

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 10/22/2013
Agenda Item: 2**

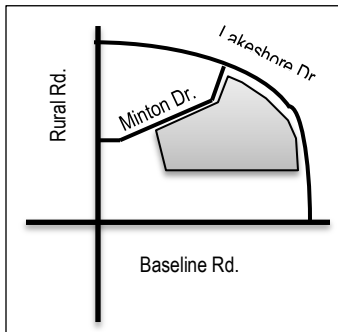
ACTION: Request for a Development Plan Review consisting of a new 3-story multi-family development containing 367 dwelling units for LAKE COUNTRY VILLAGE RESIDENTIAL located at 1030 East Baseline Road. The applicant is Huellmantel & Affiliates.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: LAKE COUNTRY VILLAGE RESIDENTIAL (PL130217) consists of a proposed 367 unit multi-family residential development along the northern portion of the existing Lake Country Village Shopping Center. The southern portion of the site, adjacent to Baseline Road, will remain. The request includes the following:

DPR13237 Development Plan Review including site plan, building elevations and landscape plan.



Property Owner	LCV Property Inc.
Applicant	Charles Huellmantel, Huellmantel & Affiliates
Zoning District	PCC-2, Planned Commercial Center General District with a Planned Area Development Overlay
Lot Size	14.707 acres
Dwelling Units /Density	367 units / 25 dwelling units per acre
Total Building area	511,074 sf. (9 buildings)
Lot Coverage	27.28 % (50% maximum allowed)
Building Height	42 ft. (55 ft. maximum per PAD)
Building Setbacks	0' front, 20' parking, 29.38 ft. side, 0' rear
Landscape area	39.47% (20% minimum required)
Bicycle Parking	350 spaces (min. 261 spaces required)
Parking Required/Provided	721 spaces (min. 721 spaces required)
Tandem Spaces	114 tandem spaces (in front of garages)

ATTACHMENTS: Development Project File

STAFF CONTACT: Ryan Levesque, Senior Planner (480) 858-2393

Department Director: Dave Nakagawara, Community Development Director
 Legal review by: N/A
 Prepared by: Ryan Levesque, Senior Planner

COMMENTS

The site is located northeast of Baseline Road and Rural Road at the rear half of the remaining Lake Country Village Center. The project will consist of a proposed for 367 multi-family residential development. Lake Country Village is located north of Baseline Road, south and west of Lakeshore Drive, south of Minton Drive (a private street) and east of Jentilly Drive (a private street). Wells Fargo Bank at northwest corner of Baseline and Lakeshore is not a part. The site is within the PCC-2, Planned Commercial Center General District. General Plan 2030 Land Use Map designation is Mixed-Use; General Plan 2030 Density Map is Medium to High, up to 25 dwelling units per acre.

Lake Country Village is a commercial shopping center that has existed since the early 1970's. A large portion of the center's commercial space is vacant. A planned area development overlay and a use permit to allow residential (up to 25 dwelling units per acre) was approved in May of 2010 by the City Council. At that time, LCV Property Incorporated (the owner) looked to renovate Lake Country Village to retain the existing commercial and add office and residential components. In the application presented by the applicant, "...our proposed rezoning case (PL090467) is being sought to establish certain development parameters to meet future market demand in a mixed-use development format..." With the goal of creating a mixed use product, a Use Permit request was approved to insert residential in a commercial district has already been approved by the Development Review Commission and a Planned Area Development Overlay to establish site-specific development standards for a mixed-use project that are distinct from those for the underlying commercial zoning district (PCC-2).

The application submitted for this requests, seeks approval of a Development Plan Review consisting of 367 new multi-family residential units within a 3-story design. This request, although different from the original mixed-use PAD, providing a more vertical integrated mix of uses, designates that back half of the project area for the residential project. The existing Baseline Road frontage would conceivably accommodate future and existing commercial located along the arterial street.

On October 1, 2013, the applicant received approval by the Hearing Officer for a use permit to allow tandem parking, allowing the development project to utilize tandem parking spaces located in front of the garage units. The request before you today would complete the design entitlements required for this project.

PUBLIC INPUT

At the time this report was created, staff only received a couple inquiries on the proposal from a neighboring commercial property owner and one from a resident. A copy of the plan was forwarded to the recipients.

This site received approval of a Planned Area Development Overlay. The proposed development plan meets the required development standards established by the PAD, as identified below. Upon approval of a development plan, staff will complete the administrative application for the amended PAD.

Lake Country Village Planned Area Development Overlay		
Building & Site Standard	Proposed Project	PCC-2 (PAD) STANDARDS
Residential Density (Max.25 du/ac)	367 units	25 du/ac 430 units (use permit)
Building height	41 ft.	55 ft. main roof/parapet 65 ft. top of mech. penthouse
Minimum Building setbacks:		
.....Front (east)	0.0 ft.	0.0 ft.
.....Side (north)	30.0 ft.	0.0 ft.

.....Street Side (south)	0.0 ft.	0.0 ft.
.....Rear (west)	30.0 ft.	30.0 ft.
Parking:Residential Parking	No change in standards	-
Future Parking:		
.....Retail (164,200 sf.)	547.33	550.00
.....Restaurant/Tavern (24,000/6,000 sf.)	440.00	98.00
.....Fitness Center (21,000 sf.)	168.0	65.00
.....Office (315,000 sf.)	1,050.00	1,024.00

DEVELOPMENT PLAN REVIEW

Site Plan

The proposed site plan provides eight 3-story residential buildings and a leasing/club building. The project consists of surface parking, covered parking and garage unit parking. Each assemblage of building creates their own unique amenity space of either a pool recreation area, bbq and ramada areas or open turf. The residential development will have cross access from the remaining commercial site to the south along Baseline Road, and access directly off of Lakeshore Drive, as the main entrance for the complex. The entire project area will access control around the entire perimeter by means of entry gates.

Building Elevations

The elevations for the building along the street front and throughout the project site provide a defined base, using a masonry stone veneer at the projection elements of the balconies. This material extends up to the 2nd story and in some areas just up one level. The project provides a mixture of stucco wall system along with segments of the building with a Hardie Plank siding. This play with the material change provides a visual interest in the varied textures and colors. The building's primary colors are variations of taupe with a white color finish above the stone veneer elements. Sections of the buildings provide movement in the facade with areas designated with individual balconies that pop out and areas of the building wall that recess where there are not balconies. The roof elements of the building also provide variety in the parapet height with the cornice details provided. These elements are carried throughout the project building site.

Landscape Plan

The landscape plan for the project provides heavy foliage of decorative details at the entry as well as identifying the entrances to the amenity courtyard spaces that define featured spaces. The overall landscape plan is compatible with the low-water landscape list, and areas allowed for turf use that allow exemptions to portions of the project for high water use.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape;* A limited portion of the site has street frontage. The buildings are offset at different angles from the curved street of Lakeshore and Minton, providing different perspectives and building setback relief from the street front.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* The project provides an ample amount of landscape, intended to minimize heat gain and provide pedestrian comfort. Where landscape is not provided in the parking lots, the applicant will look to provide alternate means of shade with carport canopies.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; The materials provide both traditional exterior of stucco and a combination of masonry and Hardie plank system. The combination of the materials provide a much improved elevation detail.*
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; The project site is appropriately scaled. The development is in compliance with the maximum allowed building heights for the PAD.*
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; The project development is not considered a large building mass and are appropriately broken into separate village buildings with courtyard spaces separating the buildings.*
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; The project will have appropriate scale with treatment of materials and overall interest.*
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; The project site has immediate access to the freeway systems. The project will be adequately parked for this type of development. Pedestrian and bicyclists will be able to access the commercial center to the south as well as the other centers at the Rural and Baseline Road intersection.*
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; Circulation conflicts are minimized. Majority of the pedestrian circulation occurs between the buildings rather than on the exterior of the site.*
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; Plans will be in conformance with the CPTED principles.*
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways; All parking and building areas provided an enhanced landscape accent for the project site.*
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; and Signs have not been submitted at this time.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects. Lighting will be appropriately scaled. The project will be providing pedestrian scaled lighting details, minimizing light spillover.*

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions proposed.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code as well as the standards approved for the Planned Area Development Overlay for this site.
3. The proposed project meets the approval criteria for a Development Plan Review.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. An Amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits.
2. Submit an application for a modified site plan and reconfiguration of the existing commercial pads driveway circulation, parking lot and landscape located along Baseline Road. This development proposal will modify the existing cross access and circulation for the remaining development. Provide the required parking that accommodates the existing development for that portion of the site.

Site Plan

3. Provide 6'-0" wide public sidewalk along collector roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
4. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
5. Provide upgraded paving at each driveway consisting of unit paving material. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
6. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
7. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
8. Shade canopies for parking areas:
 - a. Provide parking canopy separation from parking spaces adjacent to required landscape islands.
 - b. Provide an 8" fascia for the canopy structure.
 - c. Maximum 75% light reflectance value shall also apply to the top of the canopy.
 - d. Relate canopy in color and architectural detailing to the buildings.
 - e. Conceal lighting conduit in the folds of the canopy structure and finish conduit to match.

Floor Plans

9. Exit Security:
 - a. Provide visual surveillance from enclosed exit stairs into adjacent circulation spaces.
10. Public Restroom Security (for amenity areas):
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by automatic sensors, key or remote control mechanism
 - b. Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

Building Elevations

11. The materials and colors are approved as presented:
Masonry Veneer – Superlite – Cocoa Brown

Cast Stone Header (unpainted)

Stucco Paint Color 1 – Sherwin Williams – “Extra White” SW 7006

Stucco Paint Color 2 – Sherwin Williams – “Universal Khaki” SW 6150

Hardie Board Siding – with Paint Color 3 – SW – “Adaptive Shade” SW 7053

Accent Stucco, Coping, Garage Door, Patio Door & Trim – SW “Sawdust” SW 6158

Stucco Trim Paint Color 5 – Sherwin Williams – “Kestrel White” SW 7516

Guardrails Paint Color 6 – Sherwin Williams – “Tricorn Black” SW 6258

Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

12. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
13. Conceal roof drainage system within the interior of the building.
14. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
15. Locate the electrical service entrance section (S.E.S.) inside the building or in a secure location that is concealed from public street view.

Lighting

16. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

17. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
18. Provide a clear delineation and separate plant legend for any existing landscape to remain. Prepare information as part of the building permit plan review process.
19. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½” feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½”. Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Provide temporary irrigation for any existing landscape to remain.
20. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
21. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2” uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
22. Trees shall be planted a minimum of 12’-0” from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20’-0” away. Final approval subject to determination by the Public Works, Water Utilities Division. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6’-0” parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08” thick, installed 0’-2” above finish grade to a depth of 8’-0” below grade. Final approval subject to determination by the Public Works,

Signage

23. Provide street address sign(s) on the sides of the residential building elevation, excluding building end caps. Provide and address sign for the front and rear sides of the leasing/club building.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high.
 - 3) Provide a dedicated light source.
 - 4) For residential buildings provide a minimum 6" high lettering and number for each building and their unit ranges within that building.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be reviewed and placed in a form satisfactory to the Community Development Manager and City Attorney.
- Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: www.tempe.gov/index.aspx?page=2147 or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details and all other Building Safety forms at this link: www.tempe.gov/index.aspx?page=1033. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line. For the purpose of this project, Lakeshore Drive is the prevailing street frontage.
- Provide Pathway separation from sleeping area, a minimum of 10'-0", pursuant to Section 4-503(E)(2).
- Provide street trees along Lakeshore Drive and Minton Drive, consisting of at least one tree per 30' of lineal street frontage. Decorative entrance palm trees do not count towards the total required street trees.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **FIRE:**
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

- ENGINEERING:
 - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
- REFUSE:
 - Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801 . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees (20' separation requirement from centerpoint to centerpoint) or other site features in order to maintain illumination levels for exterior lighting.
- LANDSCAPE:
 - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State

of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm . Follow the link to “applications to move a native plant” to “notice of intent to clear land”.

- **SIGNS:** Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

- | | |
|------------------|---|
| April 13, 2010 | Development Review Commission approved the Use Permit to allow residential land use in the PCC-2, Planned Commercial Center General District and recommended approval for the Planned Area Development Overlay for Lake Country Village located at 1030 East Baseline Road. |
| May 20, 2010 | City Council approved the Planned Area Development Overlay for Lake Country Village located at 1030 East Baseline Road in the PCC-2, Planned Commercial Center General District. This hearing also included an appeal of the use permit condition to extend the approval time period from 2015 to 2020, to submit construction documents to the Building Safety Division for building permit for a phase of the development that contains a multi-family residential component by April 13, 2020, or the Use Permit approval will expire. |
| May 17, 2011 | Community Development Manager Designee approved a minor Amendment to the Planned Area Development Overlay for Lake Country Village located at 1030 East Baseline Road. |
| October 1, 2013 | Hearing Officer approved a Use Permit to allow Tandem Parking for LAKE COUNTRY VILLAGE RESIDENTIAL (PL130217) located at 1030 East Baseline Road. The request consisted of 114 tandem parking spaces in front of garages. |
| October 22, 2013 | Scheduled public meeting with the Development Review Commission for LAKE COUNTRY VILLAGE RESIDENTIAL (PL130217), consisting of a development plan review for a new 367 unit multi-family residential development. |

ZONING AND DEVELOPMENT CODE REFERENCE:

