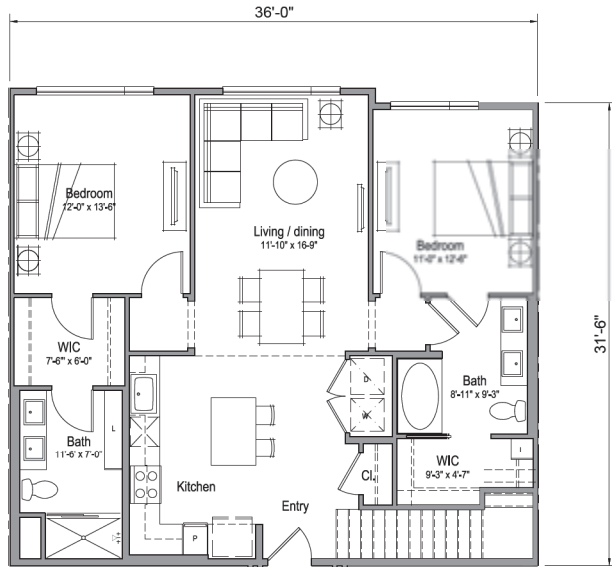


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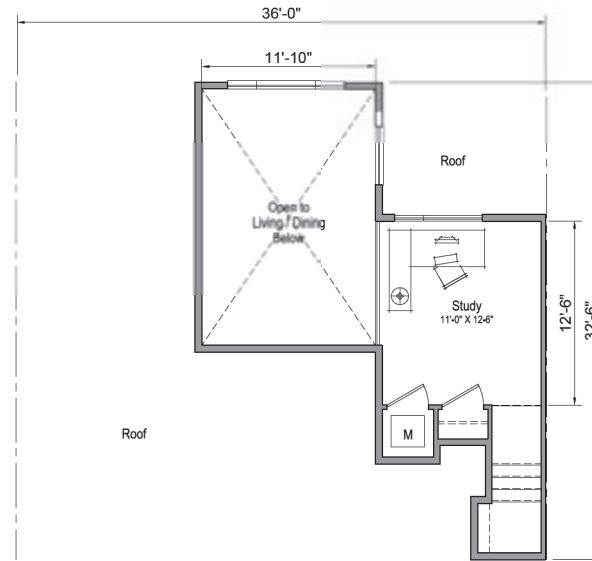
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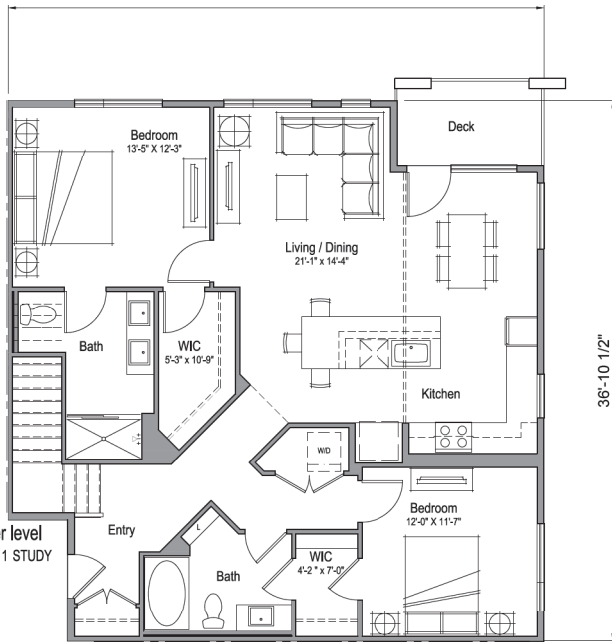
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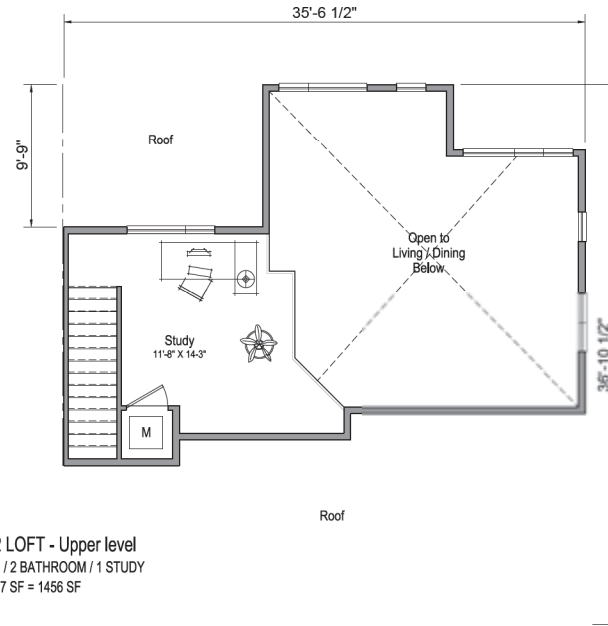
PLAN 2-1 LOFT - Lower level
 2 BEDROOM / 2 BATHROOM / 1 STUDY
 1134 SF + 186 SF = 1320 SF