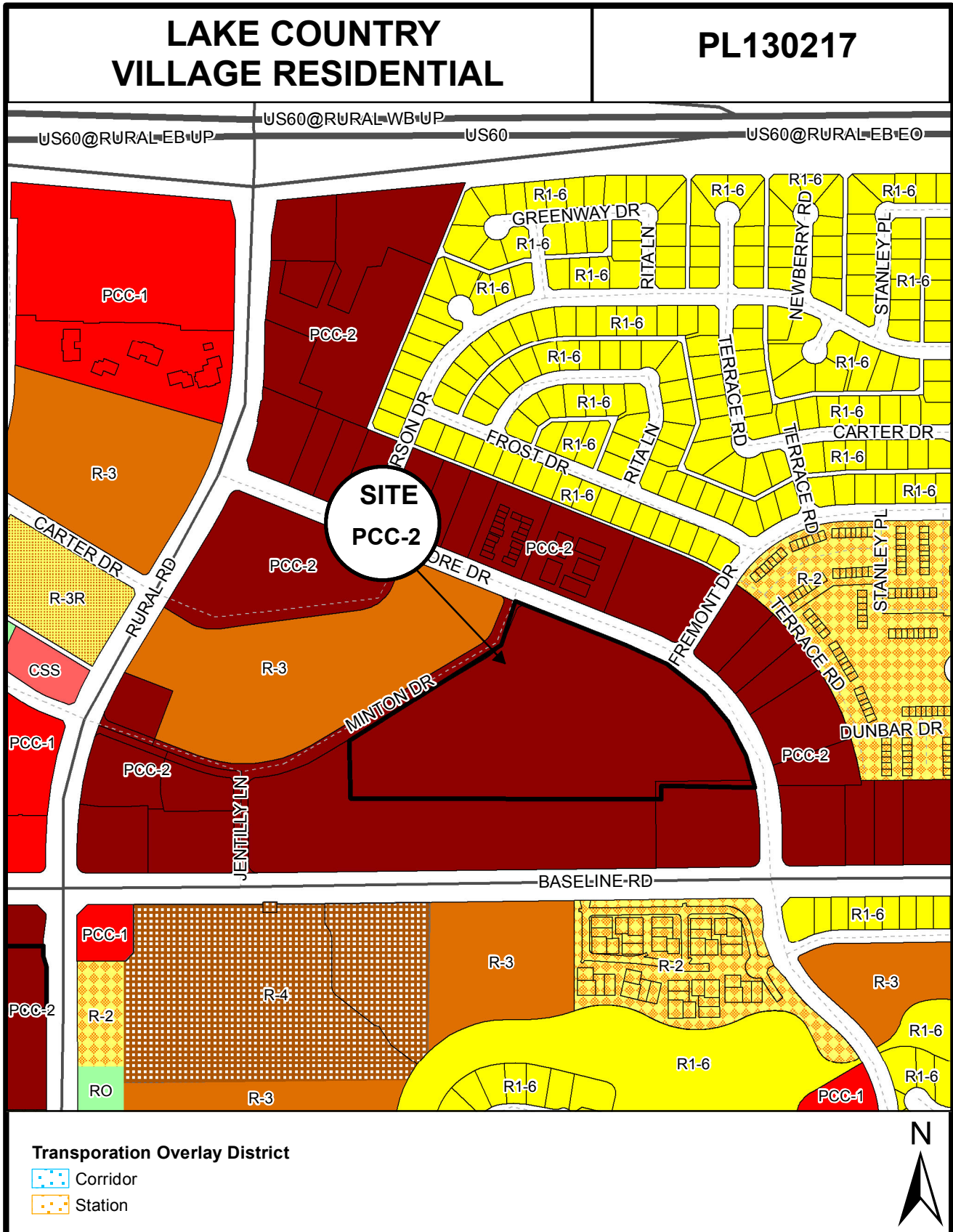
Section 6-306, Development Plan Review



DEVELOPMENT PROJECT FILE
for
LAKE COUNTRY VILLAGE RESIDENTIAL

ATTACHMENTS:

1. Location Map
2. Aerial Photo
- 3-5. Letter of Explanation
6. Site Plan
7. Floor Plans
8. Building Section example
- 9-32. Building Elevations
- 33-41. Landscape Plan
42. Preliminary Grading & Drainage Plan



Location Map



LAKE COUNTRY VILLAGE RESIDENTIAL (PL130217)



DEVELOPMENT PLAN REVIEW

FOR

LAKE COUNTRY VILLAGE RESIDENTIAL

LETTER OF EXPLANATION

PARCEL: 133-38-490

CASE #PAD11001

BASELINE AND RURAL ROADS

HUELLMANTEL
AFFILIATES

PO Box 1833 - Tempe, Arizona 85280-1833 – 480.921.2800 - charles@huellmantel.com

SUMMARY

JLB Partners, the group that built the highly regarded Block 1949 (1949 East University Drive) is working to bring another quality development to Tempe, this time to the area surrounding Rural and Baseline Roads. JLB is proposing to build a highly-amenitized luxury multifamily community just north of Baseline Road along Lakeshore and Minton Drives as indicated by the area highlighted below:



The site has long been an under performing and often a mostly or completely vacant commercial center. The existing center is visually unexciting and poorly situated on the site. We will remove the old and unmaintained retail buildings and replace them with a new sleek, well-designed contemporary project made of high quality materials. The property is bordered by Lakeshore Drive to the north and northeast, small commercial uses along Baseline on the southern edge, and an existing Big Lots, Firestone and an apartment complex to the west and northwest.

We seek a Development Plan Review for the proposed multi-family development on approximately 14.7 acres and consisting of approximately 367 residential units. The site has a current Planned Area Development Overlay in place that was approved in 2011. Other portions of the overall PAD will be before the Development Review Commission under separate requests for a Development Plan Review.

DEVELOPMENT PLAN REVIEW CRITERIA AND JUSTIFICATION

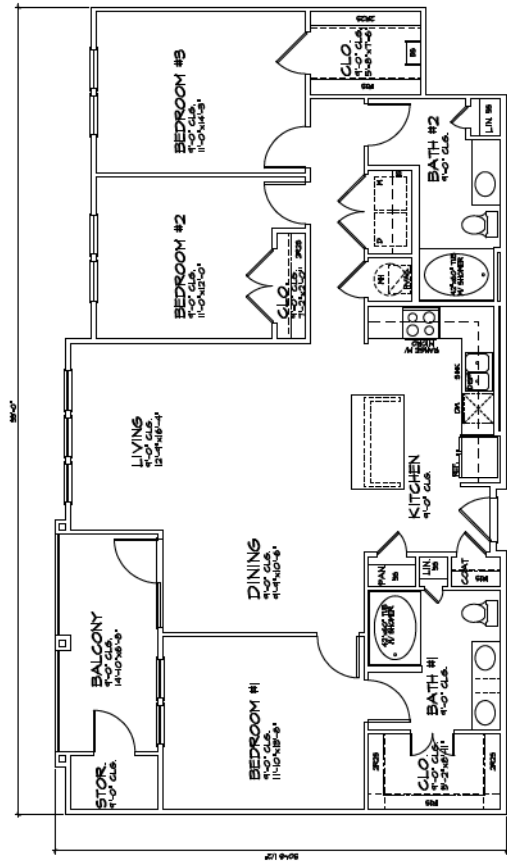
The placement of *buildings* reinforces and provides variety in the *street wall*, maximizes natural surveillance and visibility of pedestrian areas (*building* entrances, pathways, *parking* areas, etc.), enhances the character of the surrounding area, facilitates pedestrian access and circulation and mitigates heat gain and retention.

The proposed development does this by utilizing materials that are of superior quality and will be compatible with the surrounding area using a color palate that is complimentary to the existing buildings and landscaping nearby. JLB Partners is proposing to build eight three-story buildings with natural landscape elements have proper scale with the site and surroundings, along with a single story clubhouse. The proposed multi-family housing development will be proportional in height (+/- 40 feet) to the surrounding commercial and residential developments. Visual variation between the buildings will be achieved with minor height variations and +/- 40 foot parapets. These design elements create an appropriately-scaled project for this specific location. Additionally, the proposed Lake Country Village Residential development utilizes design elements such as balconies and ground-floor specific elements including appropriate landscaping in order to create visual separation between each buildings base and top.

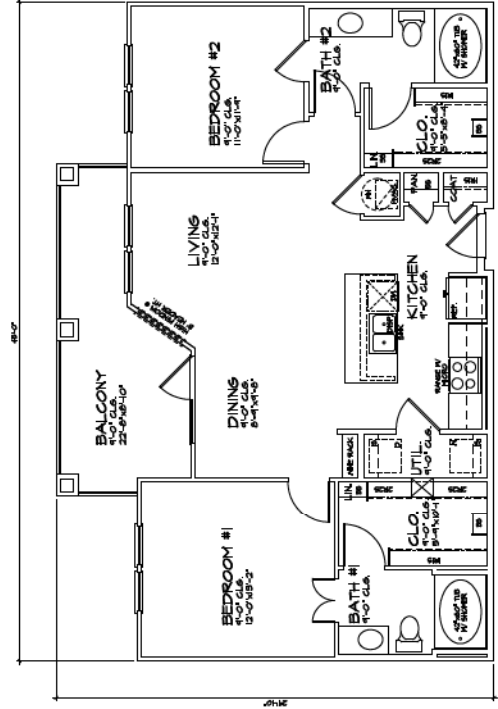
JLB has designed the multifamily development with safety in mind and has created natural surveillance with windows and balconies on the ground level of the buildings providing for a social atmosphere that will function to create visual interest as well as increasing security by maximizing natural surveillance and visibility. Throughout the design process, JLB has incorporated elements intended to reduce crime by providing natural surveillance with ground-level patios, windows, gated access, and more. This are intended to create a social environment where residents feel safe and in turn fosters a sense of community by encouraging interaction with neighbors and the surrounding area. Adequate lighting is provided to discourage crime but will not create a negative effect on surrounding properties. As an added security feature and aesthetic component, all on-site utilities will be placed underground.

The proposed development provides future residents with ease of access to nearby public transportation and promotes use alternative modes of transportation to limit its impact on traffic in the area. Lake Country Village Residential will be located within walking distance to bus stations. Bus routes 61 and 72 are both accessible from the proposed multi-family housing development location. Lake Country Village Residential has planned gated access to the development. This will limit excess traffic impact in the area. Safe and orderly circulation will separate pedestrian and bicycles from vehicular traffic. The driveways and access ways to each building provide room for both vehicles and bicycles. The project will be consistent with the Tempe Pedestrian and Bicycle Facility Guidelines.

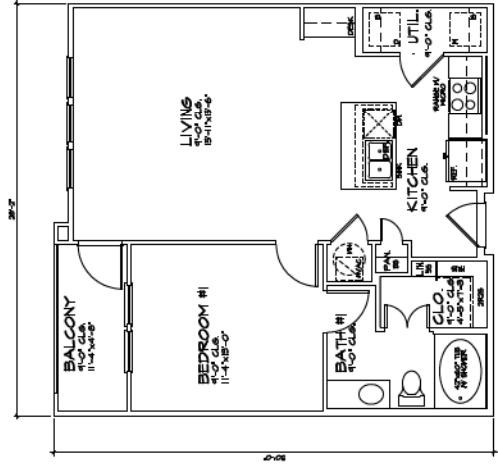
Thank you for your consideration regarding our request for a Development Plan Review. Please let me know if you have any questions. I can be reached at (480) 921-2800 or via e-mail at charles@huellmantel.com.



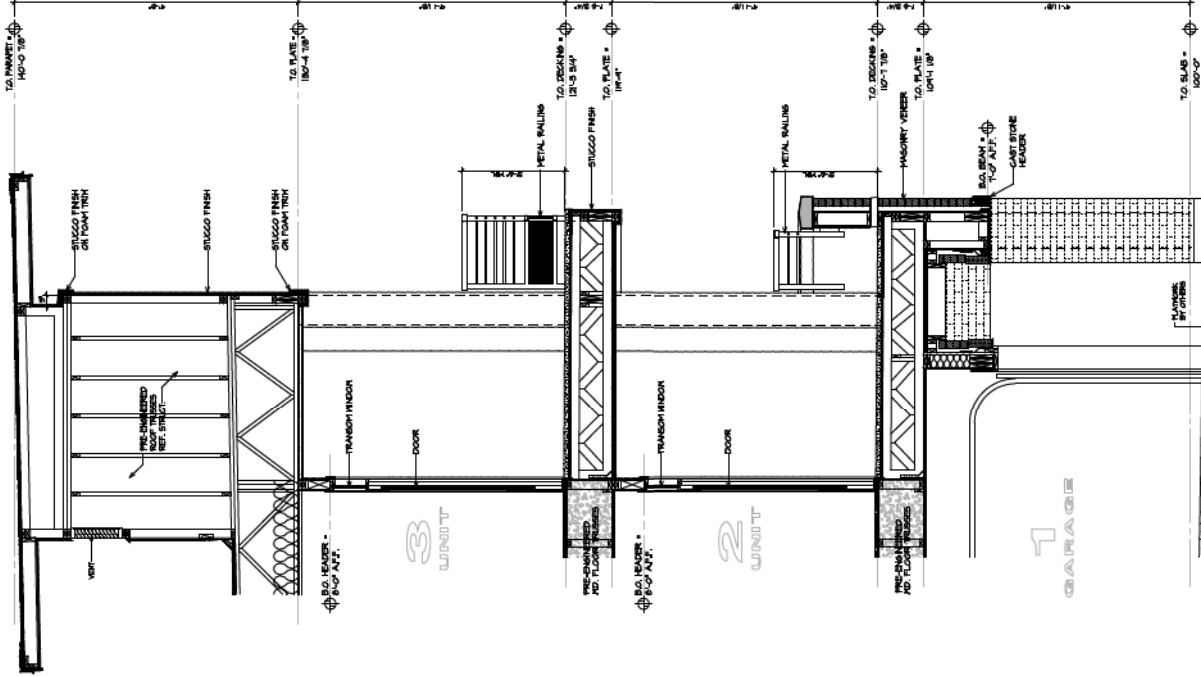
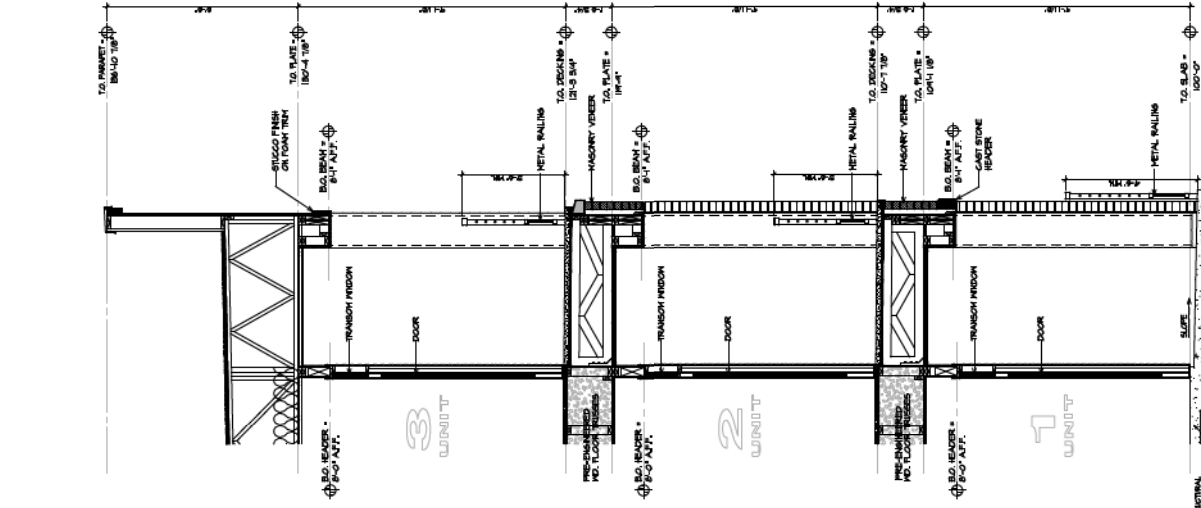
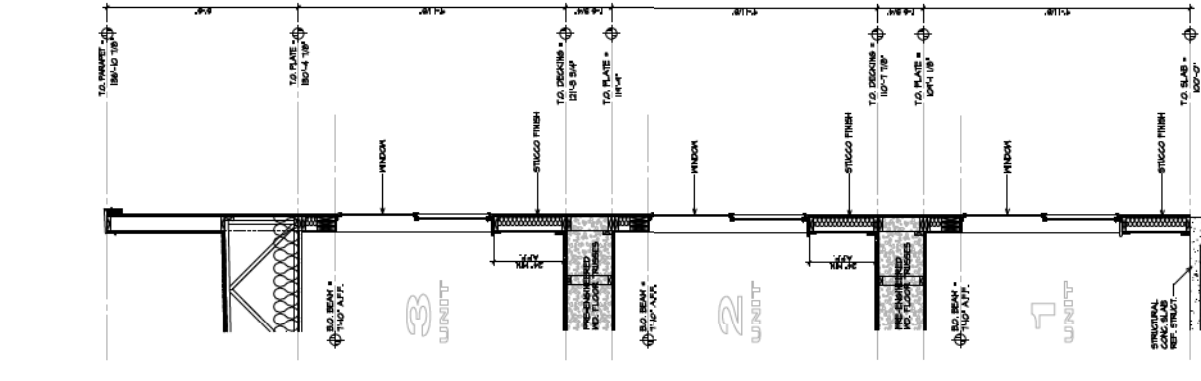
03 C1 UNIT
 PATIO: 11'-0" x 11'-0"
 BALCONY: 11'-0" x 11'-0"
 SCALE: 1/4" = 1'-0"



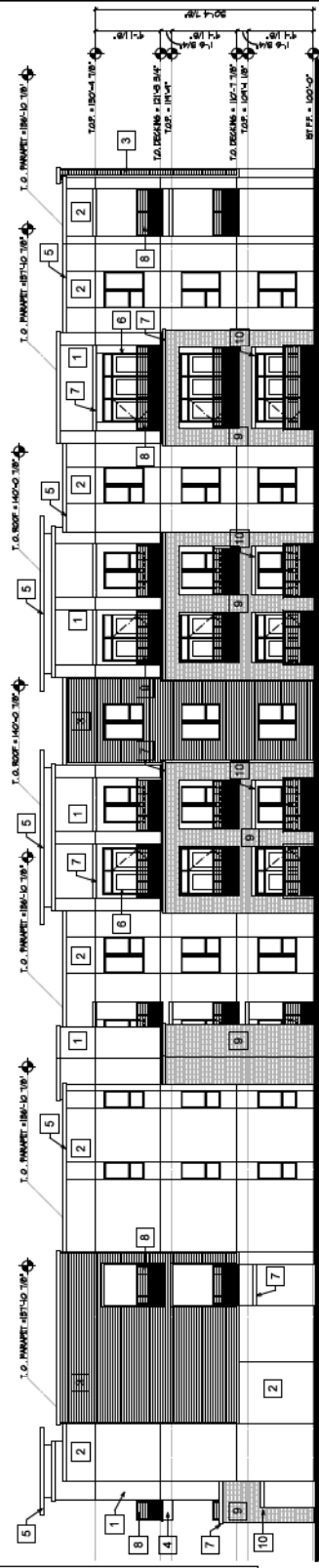
02 B1 UNIT
 PATIO: 11'-0" x 11'-0"
 BALCONY: 11'-0" x 11'-0"
 SCALE: 1/4" = 1'-0"



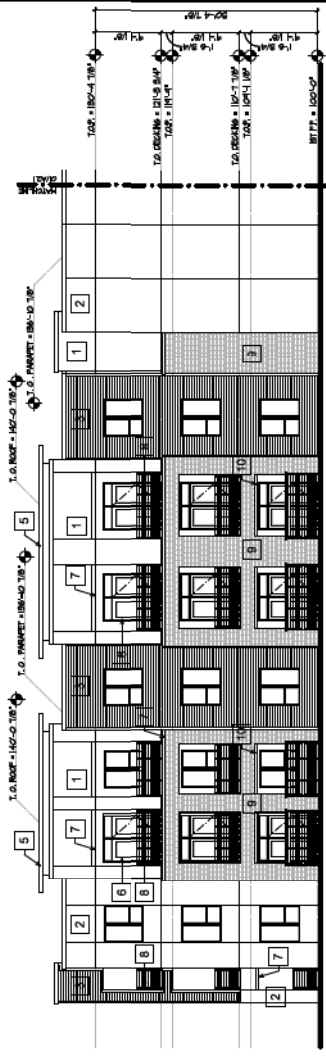
01 A2 UNIT
 PATIO: 11'-0" x 11'-0"
 BALCONY: 11'-0" x 11'-0"
 SCALE: 1/4" = 1'-0"



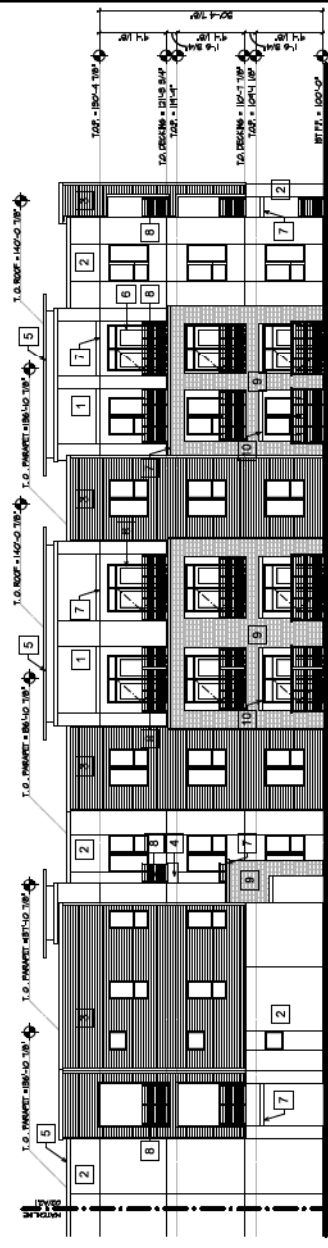
MATERIAL & COLOR LEGEND	
1	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
2	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
3	HAIRY BLENDED WALL SYSTEM PKC SW 6105 Titanium White
4	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
5	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
6	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
7	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
8	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
9	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White
10	EXTERIOR WALL SYSTEM PKC SW 6105 Titanium White



03 SIDE ELEVATION
BUILDING 1
SCALE: 1/8"=1'-0"



02 FRONT ELEVATION
BUILDING 1
SCALE: 1/8"=1'-0"



01 FRONT ELEVATION
BUILDING 1
SCALE: 1/8"=1'-0"

MATERIAL & COLOR LEGEND	
1	EXTERIOR WALL SYSTEM PKC SW 6105, Unwashed Stone
2	EXTERIOR WALL SYSTEM PKC SW 6105, Unwashed Stone
3	HANDED BRICK WALL SYSTEM PKC SW 6105, Antique Stone
4	EXTERIOR WALL SYSTEM PKC SW 6105, Unwashed Stone
5	CONCRETE AND DOOR TRIM PKC SW 6105, Smooth
6	FINISH FLOOR AND DOOR TRIM PKC SW 6105, Smooth
7	EXTERIOR WALL SYSTEM PKC SW 6105, Unwashed Stone
8	METAL GUARDRAIL PKC SW 6105, Titanium Black
9	ROOFING SYSTEM PKC SW 6105, Titanium Black
10	CAST STONE HEADERS



03 SIDE ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

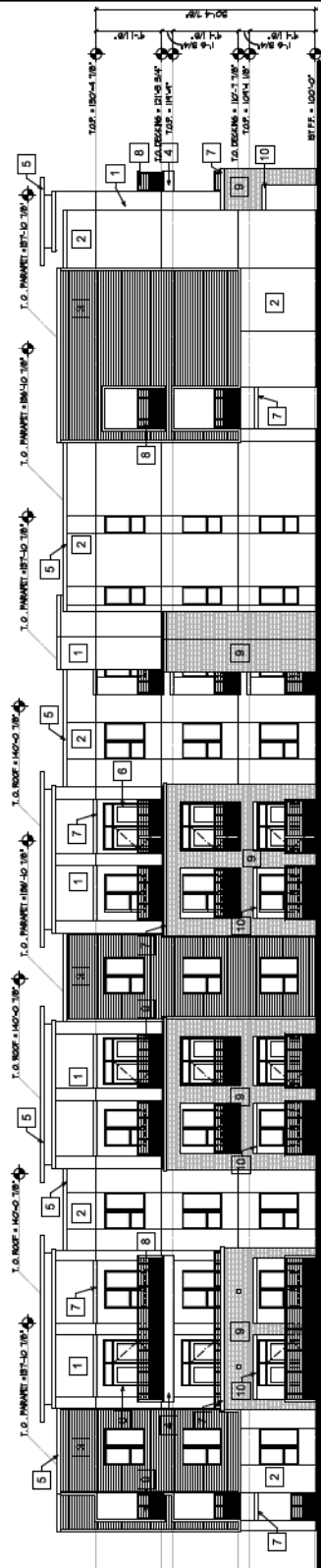


02 FRONT ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

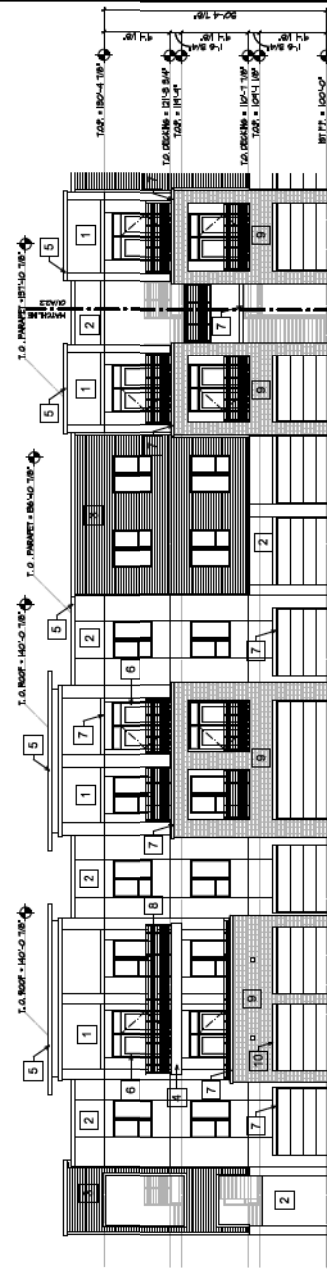


01 FRONT ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

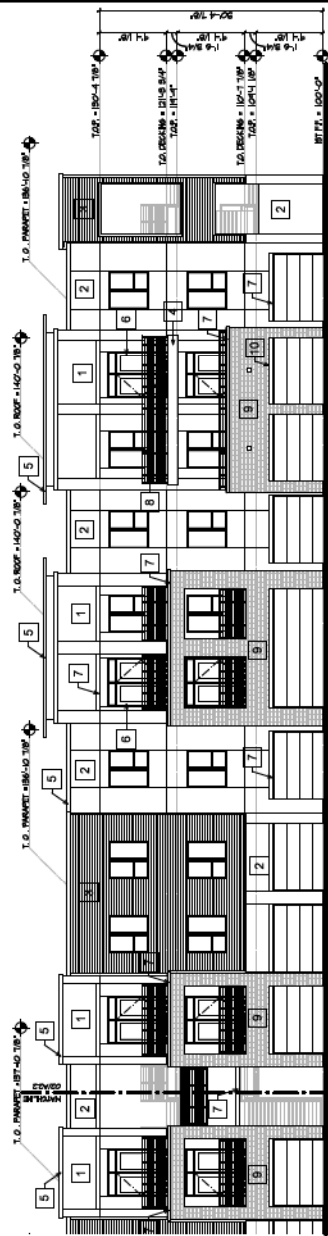
MATERIAL & COLOR LEGEND	
1	EXTERIOR WALL SYSTEM PCLC SW 6185 Unwashed Stone
2	INTERIOR WALL SYSTEM PCLC SW 6185 Unwashed Stone
3	HAIRY BRICK WALL SYSTEM PCLC SW 6185 Unwashed Stone
4	EXTERIOR WALL SYSTEM PCLC SW 6185 Unwashed Stone
5	CONCRETE AND DOOR TRIM PCLC SW 6185 Unwashed Stone
6	FRENCH DOOR AND DOOR TRIM PCLC SW 6185 Unwashed Stone
7	FRENCH DOOR AND DOOR TRIM PCLC SW 6185 Unwashed Stone
8	METAL GUARDRAIL PCLC SW 6185 Unwashed Stone
9	METAL GUARDRAIL PCLC SW 6185 Unwashed Stone
10	CAST STONE HEADER