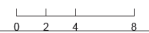
PLAN 2-1 LOFT - Upper level
 2 BEDROOM / 2 BATHROOM / 1 STUDY
 1134 SF + 186 SF = 1320 SF



PLAN 2-2 LOFT - Lower level
 2 BEDROOM / 2 BATHROOM / 1 STUDY
 1249 SF + 200 SF = 1449 SF



PLAN 2-2 LOFT - Upper level
 2 BEDROOM / 2 BATHROOM / 1 STUDY
 1249 SF + 207 SF = 1456 SF



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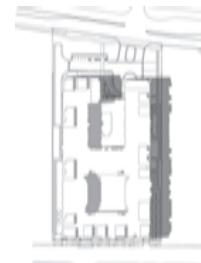
Drawing Name

UNIT PLANS

PAD Submittal November 20, 2015

A5.03

1st Street perspective from the 11/12/15 DRC Staff Report, updated perspective is the next attachment.



Key Map N.T.S.



KTGY Group, Inc.
17922 Fitch
Irvine, California 92614
ktgy.com
949 851 2133

KTGY Project No: 20150390

Project Contact: Mark Oberholzer
Email: moberholzer@ktgy.com

Principal: David Senden
Project Designer: Hector Gonzalez

Developer

Crescent Communities

6400 S Fiddlers Green Circle,
Suite 1600
Greenwood Village, CO 80111
720.360.3685
crescentcommunities.com

Project Name

CRESCENT RIO

RIO SALADO PKWY
TEMPE, AZ 85281



Drawing Name

PERSPECTIVES

PAD Submittal October 21, 2015

A6.01

1. View from First Street



Key Map N.T.S.



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Drawing Name

PERSPECTIVES

PAD Submittal November 20, 2015

A6.01

1. View from First Street



1. Perspective View from Rio Salado Parkway



Key Map N.T.S.



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Drawing Name

PERSPECTIVE

PAD Submittal November 20, 2015

A6.00



EXISTING STREET

5'-0" TURF

8'-0" SIDEWALK

12'-0" LANDSCAPE AREA/
BENCH BIKE RACK

① 1ST STREET SECTION

SCALE: 1"=5'



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TEMPE, AZ 85281



Drawing Name

**ILLUSTRATIVE
STREET SECTION**

November 20, 2015

L6.01





1. East perspective



2. Leasing lobby entry



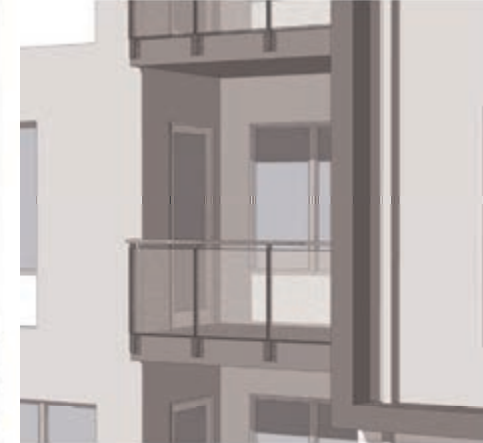
Key Map N.T.S.