03 SIDE ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"



02 REAR ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"



01 REAR ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

MATERIAL & COLOR LEGEND	
1	EXTERIOR WALL SYSTEM 1/2" X 3/4" BRICK WITH 2" STUCCO
2	EXTERIOR WALL SYSTEM 1/2" X 3/4" BRICK WITH 2" STUCCO
3	HANDED BRICK WALL SYSTEM PKC1 SW 6182 Antique Stone
4	EXTERIOR WALL SYSTEM PKC1 SW 6182 Antique Stone
5	EXTERIOR WALL SYSTEM PKC1 SW 6182 Antique Stone
6	WOOD AND DOOR TRIM PKC1 SW 6182 Antique Stone
7	EXTERIOR WALL SYSTEM PKC1 SW 6182 Antique Stone
8	METAL GUARDRAIL PKC1 SW 6182 Antique Stone
9	EXTERIOR WALL SYSTEM PKC1 SW 6182 Antique Stone
10	CAST STONE HEADER



03 SIDE ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

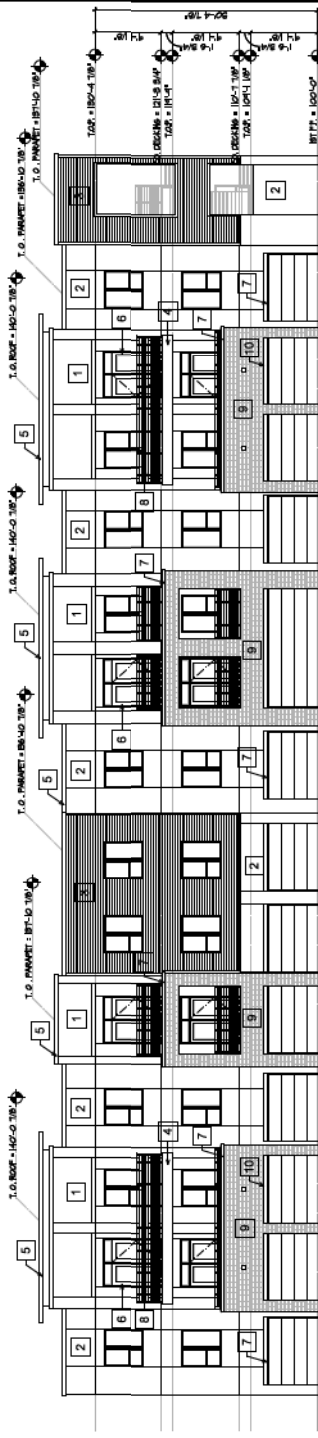


02 REAR ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

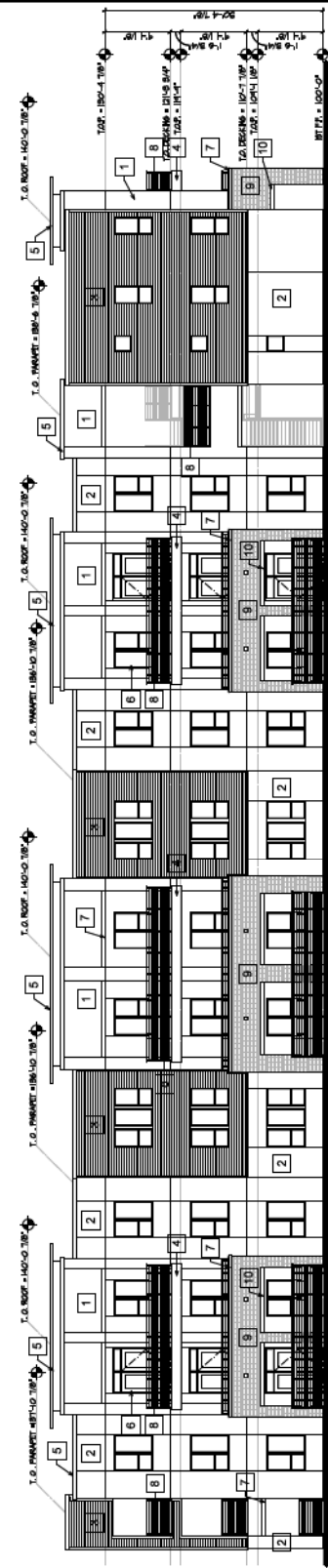


01 REAR ELEVATION
BUILDING 1
SCALE: 1/8" = 1'-0"

MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6108 Summit White
2	STUCCO WALL SYSTEM PKC SW 6108 Summit White
3	HANNE BRICK WALL SYSTEM PKC SW 6108 Summit White
4	BRICK WALL SYSTEM PKC SW 6108 Summit White
5	CONCRETE AND DOOR TRIM PKC SW 6108 Summit White
6	METAL GUARDRAIL PKC SW 6108 Summit White
7	STUCCO PKC SW 6108 Summit White
8	METAL GUARDRAIL PKC SW 6108 Summit White
9	METAL GUARDRAIL PKC SW 6108 Summit White
10	CAST STONE HEADER



02 SIDE ELEVATION
BUILDING II
SCALE: 1/8"=1'-0"



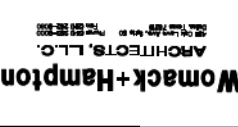
01 FRONT ELEVATION
BUILDING II
SCALE: 1/8"=1'-0"

MATERIAL & COLOR LEGEND

1	BRICK WALL SYSTEM
2	BRICK WALL SYSTEM
3	HANNE BRICK WALL SYSTEM
4	FLY ASH BRICK WALL SYSTEM
5	CONCRETE BLOCK
6	CONCRETE BLOCK
7	CONCRETE BLOCK
8	CONCRETE BLOCK
9	CONCRETE BLOCK
10	CONCRETE BLOCK


 EXPRES: 09-30-2015
 Approved:
 James R. Womack
 Professional Engineer
 License No. 10000
 State of Arizona
 Project No. 09-30-2015
 Drawn By: BMOG
 Date: 08/20/2015


 JLB PARTNERS
 James R. Womack
 James R. Womack
 James R. Womack


 Womack+Hampton
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Tempe, Arizona 85282


 Lake County
 Village Residential
 JLB PARTNERS
 1000 E. McDowell Road
 Tempe, Arizona

Sheet Number: **A3.1**
ELEVATIONS



02 SIDE ELEVATION
BUILDING II
SCALE: 1/8"=1'-0"



01 FRONT ELEVATION
BUILDING II
SCALE: 1/8"=1'-0"

MATERIAL & COLOR LEGEND

1	SLATE WALL SYSTEM
2	SLATE WALL SYSTEM
3	HANNE BRASS WALL SYSTEM
4	SLATE WALL SYSTEM
5	SLATE WALL SYSTEM
6	SLATE WALL SYSTEM
7	SLATE WALL SYSTEM
8	SLATE WALL SYSTEM
9	SLATE WALL SYSTEM
10	SLATE WALL SYSTEM

PROJECT: 09-3C-2315
 DATE: 08/20/2018
 DRAWN BY: BMOG
 PROJECT NO.: 09-3C-2315
 SHEET: 09-3C-2315-01

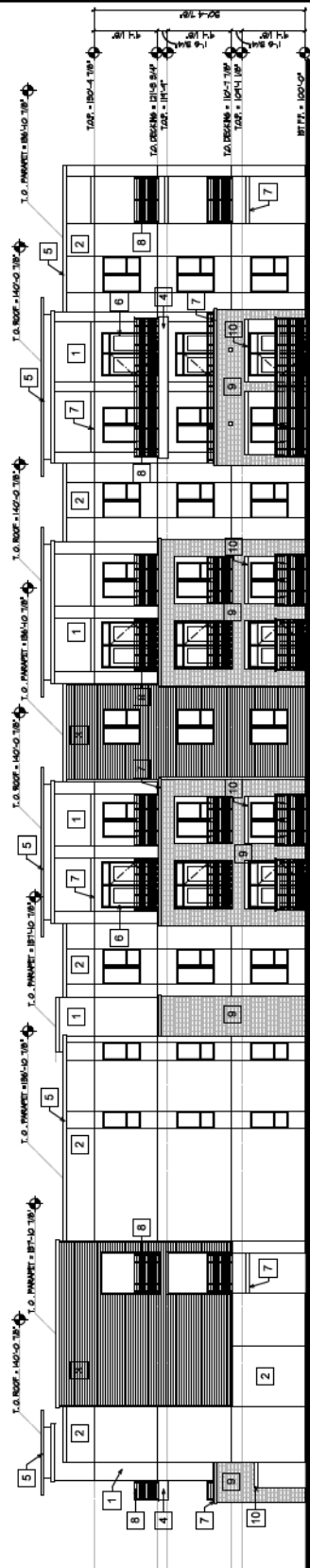
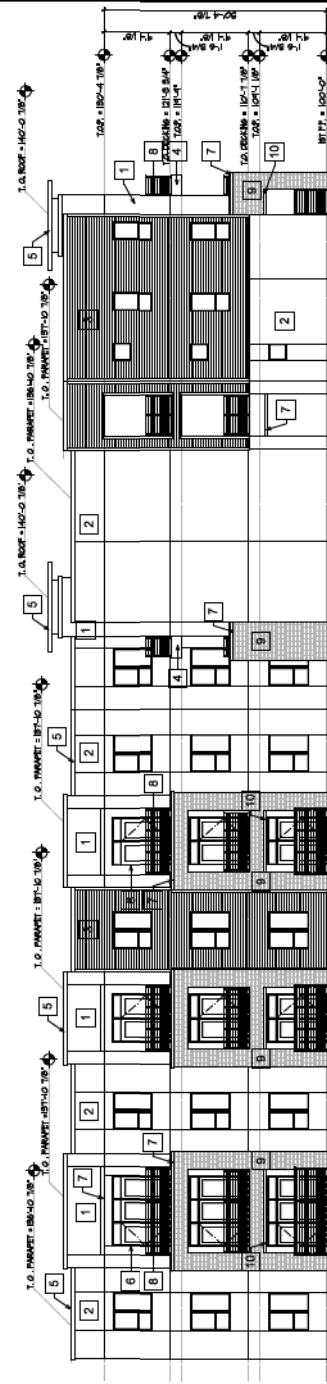
JLB PARTNERS
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Tempe, Arizona 85282

Womack+Hampton
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Tempe, Arizona 85282



Lake Country Village Residential
 JLB PARTNERS
 1000 E. McDowell Road
 Tempe, Arizona

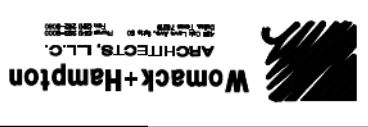
Sheet: A3.2
 ELEVATIONS



MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6108 Summit White
2	STUCCO WALL SYSTEM PKC SW 6108 Summit White
3	HANNE BRICK WALL SYSTEM PKC SW 6108 Summit White
4	BRICK WALL SYSTEM PKC SW 6108 Summit White
5	CONCRETE AND DOOR TRIM PKC SW 6108 Summit White
6	BRICK DOOR AND DOOR TRIM PKC SW 6108 Summit White
7	STUCCO PKC SW 6108 Summit White
8	METAL GUARDRAIL PKC SW 6108 Summit White
9	WOODEN DOOR PKC SW 6108 Summit White
10	CAST STONE HEADER


 EPRRES: 09-3C-2315
 Approved:
 James R. Womack
 Professional Engineer
 License No. 10000
 State of Arizona
 Exp. 12/31/2019
 For Official Use Only
 Project No. B500
 Drawn By: DPMR 08/26/2019


 JLB PARTNERS
 James R. Womack
 David M. Womack
 James R. Womack
 David M. Womack


 Womack+Hampton
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Mesa, AZ 85205
 Phone: 480.971.1111
 Fax: 480.971.1112


 Lake Country
 Village Residential
 JLB PARTNERS
 1000 E. McDowell Road
 Mesa, Arizona

Sheet Number:
A3.2
 ELEVATIONS

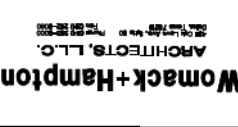


MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6108 Sun Tan
2	STUCCO WALL SYSTEM PKC SW 6108 Unwashed Sand
3	HANNE BRICK WALL SYSTEM PKC SW 6108 Antique Stone
4	BRICK WALL SYSTEM PKC SW 6108 Natural
5	CONCRETE AND CONCRETE PKC SW 6108 Sandstar
6	FINISH FLOOR AND DOOR TRIM PKC SW 6108 Sandstar
7	STUCCO PKC SW 6108 Natural White
8	METAL GUARDRAIL PKC SW 6208 Titanium Black
9	WOODEN DOOR PKC SW 6108 Sandstar
10	CAST STONE HEADER

ATTACHMENT 17


 EXPRES: 09-30-2015
 Approved:
 JLS PARTNERS
 1000 E. Roosevelt Road
 Tempe, Arizona 85283
 Project No. 080802015
 Drawn By: BMOG
 Date: 08/08/2015


 JLS PARTNERS
 1000 E. Roosevelt Road
 Tempe, Arizona 85283
 Phone: 480.831.1111
 Fax: 480.831.1112
 www.jls.com

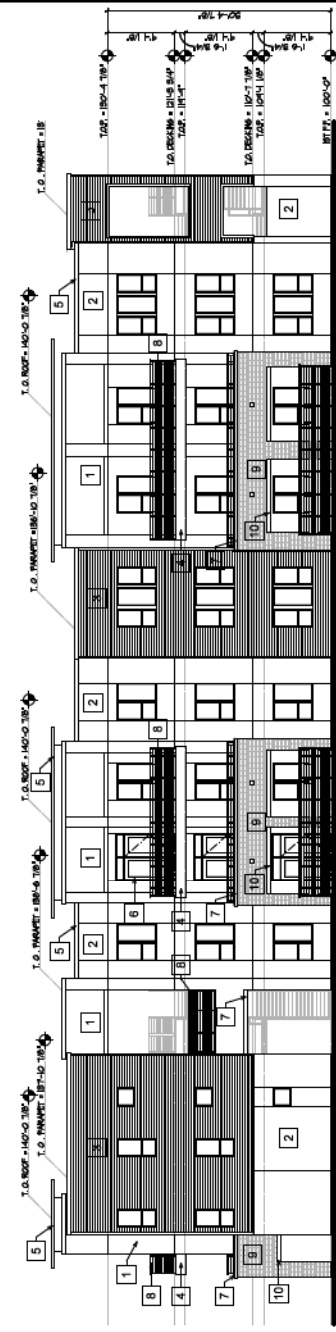

 Womack+Hampton
 ARCHITECTS, L.L.C.
 1000 E. Roosevelt Road
 Tempe, Arizona 85283
 Phone: 480.831.1111
 Fax: 480.831.1112
 www.womackhampton.com


 Lake Country
 Village Residential
 JLS PARTNERS
 1000 E. Roosevelt Road
 Tempe, Arizona

Sheet Number: **A4.1**
ELEVATIONS



02 SIDE ELEVATION
BUILDING II
SCALE: 1/8"=1'-0"



01 FRONT ELEVATION
BUILDING III
SCALE: 1/8"=1'-0"

MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6108 - Unwashed Red
2	STUCCO WALL SYSTEM PKC SW 6108 - Unwashed Red
3	HANNE BRICK WALL SYSTEM PKC SW 6108 - Unwashed Red
4	BRICK WALL SYSTEM PKC SW 6108 - Unwashed Red
5	CONCRETE AND DOOR TRIM PKC SW 6108 - Unwashed Red
6	BRICK WALL SYSTEM PKC SW 6108 - Unwashed Red
7	STUCCO WALL SYSTEM PKC SW 6108 - Unwashed Red
8	METAL GUARDRAIL PKC SW 6108 - Unwashed Red
9	BRICK WALL SYSTEM PKC SW 6108 - Unwashed Red
10	CAST STONE HEADS

Project No. B500
 Drawn By: DFR, 08/26/2018

Jeffery S. Womack
 Mechanical Engineer
 License No. 10000
 State of Arizona

Womack+Hampton
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Tempe, Arizona 85282

Lake Country
 Village Residential
 JLS PARTNERS
 1000 E. McDowell Road
 Tempe, Arizona

Sheet Number:
A4.1
 ELEVATIONS



02 SIDE ELEVATION
BUILDING III
SCALE: 1/8" = 1'-0"



01 FRONT ELEVATION
BUILDING III
SCALE: 1/8" = 1'-0"

MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6108 2017 White
2	BRICK WALL SYSTEM PKC SW 6108 Unwashed Red
3	HANNE BRICK WALL SYSTEM PKC SW 6108 Unwashed Red
4	BRICK WALL SYSTEM PKC SW 6108 Unwashed Red
5	CONCRETE AND DOOR TRIM PKC SW 6108 Smooth
6	BRICK WALL SYSTEM PKC SW 6108 Smooth
7	BRICK WALL SYSTEM PKC SW 6108 Smooth
8	METAL GUARDRAIL PKC SW 6108 Titanium Black
9	METAL GUARDRAIL PKC SW 6108 Titanium Black
10	CAST STONE HEADR

EXPRES: 09-3C-2315

Approved: [Signature]

DATE: 11/20/2018

PROJECT: Village Country
1000 E. Dorr Street
Tempe, Arizona 85283

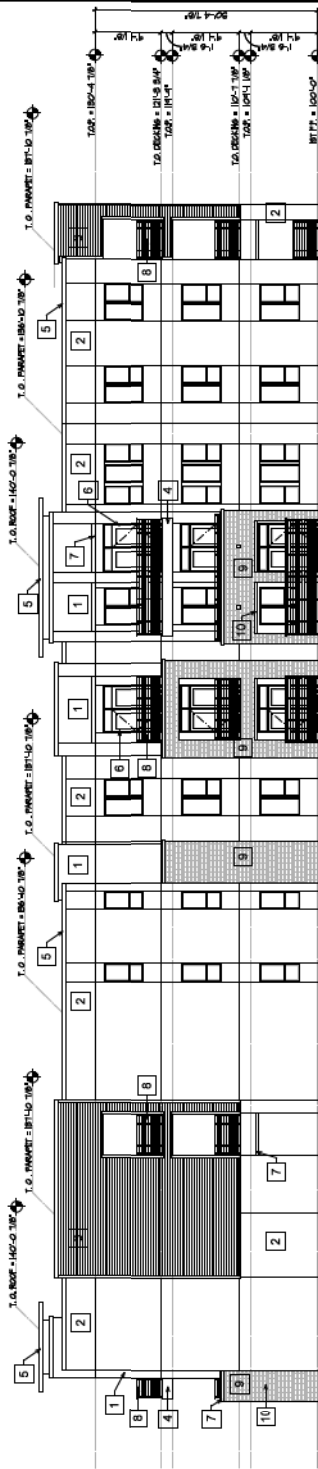
Project No. 0900
Drawn By: [Signature]
DATE: 08/02/2018

JLB PARTNERS
ARCHITECTS, L.L.C.
1000 E. Dorr Street
Tempe, Arizona 85283

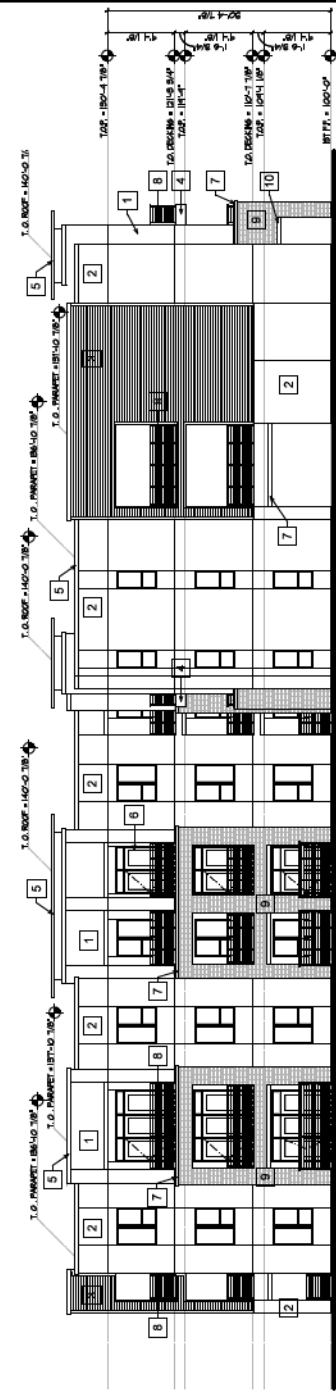
Womack+Hampton
ARCHITECTS, L.L.C.
1000 E. Dorr Street
Tempe, Arizona 85283

Lake Country
Village Residential
JLB PARTNERS
1000 E. Dorr Street
Tempe, Arizona

Sheet Number: A4.2
ELEVATIONS



02 SIDE ELEVATION
BUILDING II
SCALE: 1/8" = 1'-0"

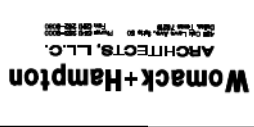


01 REAR ELEVATION
BUILDING III
SCALE: 1/8" = 1'-0"

MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6108 Dark Tan
2	EIFS WALL SYSTEM PKC SW 6108 Unwashed Form
3	HANNE BRICK WALL SYSTEM PKC SW 6108 Asphalt Grout
4	EIFS WALL SYSTEM PKC SW 6108 Unwashed
5	CONCRETE AND DOOR TRIM PKC SW 6108 Sandbar
6	FINISH DOOR AND DOOR TRIM PKC SW 6108 Sandbar
7	EIFS SW 7105 PKC SW 7105 Neutral White
8	METAL GUARDRAIL PKC SW 6038 Titanium Black
9	WOODEN DOOR PKC SW 6038 Titanium Black
10	CAST STONE HEADR


 EXPRES: 09-30-2015
 Approved:
 Jeffrey A. Johnson
 Professional Engineer
 License No. 10000
 State of Arizona
 Exp. 12/31/2024
 For Official Use Only
 Project No. 15000
 Drawn By: BBOG
 Date: 08/20/2015

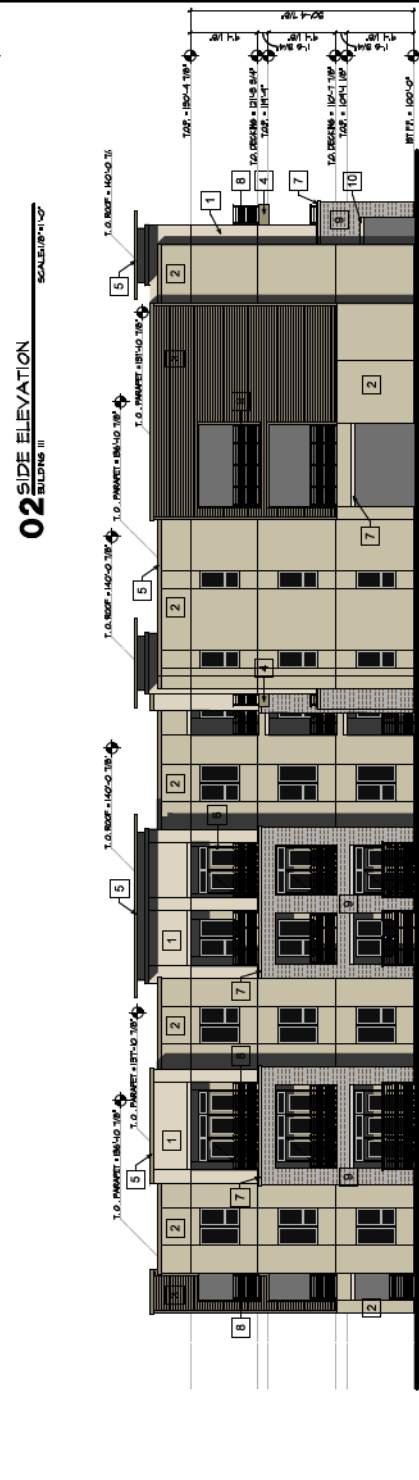

 JLB PARTNERS
 1000 E. McDowell Road
 Suite 100
 Mesa, Arizona 85205
 Phone: (480) 971-1100
 Fax: (480) 971-1101


 Womack + Hampton
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Mesa, Arizona 85205
 Phone: (480) 971-1100
 Fax: (480) 971-1101

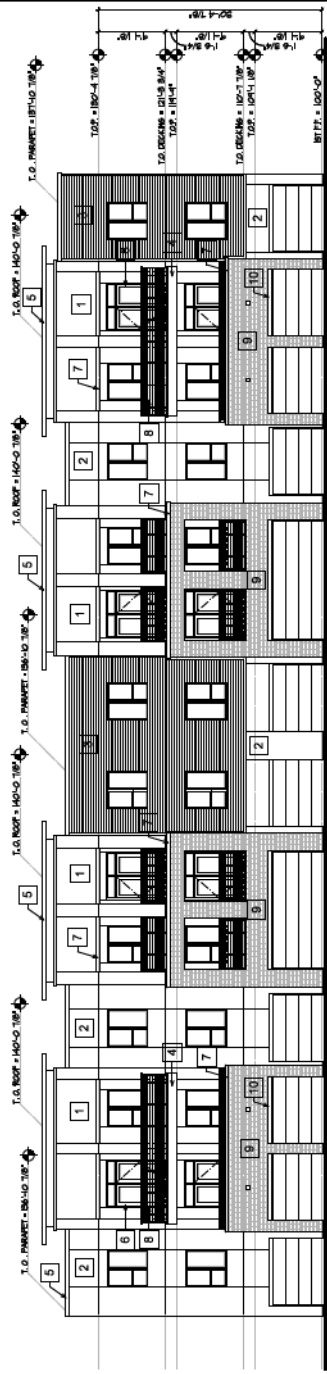



 Lake Country
 Village Residential
 JLB PARTNERS
 1000 E. McDowell Road
 Mesa, Arizona

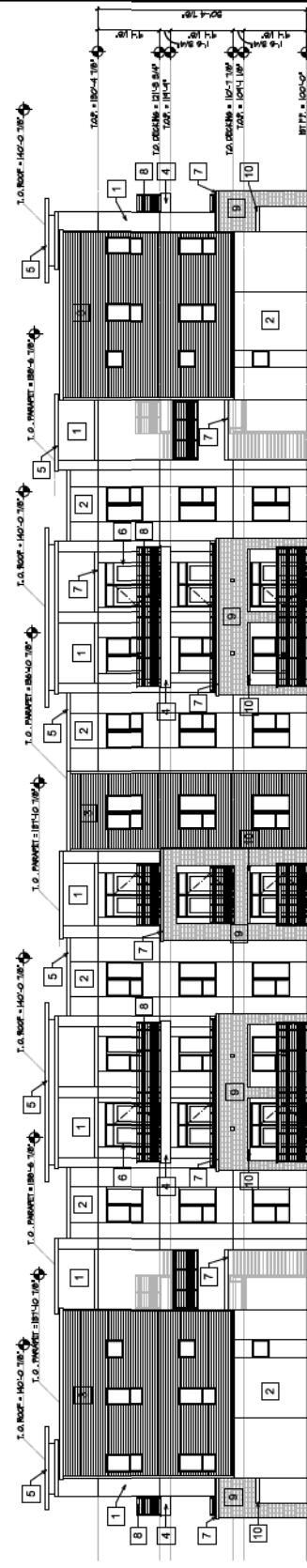
Sheet Number: **A4.2**
ELEVATIONS



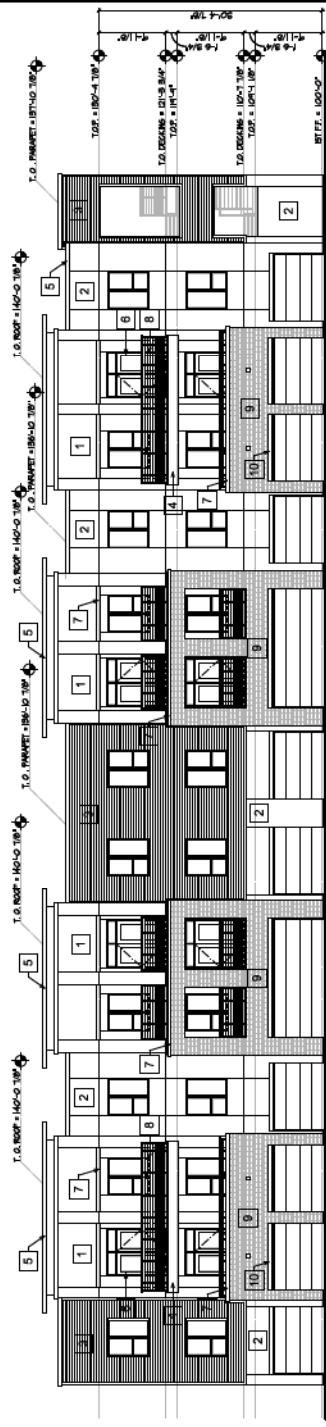
MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM
2	BRICK WALL SYSTEM
3	MADE IRON WALL SYSTEM
4	PAINT SW 6185 - Antique Brass
5	PAINT SW 6185 - Antique Brass
6	WOOD AND DOOR TRIM
7	PAINT SW 6185 - Antique Brass
8	PAINT SW 6185 - Antique Brass
9	PAINT SW 6185 - Antique Brass
10	CAST STONE HEADER