3. View of live/work units from First Street



4. Fitness view from Rio Salado



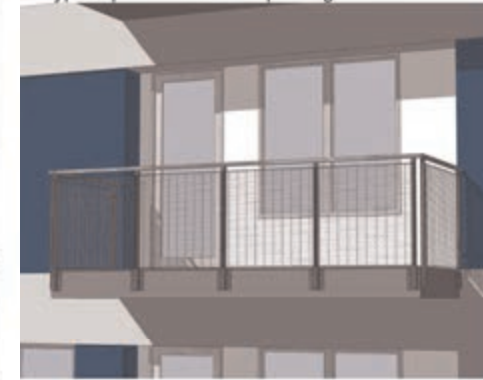
5. Typical perforated metal panel guardrail



6. West perspective



7. Loading door view from First Street



8. Typical mesh metal panel guardrail



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Project Name

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 RIO SALADO PKWY
 TEMPE, AZ 85281



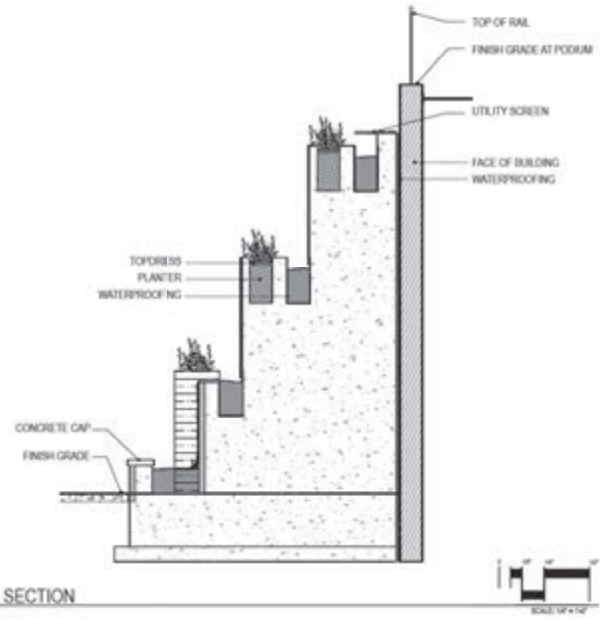
Drawing Name
PERSPECTIVES

PAD Submittal November 20, 2015

A6.02



① WATER FEATURE ELEVATION



② WATER FEATURE SECTION



KTGY Group, Inc.
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RIO SALADO PKWY
TEMPE, AZ 85281



Drawing Name

**ILLUSTRATIVE
ENTRY WATER
FEATURE**

November 20, 2015

L5.01





1 RIO SALADO PARKWAY AND PARKING LOT SECTION

SCALE: 1/4\"/>



INTEGRAL COLORED CONCRETE
FINISH: HEAVY EXPOSED AGGREGATE



INTEGRAL COLORED CONCRETE
FINISH: MEDIUM EXPOSED AGGREGATE



INTEGRAL COLORED CONCRETE
FINISH: SANDBLAST



POROUS CONCRETE
DECOMPOSED GRANITE FILL



DECORATIVE PAVERS



LINEAR PAVERS



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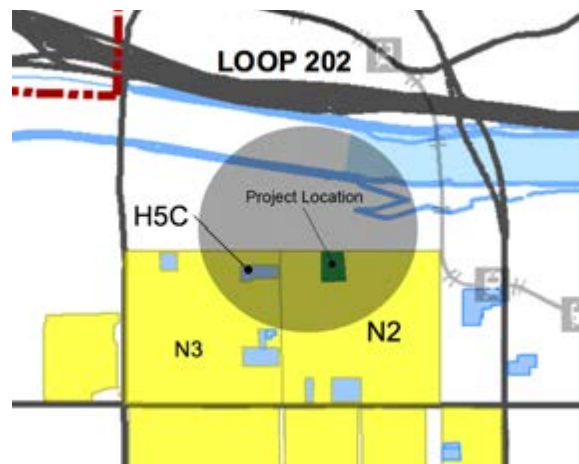
ILLUSTRATIVE
STREET SECTION