03 SIDE ELEVATION
BUILDING V
SCALE: 1/8"=1'-0"



02 FRONT ELEVATION
BUILDING V
SCALE: 1/8"=1'-0"



01 SIDE ELEVATION
BUILDING V
SCALE: 1/8"=1'-0"



MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM PKC SW 6188 Unwashed Point
2	CLADDING WALL SYSTEM PKC SW 6188 Unwashed Point
3	HANNE BRAND WALL SYSTEM PKC SW 6188 Unwashed Point
4	BRICK WALL SYSTEM PKC SW 6188 Unwashed Point
5	CLADDING WALL SYSTEM PKC SW 6188 Unwashed Point
6	BRICK WALL SYSTEM PKC SW 6188 Unwashed Point
7	BRICK WALL SYSTEM PKC SW 6188 Unwashed Point
8	METAL GUARDRAIL PKC SW 6188 Unwashed Point
9	METAL GUARDRAIL PKC SW 6188 Unwashed Point
10	CAST STONE HEADER



03 SIDE ELEVATION
BUILDING IV

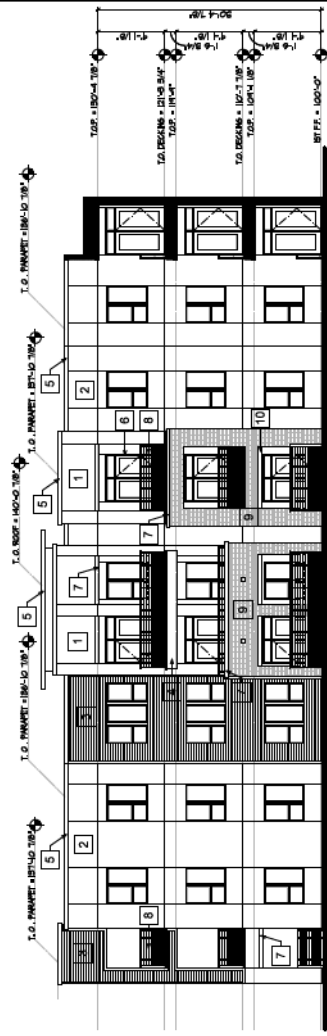


02 FRONT ELEVATION
BUILDING IV

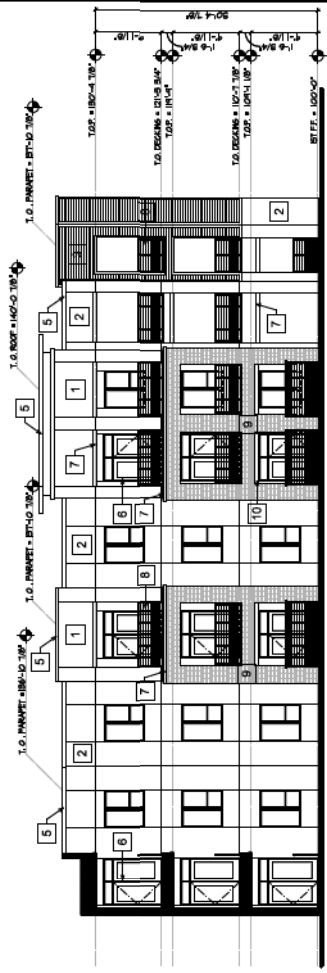


01 SIDE ELEVATION
BUILDING IV

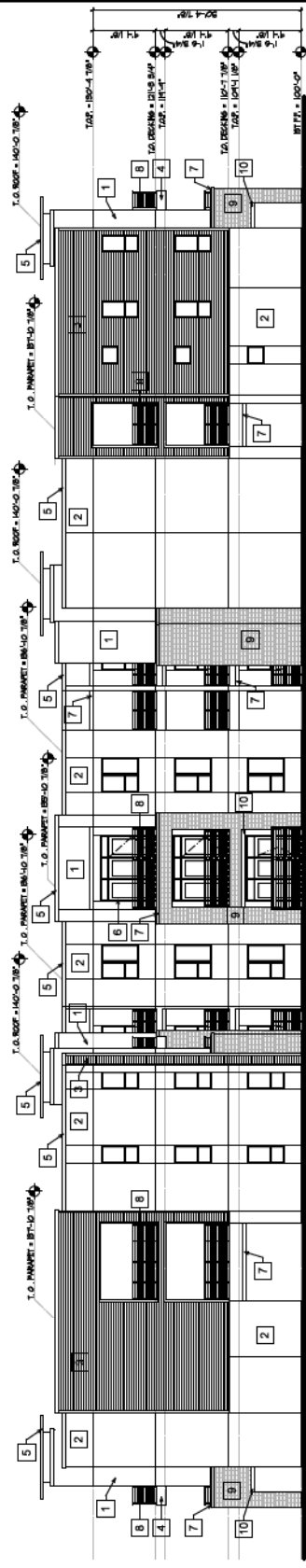
MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM
2	BRICK WALL SYSTEM
3	HANNE BRICK WALL SYSTEM
4	BRICK WALL SYSTEM
5	CONCRETE WALL SYSTEM
6	CONCRETE WALL SYSTEM
7	CONCRETE WALL SYSTEM
8	CONCRETE WALL SYSTEM
9	CONCRETE WALL SYSTEM
10	CONCRETE WALL SYSTEM



03 COURTYARD ELEVATION
BUILDING IV
SCALE: 1/8" = 1'-0"



02 COURTYARD ELEVATION
BUILDING IV
SCALE: 1/8" = 1'-0"



01 REAR ELEVATION
BUILDING IV
SCALE: 1/8" = 1'-0"



MATERIAL & COLOR LEGEND	
1	BRICK - SWANSON SYSTEM
2	BRICK - SWANSON SYSTEM
3	CONCRETE WALL SYSTEM
4	BRICK - SWANSON SYSTEM
5	BRICK - SWANSON SYSTEM
6	CONCRETE WALL SYSTEM
7	BRICK - SWANSON SYSTEM
8	BRICK - SWANSON SYSTEM
9	BRICK - SWANSON SYSTEM
10	CAST STONE HEADERS



03 COURTYARD ELEVATION
BUILDING IV
SCALE: 1/8" = 1'-0"



02 COURTYARD ELEVATION
BUILDING IV
SCALE: 1/8" = 1'-0"



01 REAR ELEVATION
BUILDING IV
SCALE: 1/8" = 1'-0"



MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM
2	SLUCCO WALL SYSTEM
3	HANNE BRICK WALL SYSTEM
4	SLUCCO WALL SYSTEM
5	SLUCCO WALL SYSTEM
6	SLUCCO WALL SYSTEM
7	SLUCCO WALL SYSTEM
8	SLUCCO WALL SYSTEM
9	SLUCCO WALL SYSTEM
10	SLUCCO WALL SYSTEM



03 SIDE ELEVATION
BUILDING V
SCALE: 1/8" = 1'-0"

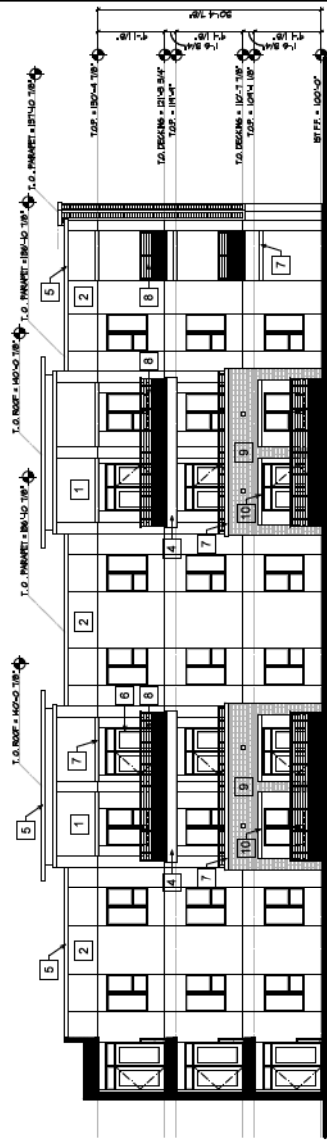


02 SIDE ELEVATION
BUILDING V
SCALE: 1/8" = 1'-0"

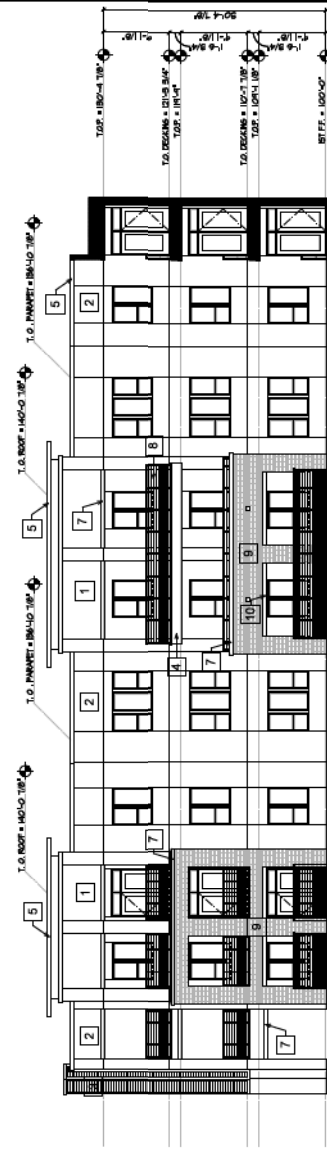


01 FRONT ELEVATION
BUILDING V
SCALE: 1/8" = 1'-0"

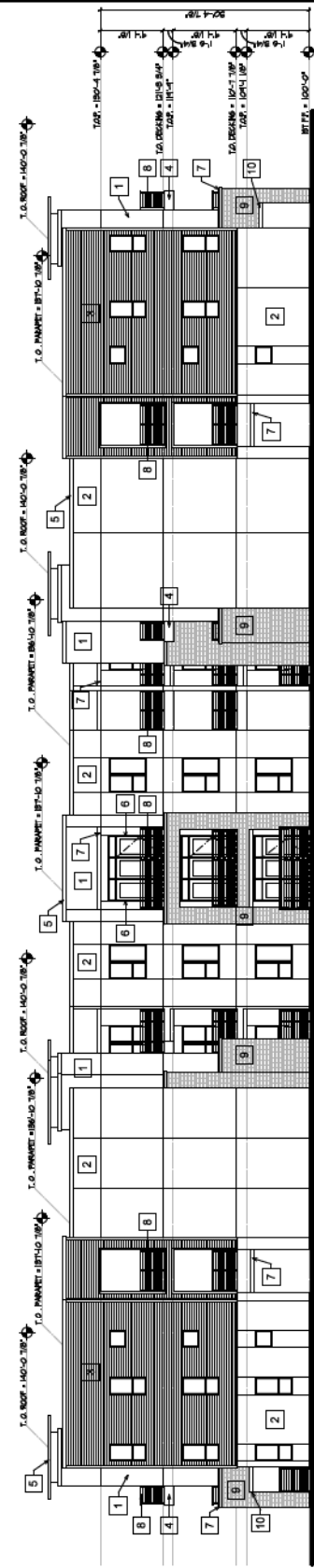
MATERIAL & COLOR LEGEND	
1	PERFORATED METAL SYSTEM
2	PERFORATED METAL SYSTEM
3	PERFORATED METAL SYSTEM
4	PERFORATED METAL SYSTEM
5	PERFORATED METAL SYSTEM
6	PERFORATED METAL SYSTEM
7	PERFORATED METAL SYSTEM
8	PERFORATED METAL SYSTEM
9	PERFORATED METAL SYSTEM
10	PERFORATED METAL SYSTEM



03 COURTYARD ELEVATION
BUILDING V
SCALE: 1/8" = 1'-0"

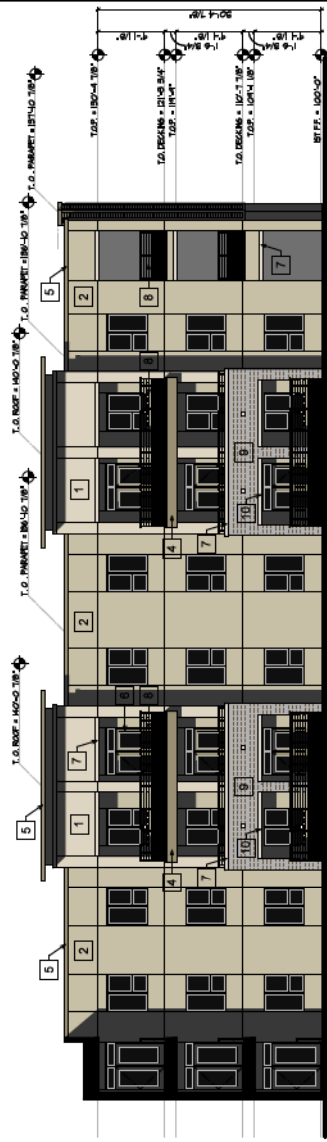


02 COURTYARD ELEVATION
BUILDING V
SCALE: 1/8" = 1'-0"



01 REAR ELEVATION
BUILDING V
SCALE: 1/8" = 1'-0"

MATERIAL & COLOR LEGEND	
1	SLATE WALL SYSTEM
2	SLATE WALL SYSTEM
3	HANNE SLATE WALL SYSTEM
4	SLATE WALL SYSTEM
5	SLATE WALL SYSTEM
6	SLATE WALL SYSTEM
7	SLATE WALL SYSTEM
8	SLATE WALL SYSTEM
9	SLATE WALL SYSTEM
10	SLATE WALL SYSTEM



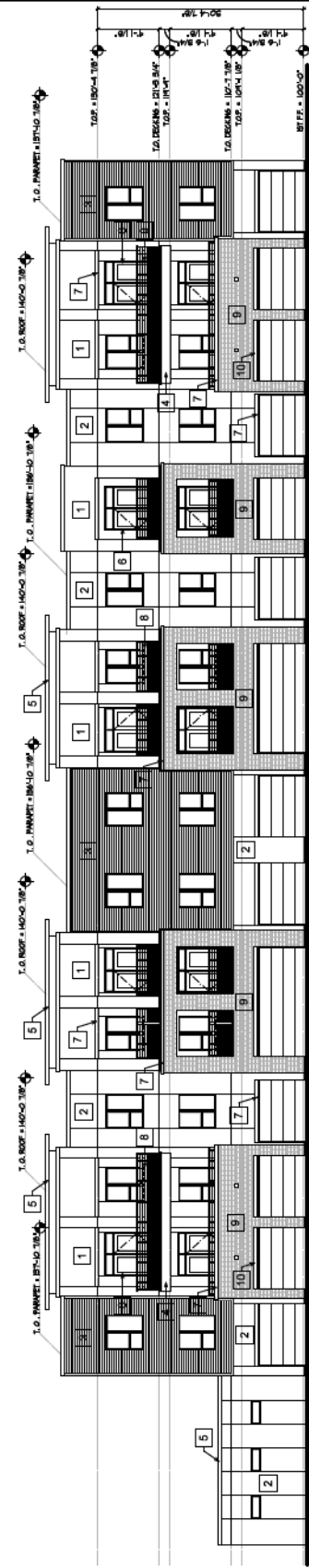
03 COURTYARD ELEVATION
 BUILDING V
 SCALE: 1/8"=1'-0"



02 COURTYARD ELEVATION
 BUILDING V
 SCALE: 1/8"=1'-0"



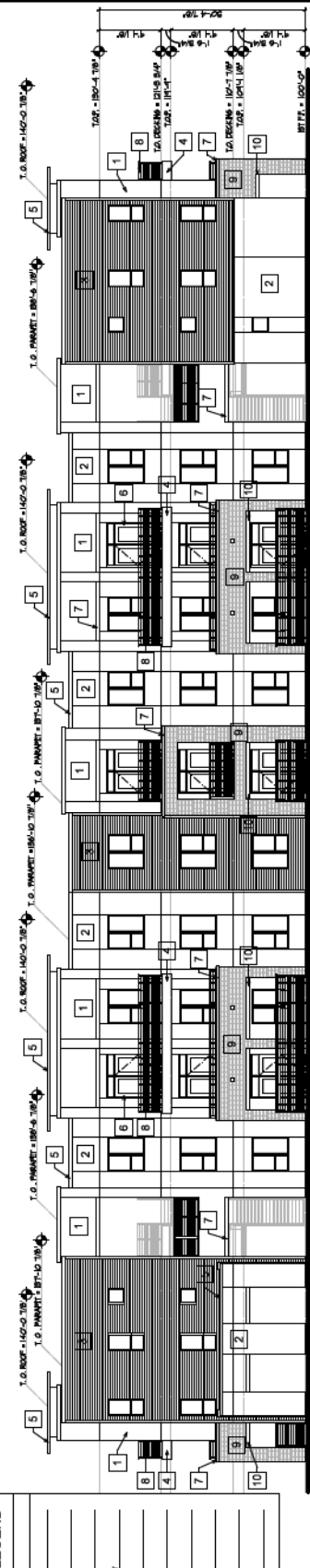
01 REAR ELEVATION
 BUILDING V
 SCALE: 1/8"=1'-0"



03 SIDE ELEVATION
BUILDING V6
SCALE: 1/8"=1'-0"



02 SIDE ELEVATION
BUILDING V6
SCALE: 1/8"=1'-0"



01 FRONT ELEVATION
BUILDING V6
SCALE: 1/8"=1'-0"

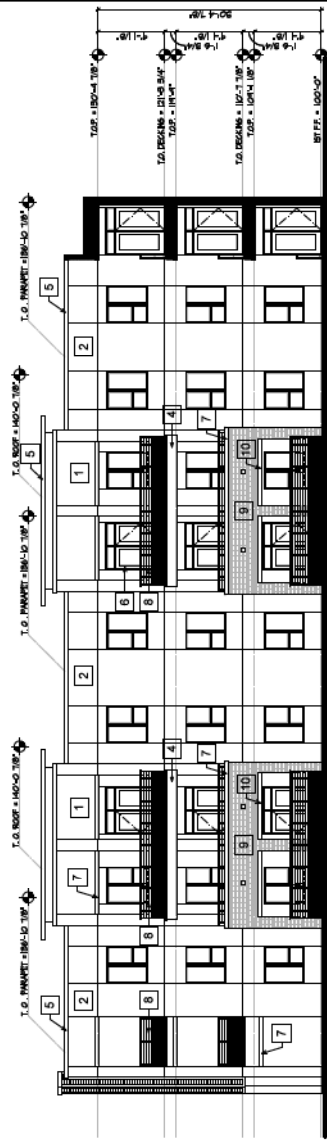
MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
2	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
3	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
4	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
5	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
6	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
7	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
8	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
9	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.
10	BRICK WALL SYSTEM 3/4" SW 6" ST. SW 6" ST.



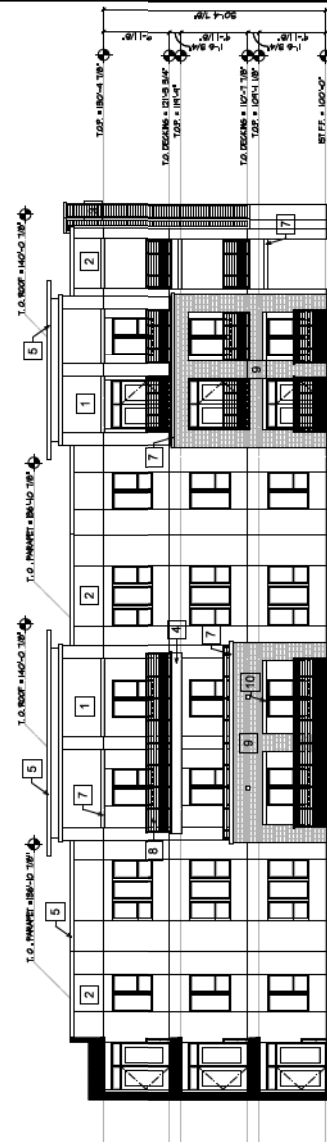
MATERIAL & COLOR LEGEND

1	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
2	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
3	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
4	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
5	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
6	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
7	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
8	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
9	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK
10	BRICK WALL SYSTEM 3/4" x 3/4" x 8" BRICK

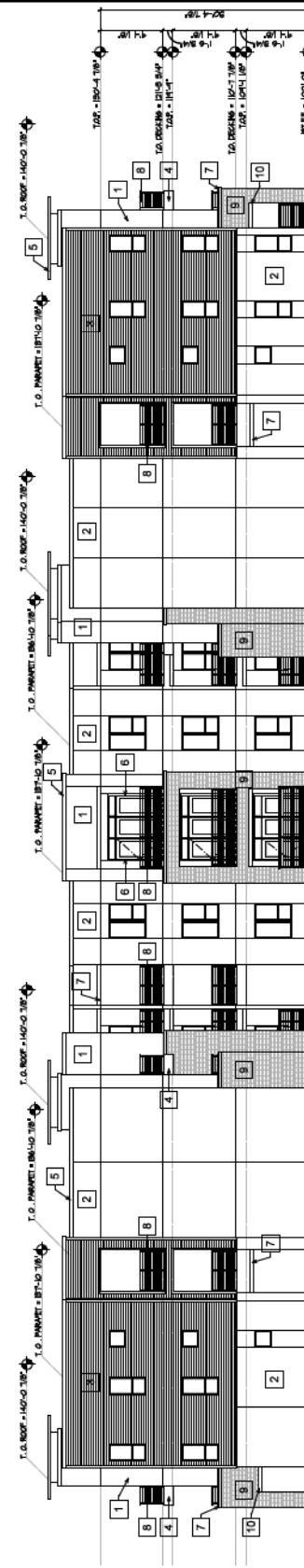
MATERIAL & COLOR LEGEND	
1	PERFORATED METAL SYSTEM
2	PERFORATED METAL SYSTEM
3	PERFORATED METAL SYSTEM
4	PERFORATED METAL SYSTEM
5	PERFORATED METAL SYSTEM
6	PERFORATED METAL SYSTEM
7	PERFORATED METAL SYSTEM
8	PERFORATED METAL SYSTEM
9	PERFORATED METAL SYSTEM
10	PERFORATED METAL SYSTEM



03 COURTYARD ELEVATION
BUILDING 03
SCALE: 1/8"=1'-0"



02 COURTYARD ELEVATION
BUILDING 02
SCALE: 1/8"=1'-0"



01 REAR ELEVATION
BUILDING 01
SCALE: 1/8"=1'-0"

PROJECT: 09-13-2015
 DATE: 09/13/2015
 DRAWN BY: JWB
 CHECKED BY: JWB
 PROJECT NO.: 09-13-2015

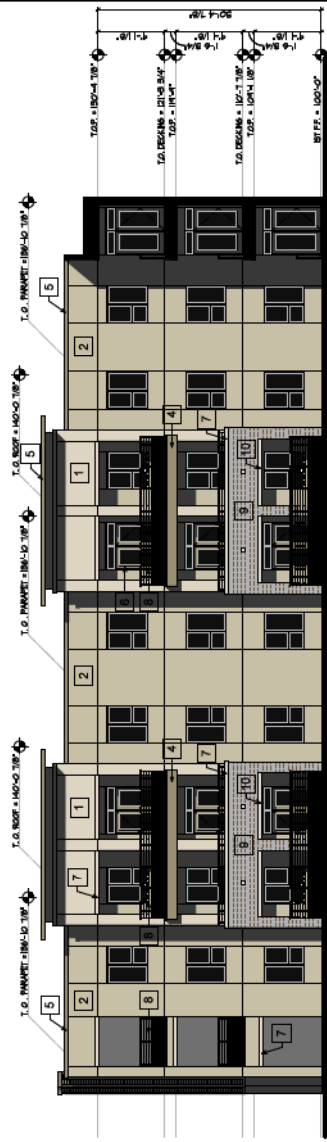
JWB PARTNERS
 ARCHITECTS, P.C.
 1000 E. McDowell Road
 Suite 100
 Phoenix, AZ 85006

Womack+Hampton
 ARCHITECTS, L.L.C.
 1000 E. McDowell Road
 Suite 100
 Phoenix, AZ 85006

Lake Country
 Village Residential
 JWB PARTNERS
 1000 E. McDowell Road
 Suite 100
 Phoenix, Arizona

Sheet Number: **A7.2**
 ELEVATIONS

MATERIAL & COLOR LEGEND	
1	BRICK WALL SYSTEM
2	BRICK WALL SYSTEM
3	HANNE BRICK WALL SYSTEM
4	BRICK WALL SYSTEM
5	CONCRETE WALL SYSTEM
6	CONCRETE WALL SYSTEM
7	CONCRETE WALL SYSTEM
8	CONCRETE WALL SYSTEM
9	CONCRETE WALL SYSTEM
10	CONCRETE WALL SYSTEM



03 COURTYARD ELEVATION
BUILDING 03
SCALE: 1/8"=1'-0"



02 COURTYARD ELEVATION
BUILDING 02
SCALE: 1/8"=1'-0"



01 REAR ELEVATION
BUILDING 01
SCALE: 1/8"=1'-0"

PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty
Trees			
	<i>Acacia aneura</i> Mulga Acacia	24" box	13
	<i>Acacia salicina</i> Willow Acacia	24" box	2
	<i>Acacia saligna</i> Blue Leaf Wattle	24" box	6
	<i>Acacia stenophylla</i> Shoestring Acacia	24" box	16
	<i>Chamaecyparis humilis</i> Mediterranean Fan Palm	36" box	35
	<i>Chilopsis linearis</i> Desert Willow	24" box	7
	<i>Chitalpa tashkentensis</i> Chitalpa	24" box	26
	<i>Dalbergia sissoo</i> Sissoo Tree	24" box	2
	<i>Fraxinus velutina glabra</i> 'Fan West' Fan-West Ash	24" box	37
	<i>Olea europaea</i> 'Swan Hill' Swan Hill Olive	24" box	27
	<i>Olneya tesota</i> Ironwood	24" box	6
	<i>Phoenix dactylifera</i> Date Palm	24" box	37
	<i>Pinus edularica</i> Wandel Pine	24" box	1
	<i>Pistacia chinensis</i> Chinese Pistache	24" box	9
	<i>Prosopis glandulosa</i> Honey Mesquite	24" box	11
	<i>Quercus virginiana</i> Southern Live Oak	24" box	55
	<i>Quercus virginiana</i> 'Cathedral Oak' Cathedral Oak	24" box	4
	<i>Sophora secundiflora</i> Texas Mountain Laurel	24" box	4
	<i>Ulmus parvifolia</i> 'Allee' Allee Elm	24" box	6
	<i>Ulmus parvifolia</i> 'True Green' True Green Elm	24" box	8
	<i>Washingtonia robusta</i> Mexican Fan Palm	24" box	28
Shrubs			
	<i>Calliandra californica</i> Red Fairy Duster	5 gal.	31
	<i>Callistemon citrinus</i> Lemon Bottlebrush	5 gal.	15
	<i>Callistemon viminalis</i> 'Little John' Bottlebrush	5 gal.	71
	<i>Convolvulus cneorum</i> Bush Morning Glory	1 gal.	64
	<i>Cordia parvifolia</i> Little Leaf Cordia	5 gal.	19
	<i>Dalea frutescens</i> Black Dalea	5 gal.	13
	<i>Dodonaea viscosa</i> Hop Bush	5 gal.	48
	<i>Dodonaea viscosa</i> 'Purpurea' Purple Hop Bush	5 gal.	96
	<i>Eremophila hygrophana</i> Blue Bells	1 gal.	14
	<i>Eremophila maculata</i> 'Valentine' Valentine Shrub	5 gal.	225
	<i>Jasminum sambac</i> Arabian Jasmine	5 gal.	30
	<i>Justicia spicigera</i> Mexican Honeysuckle	5 gal.	297
	<i>Leucophyllum frutescens</i> 'Compacta' Compact Texas Sage	5 gal.	20
	<i>Leucophyllum laevigatum</i> Chihuahuan Sage	5 gal.	4
	<i>Leucophyllum langamaniae</i> 'Lynn's Legacy' Lynn's Everblooming Sage	5 gal.	5
	<i>Leucophyllum zygophyllum</i> Blue Ranger	5 gal.	48
	<i>Nerium oleander</i> 'Petite Pink' Petite Pink Oleander	15 gal.	107
	<i>Nerium oleander</i> 'Sister Agnes' White Oleander	15 gal.	18
	<i>Olea europaea</i> 'Montra' Little Ollie Olive	5 gal.	172
	<i>Rosmarinus officinalis</i> 'Tuscan Blue' Upright Rosemary	5 gal.	97
	<i>Ruellia brittoniana</i> Ruellia	5 gal.	241
	<i>Ruellia peninsularis</i> Desert Ruellia	5 gal.	9
	<i>Russelia equisetiformis</i> Coral Fountain	15 gal.	61
	<i>Salvia coccinea</i> Scarlet Sage	5 gal.	16
	<i>Salvia greggii</i> Autumn Sage	5 gal.	52
	<i>Tecoma</i> 'Sparky' Sparky Tecoma	1 gal.	133
	<i>Tecoma stans</i> Yellow Bells	5 gal.	25