November 20, 2015

L4.01

FINAL REPORT

Huellmantel & Affiliates mailed out the neighborhood notification letters on Saturday, September 12, 2015. Dynamite Signs posted the notification sign on Friday, September 11, 2015. The letters were mailed out to the property owners within 600 feet of the proposed project as well as the four neighborhood representatives of the three registered neighborhood associations – Hacienda del Rio, Riverside and Sunset – within ¼ mile of the proposed site. The registered Homeowners Associations and Neighborhood Associations were determined from the July 2014 City of Tempe Neighborhood Directory, sent to Huellmantel & Affiliates by planners Ryan Levesque and Larry Tom as indicated below:



On Monday, September 28, 2015, the neighborhood meeting for Crescent Rio occurred as scheduled at Hatton Hall in downtown Tempe. The neighborhood meeting was held in an open house style format to accommodate the various arrival times of neighbors. Huellmantel & Affiliates representatives as well as Scott Makee from Crescent Communities arrived at 4:45 p.m., approximately 45 minutes prior to the official start of the meeting time to set up presentation boards at various stations within the building. The open house-style format allows each person to receive personalized attention and have individual questions answered as opposed to starting a formal presentation at a specified time.

Only two members of the public attended (in addition to Obenia Kingsby II and Suparna Dasgupt from the City of Tempe), both to support the project. Bob Kawa, a longtime Tempe resident arrived first. Nate Stum from Lennar Multifamily Communities arrived later. Lennar owns and operates the SkyWater mixed-use project directly to the east of the project. Both attendees expressed strong support of the project and commented on the impressive aesthetics of the design. No other members of the public attended and the meeting concluded at 6:15 p.m. Representatives from Huellmantel & Affiliates remained at Hatton Hall until approximately 6:30 p.m.

NEIGHBORHOOD MEETING SIGN IN SHEET

EXECUTIVE SUMMARY

This report documents a traffic impact study prepared for the proposed Crescent Rio Salado residential development on 1st Street, east of Hardy Drive in Tempe, Arizona. The north side of the site fronts Rio Salado Parkway. Crescent Rio will redevelop three parcels at 700, 810, and 812 West 1st Street. Access to the development will be via Rio Salado Parkway and 1st Street.

CivTech Inc. has been retained to complete a traffic impact study for the proposed development during the planning process.

The purpose of this study is to address traffic and transportation impacts of the proposed development on the surrounding streets and intersections. This was prepared to standard criteria set forth by the City of Tempe in their *Guide for the preparation of Transportation Impact Studies, updated 05/2014*. The specific objectives of the study are:

1. Evaluate lane requirements on all existing roadways and at all existing intersections within the study area.
2. Determine future level of service for all proposed major intersections within the study area and recommend any capacity related improvements.
3. Determine necessary lane configurations at all major intersections within the proposed development to provide acceptable future levels of service.
4. Evaluate the need for future traffic control changes within the proposed study area.
5. Evaluate the need for auxiliary lanes at stop and signal controlled intersections.

The proposed Crescent Rio Salado is proposed as a multi-story, multi-family building with 363 units. This study evaluates three (3) horizon years, the existing year (2015), the build-out year (2017) and the build-out year plus 5 years (2022). For purposes of this study, it was assumed that full build-out of the proposed development will occur in 2017.

The following conclusions and recommendations have been documented in this study:

- The proposed Crescent Rio Salado development is anticipated to generate 2,050 external daily trips with 158 trips occurring during the AM peak hour and 192 trips occurring during the PM peak hour. Due to the availability of alternate modes of transportation and the site's close proximity to downtown Tempe and ASU, a fifteen (15) percent reduction was applied to account for non-vehicle modes of transportation.
- All existing study intersections experience an acceptable level of service (LOS D or better) with existing traffic volumes and the existing lane configuration and stop controls as depicted in **Figure 2**.
- In horizon years 2017 and 2022, all study intersections are expected to operate at acceptable levels of service (LOS D or better) with full build-out of the proposed

development and the existing lane configurations and stop control. Based on this analysis, no mitigation measures are recommended off-site.

- Access A on Rio Salado Parkway is proposed to align with an existing driveway that serves an industry and the Tempe Center of the Arts. A full median opening already exists at this location, and the intersection will be controlled by two-way stop with the driveways stopping for Rio Salado Parkway. The median needs to be modified to provide for a westbound left-turn lane for vehicles turning into Access A. The recommended minimum storage length for this left-turn lane is 75 feet.
- Access B on 1st Street is proposed as a full access driveway controlled by a stop sign with the driveway stopping for 1st Street. The parcel being redeveloped has an existing driveway at this location.
- The posted speed limit on 1st Street and Rio Salado Parkway in the vicinity of the site is 35 mph. The eastbound right-turn volume on Rio Salado Parkway into the site is anticipated to be 9 vph in the AM peak hour and 37 vph in the PM peak hour. The westbound right-turn volume on 1st Street into the site is anticipated to be 4 vph in the AM peak hour and 17 vph in the PM peak hour. The anticipated site traffic does not warrant an eastbound right-turn deceleration lane at Access A on Rio Salado Parkway nor does it warrant a westbound right-turn deceleration lane at Access B on 1st Street.
- The driveways should be designed per the City of Tempe's Detail T-320.



City Of Phoenix
Water Services Department
Water Resources & Development Planning Division
Infrastructure Record Services Section

September 15, 2015

Obenia Kingsby
City of Tempe, Community Development Department
31 E. 5th Street Tempe, AZ 85281

RE: 72-Inch Transmission Main – (Crescent Rio) – QS# 8-42

Dear Mr. Kingsby,

There is a 25-foot City of Phoenix Water Easement with a 72-Inch Transmission Water Main that is located within the construction area of the Crescent Rio (700 W. 1st Street Tempe, AZ) Development. The line is sensitive and critical to the majority of water delivered to the City Of Phoenix. The following are a list of requirements for digging near/around our pipe.


- Show the vertical and horizontal locations of the water main within the easement on the development plan. A copy of asbuilts with proper security clearance can be requested from:
City of Phoenix, Water Services Department
200 West Washington Street, 8th Floor
Phoenix, AZ 85003
- Show proposed final grade over the waterline and identify any cuts or fill to the existing soil.
- The entire Water Easement must have 24-hour maintenance access subject to the following standard stipulations:
 1. No structure of any kind shall be constructed or placed within the easement except wood or wire fencing and/or paving. No planting except grass and/or approved ground cover shall be placed within the easement.
 2. It shall be further understood that the City of Phoenix shall not be required to replace any obstructions, paving or planting that must be removed during the course of required maintenance, construction and/or reconstruction.
- To avoid placing additional burden on the pipe, no heavy construction equipment or material staging will be allowed within Water Easement
- A shoring plan must be reviewed for any underground structures
- Buildings, building slabs or structures proposed outside of the easement but parallel to a water main within 12 feet, shall be required to submit structural and soil calculations signed and sealed by an Arizona Registered Professional Engineer. This report shall verify integrity of the proposed structure under the condition of a water main failure.

- An emergency response document is required and will be prepared for the purpose of defining a protocol in the event of a water main failure. The notification protocol will be discussed at the scheduled preconstruction meeting by your contractor.
- Provide the development construction schedule. A contact person will be designated at the pre-construction meeting to assist in the coordination.
- Provide development asbuilts to the City of Phoenix Water Services Department.

City of Phoenix, Water Services Department
200 West Washington Street, 8th Floor
Phoenix, AZ 85003

If you have any questions regarding these requirements, please call me at 602-256-4296.

Sincerely,



Ariene Torres Guevara
Water Services Department
Infrastructure Record Services

cc: Aimee D. Conroy, PE
Mario L. Brown, PE
Nazario Prieto, PE

From: [DeArrastia, Kara](#)
To: [Dasgupta, Suparna](#); [Adame, Sarah](#); [Aurora, Maja](#); [Roberts, Barbara](#)
Subject: FW: Development Committee Feedback
Date: Monday, November 16, 2015 10:45:04 AM

Good morning,

This email was sent to the City Clerk inbox.

Thank you,

*Kara DeArrastia, Executive Assistant
Tempe City Clerk's Office
Tempe City Hall
31 E. Fifth Street, Second Floor
Tempe, AZ 85281
Direct: (480) 350-8242
Main: (480) 350-8241
Fax: (480) 858-2012*

The Tempe City Clerk's Office promotes public trust in local government by providing objective, accurate and responsive administration of official City records, City Council proceedings, elections and board/commission program. Tempe creates outstanding value for those we serve through shared vision, superior service and sustainable practices.

From: [REDACTED]
Sent: Monday, November 16, 2015 10:15 AM
To: Clerk
Subject: Development Committee Feedback

Hello,

I doubt this message will make its way to the Development Review Committee or Arts Committee, but if you could please forward it as appropriate, I would appreciate it.

These are comments/concerns regarding the following projects:

PL150283 - Crescent Rio

PL150303 - Chase Centerpoint Garage Addition

Along with more general feedback spurred from review of the Arts Master Plan.

Thank you,

In reviewing staff comments regarding the recent Crescent Rio project review, I noticed several things that concerned me and think they point to some bigger problems the City has in terms of its planning process. In summary, I wish to address:

1. The inconsistencies in applying standards - official via zoning or the general plan, or unofficial via oft-stated goals and visions for areas of the city - to projects. For example, Southbank (1 and 6), more than a mile from downtown and in an area under-served by mass

transit, faced consistent opposition because of its lack of: height, architectural distinction, and mix of uses; however, SALT, AC Marriott, Hayden Ferry III, Jefferson Town Lake, and Hanover are examples of single-use, lowrise projects that are all within downtown or adjacent to the lake, and have similar - if not the same or more - design flaws. Why is a project at McClintock/Rio Salado held to such a higher standard than one on Mill/Rio Salado?

2. The inconsistencies in interpreting these standards. This is most evident in the flexibility given to the terms 'mixed use' and 'commercial space.' The appropriateness of these elements is a separate issue, but assuming that staff has determined 1st Street best serves its neighborhood with active commercial space, I find it unfortunate that 4 live/work units in Crescent Rio, or what is essentially a resident business center disguised as "co-working offices" at Broadstone Lakeside, seem to meet the same criteria as that of the original Argo (which had a dozen or so live/work space along 1st Street and commercial along Rio Salado). What constitutes commercial space and thus, defines a project as mixed use rather than residential, needs to be discussed, clarified, and applied.

3. The lack of a cohesive and comprehensive plan for Tempe - more specifically, downtown Tempe in relation to ASU, Town Lake, Tempe Streetcar, and surrounding neighborhoods. As a land-locked city, Tempe has been forced to become a model for smart urban growth in the Valley; however, that same logic is not being applied to the planning for what is a downtown that is extremely limited in growth by physical (lake, Butte), institutional (ASU), and economic (available land/redevelopment properties) barriers. Beyond vague statements like "connecting Mill to College," there is almost no actionable blueprint for how downtown should be approached to maximize its economic and cultural potential within the context of those barriers.

PLANNING NEEDED

All 3 issues are related to each other and combine to create major challenges to development in Tempe as it experiences growth throughout the city. I don't understand how projects can be judged when there are so many variables not taken into account.

a) ASU. ASU has had several, vastly different plans for large amounts of property in the form of USA Place and the Stadium District, for example, yet Tempe's official vision has never been updated to reflect the impacts of these projects. The amount of residential/retail/office/hotel space proposed in any of these developments greatly affects the demand for additional supply downtown, and there should be a focus on ensuring that the campus edges connect well into downtown. One example of a failure to do this is along Rio Salado. The Stadium District will bring a huge amount of activity centered on Rural Road, yet this activity will be largely exclusive from downtown due to the design of HFL, SALT, and Marriott AC.

b) Primary and Secondary Corridors. The fact that Hanover, with 0 ground-level activation, was approved for the heart of downtown and along 1 of the only connections between College and Farmer, while projects on 1st Street are being asked to incorporate retail, is concerning. Mill Ave - for example - is not the appropriate place for an office tower with nothing more than an expansive lobby. Other primary corridors need to be defined so that retail can be concentrated and successful without dead zones and other barriers. These streets should require active retail on the ground level. Along with Mill, 5th Street would have been the most obvious choice because it is the major connective roadway through downtown. Secondary streets could incorporate retail, but also apartment walk-ups, live/work offices, etc.

Farmer, 7th Street, Forest, and Myrtle are good examples of Secondary corridors. Without formalizing this framework, you end up with a street like 1st Street that is completely isolated from other retail centers.

c) Tempe Streetcar. Though I believe the route chosen will ultimately do little more than cannibalize LRT and bus ridership that already serves the area, it seems this is a done deal. As such, form-based recommendations for the land along the route are essential. I was shocked to see the Chase Garage expansion had been approved and entitled. Ash Ave is very limited in the amount of developable properties along the streetcar route. The curves of the road and rail tracks have created irregular plots of land. The current built environment is almost exclusively parking- something that will prevent the streetcar from contributing to any sort of urbanized environment. The Chase garages sit in prime locations; their lots are optimal for TOD development, and they are near University and the entrance to downtown. At the very least, additional floors could have been approved on the condition that the ground level was turned into shell commercial space. As it stands, I don't see any potential in Ash Ave being transformed and serving as another block of activity west of Mill.

d) Farmer Arts District/TCA. Within the Arts Master Plan, it was noted that the Farmer Arts District has turned into "a hub of retail and restaurants." The widespread misuse of the Farmer Arts District by developers, city staff, and residents needs to be addressed. There is NO "arts district" proposed or planned; FAD was simply a poorly chosen name for a mixed-income apartment/condo project planned for Farmer and 5th Street. It's clear from the commercial developing in the area that this name has had consequences on land use downtown. In reality, as noted in the Arts Plan, there is no artist district selected within the city, but their recommendations for locations far-removed from downtown, mass transit, etc. are not ideal. Somewhere along the way, the original plans for Rio Salado adjacent to TCA evolved and what's formed is a major arterial roadway with absolutely no pedestrian comfort or street-level activation. Buildings on the south are oriented toward 1st Street and elevated above Rio Salado via Lakeshore Drive. This pattern of development removed this portion of downtown from becoming a true extension of the urban environment. Regardless, there are still obvious synergies between the TCA and an adjoining artist district as originally planned. This location certainly makes more sense than Miller Road.

SUGGESTIONS:

I think it would be prudent for the city to invest in:

1) Design guidelines for Ash Avenue and Rio Salado to encourage TOD on empty lots and smart design updates to anti-urban buildings to create a more pedestrian-friendly environment.

2) Partner with ASU in understanding how the Stadium District - and any future projects - will impact the demand for downtown development and identify ways to improve connectivity. I think a full master plan for Block 12 on College is extremely important. This was once planned to be a much taller midrise mixed use building and a potential residential component, and is now a poorly designed lowrise (the only true retail component - the wine bar - was placed on the 2nd floor, leaving dead zones on the ground level. For downtown to truly connect to College, the remaining portion of this project must provide active retail along College and 6th Street (and, possibly Forrest).

3) Expand the scope of the 5th Street Streetscape project to incorporate short- and long-term plans to transform the built environment into an active urban connection from E-W. Possible ideas:

1. Identify office space that could support Cox's operations at the corner of 5th/Maple so that the City can purchase that horrible building, and RFP the land.
2. Facilitate adaptive reuse of the building across from Cox.

3. Work with ASU to renovate or redevelop the Towers apartments, which are outdated in style and function. Large setbacks along each street waste prime real estate directly across from the TCC. A new ground floor with something like a TargetExpress and a couple of destination dining spots would create a great energy with the retail at the City garage and in the TCC.
4. Consider the amount of land dedicated to City operations and see if it is feasible to consolidate these functions into a single tower and earning revenue through the sale of the remaining land.
5. Strongly opposed an artist district outside of walking distance from downtown, with preference for the area near TCA or the faux Farmer Arts District.
6. Move ~3 historic homes (such as the one on Ash/6th Street and next to College Ave Commons) to Towne Square and create a larger park that is more like Heritage Square in Phoenix, with bars, restaurants, and culture vs. office space. It's a shame to see these houses hidden behind contemporary development and underutilized.