Sym.	Plant Name	Size	Qty
Groundcovers			
	<i>Acacia redolens</i> 'Low Boy' Trailing Acacia	1 gal.	28
	<i>Gaura lindheimeri</i> Pink Gaura	5 gal.	18
	<i>Gazania rigens leucolaena</i> 'Sun Gold' Trailing Yellow Gazania	1 gal.	127
	<i>Glandularia gooddingii</i> Goodding Verbena	1 gal.	4
	<i>Glandularia rigida</i> Sandpaper Verbena	5 gal.	32
	<i>Lantana camara</i> 'Dallas Red' Dallas Red Lantana	5 gal.	32
	<i>Lantana montevidensis</i> Purple Trailing Lantana	1 gal.	111
	<i>Lantana montevidensis</i> 'White' White Lantana	1 gal.	96
	<i>Lantana</i> 'New Gold' New Gold Lantana	1 gal.	99
	<i>Trachelospermum asiaticum</i> Asiatic Jasmine	1 gal.	765
Accents / Cacti			
	<i>Aloe barbadensis</i> Medicinal Aloe	5 gal.	55
	<i>Aloe x 'Blue Elf'</i> Blue Elf Aloe	5 gal.	263
	<i>Aloe variegata</i> Tiger Aloe	5 gal.	6
	<i>Asclepias subulata</i> Desert Milkweed	1 gal.	56
	<i>Euphorbia antisyphilitica</i> Candelilla	5 gal.	20
	<i>Euphorbia biglandulosa</i> Gopher Plant	5 gal.	145
	<i>Hesperaloe parviflora-red</i> Red Yucca	5 gal.	49
	<i>Hesperaloe parviflora-yellow</i> Yellow Hesperaloe	5 gal.	7
	<i>Muhlenbergia capillaris</i> 'Regal Mist' Regal Mist TM	5 gal.	253
	<i>Muhlenbergia lindheimeri</i> 'Autumn Glow' Autumn Glow TM	5 gal.	40
	<i>Nolina microcarpa</i> Bear Grass	1 gal.	54
	<i>Pedilanthus macrocarpus</i> Lady's Slipper	5 gal.	62
	<i>Portulacaria afra</i> Elephants Food	5 gal.	39
Vines			
	<i>Hardenbergia comptoniana</i> Lilac Vine	5 gal.	82
	<i>Podranea ricasoliana</i> Pink Trumpet Vine	5 gal.	15
	<i>Rosa banksiae</i> Lady Banks Rose	5 gal.	12

MASS PLANTING

	TURF - 29,857 S.F.
	EXISTING TURF - 13,170 S.F.
	ANNUALS - 100 S.F.

INERTS

Sym.	Description
	3/4" SCREENED EXPRESS BROWN DECOMPOSED GRANITE.

NOTES:

- ALL PLANTS SHALL BE WATERED WITH AUTOMATIC DRIP IRRIGATION SYSTEM.
- ALL LANDSCAPE AREAS EXCLUDING TURF TO BE COVERED WITH CRUSHED ROCK.
- LANDSCAPE ARCHITECT TO APPROVE FINAL GRADING. PLANTING SHALL NOT OCCUR UNTIL FINAL GRADING IS APPROVED.
- ALL SHRUBS TO BE PLANTED 3'-0" MIN. AWAY FROM EXISTING OR FUTURE WALLS.
- ALL TREES TO BE PLANTED 5'-0" MIN. AWAY FROM EXISTING OR FUTURE WALLS.
- WHERE POSSIBLE, ALL TREES & SHRUBS TO BE PLANTED 2'-0" MIN. AWAY FROM WALKS & CURBS. PLANT MATERIAL SHALL BE ADJUSTED IN FIELD TO AVOID TREE ROOT BALLS.

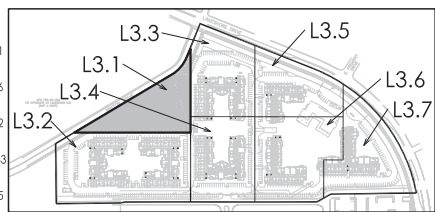
CALL TWO WORKING DAYS BEFORE YOU DIG
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

NOTI

I A K E C O U N T Y V I L L A G E

project
JLBO

drawn
TEAA



KEY MAP
SCALE: 1" = 25'

LIMIT OF WORK

MINTON DRIVE

MATCHLINE - SEE SHEET 13.1

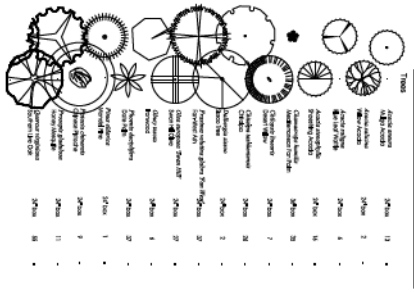
MATCHLINE - SEE SHEET 13.4

LIMIT OF WORK

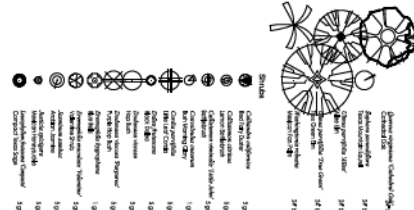
LIMIT OF WORK

WROUGHT IRON PERIMETER SCREEN WALL

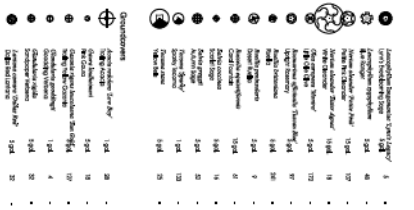
MASONRY PERIMETER SCREEN WALL



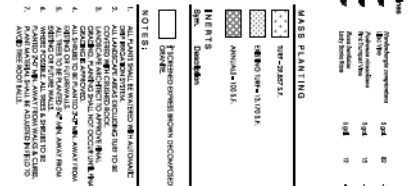
PLANT MATERIALS LEGEND - See Items



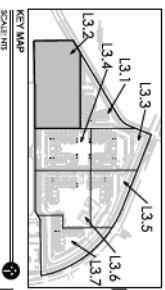
PLANT MATERIALS LEGEND - See Items



PLANT MATERIALS LEGEND - See Items



PLANT MATERIALS LEGEND - See Items



MASS PLANTING

- 1. 10'-20' TALL
- 2. 20'-30' TALL
- 3. 30'-40' TALL
- 4. 40'-50' TALL
- 5. 50'-60' TALL
- 6. 60'-70' TALL
- 7. 70'-80' TALL
- 8. 80'-90' TALL
- 9. 90'-100' TALL

MASS PLANTING

- 1. 10'-20' TALL
- 2. 20'-30' TALL
- 3. 30'-40' TALL
- 4. 40'-50' TALL
- 5. 50'-60' TALL
- 6. 60'-70' TALL
- 7. 70'-80' TALL
- 8. 80'-90' TALL
- 9. 90'-100' TALL



LAKE COUNTRY VILLAGE
ATTACHMENT 34

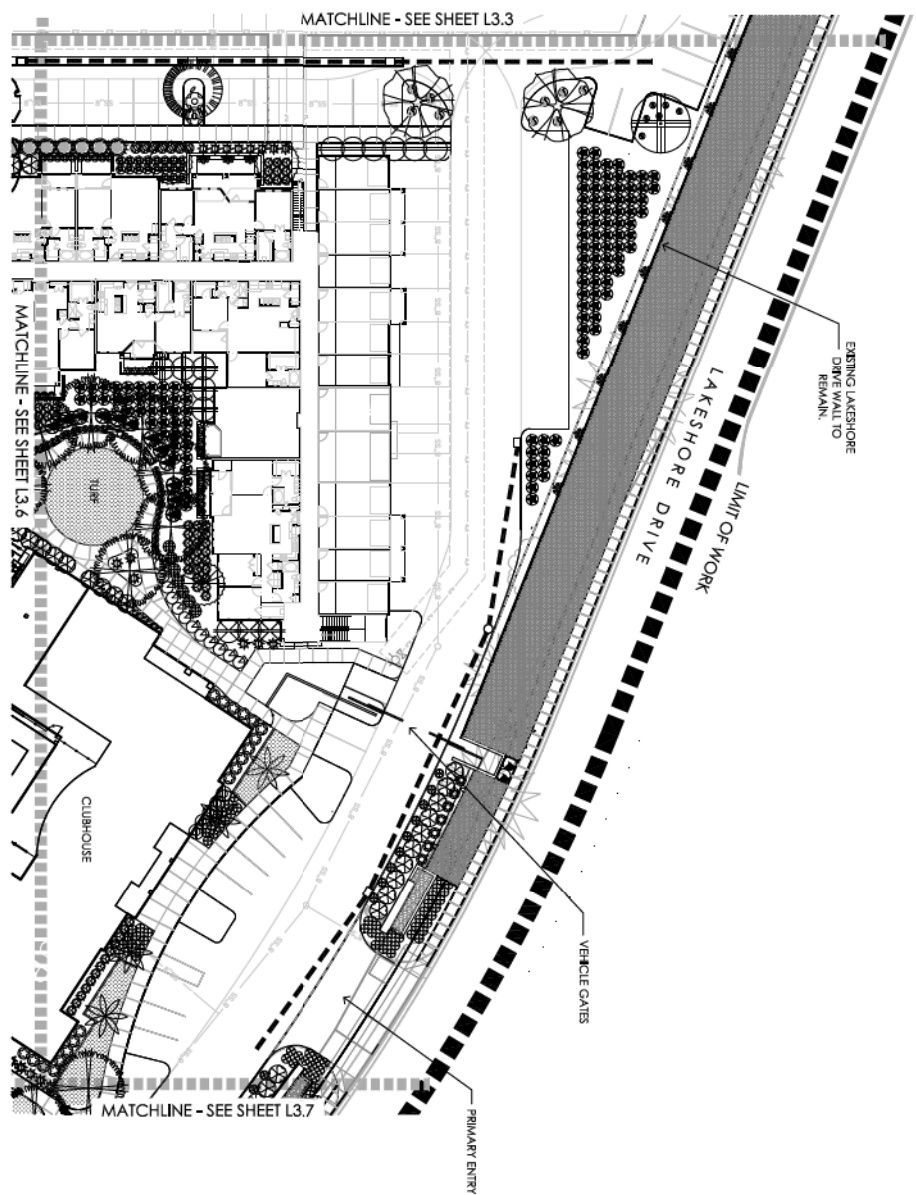
1030 E. Baseline Road
 Tempe, Arizona

PRELIMINARY
 NOT FOR CONSTRUCTION

GREY|PICKETT
 landscape architectural community design
 9833 N 16th Avenue, Suite 200
 Scottsdale, Arizona 85251
 480.489.0009 480.609.8888

These documents are protected by copyright and may not be reproduced, in whole or in part, in any form by any means, electronic or mechanical, without express written consent of the owner of these plants. Unpublished reproduction may subject you to civil and criminal penalties.

DATE: 08/26/2013
 DRAWN BY: JLB
 CHECKED BY: JLB
 SCALE: 1" = 20'-0"



PLANT MATERIALS LEGEND

Symbol	Plant Name	Size	Qty
①	Acacia saligna	24' x 24'	13
②	Acacia saligna	24' x 24'	13
③	Acacia saligna	24' x 24'	13
④	Acacia saligna	24' x 24'	13
⑤	Acacia saligna	24' x 24'	13
⑥	Acacia saligna	24' x 24'	13
⑦	Acacia saligna	24' x 24'	13
⑧	Acacia saligna	24' x 24'	13
⑨	Acacia saligna	24' x 24'	13
⑩	Acacia saligna	24' x 24'	13
⑪	Acacia saligna	24' x 24'	13
⑫	Acacia saligna	24' x 24'	13
⑬	Acacia saligna	24' x 24'	13
⑭	Acacia saligna	24' x 24'	13
⑮	Acacia saligna	24' x 24'	13
⑯	Acacia saligna	24' x 24'	13
⑰	Acacia saligna	24' x 24'	13
⑱	Acacia saligna	24' x 24'	13
⑲	Acacia saligna	24' x 24'	13
⑳	Acacia saligna	24' x 24'	13
㉑	Acacia saligna	24' x 24'	13
㉒	Acacia saligna	24' x 24'	13
㉓	Acacia saligna	24' x 24'	13
㉔	Acacia saligna	24' x 24'	13
㉕	Acacia saligna	24' x 24'	13
㉖	Acacia saligna	24' x 24'	13
㉗	Acacia saligna	24' x 24'	13
㉘	Acacia saligna	24' x 24'	13
㉙	Acacia saligna	24' x 24'	13
㉚	Acacia saligna	24' x 24'	13
㉛	Acacia saligna	24' x 24'	13
㉜	Acacia saligna	24' x 24'	13
㉝	Acacia saligna	24' x 24'	13
㉞	Acacia saligna	24' x 24'	13
㉟	Acacia saligna	24' x 24'	13
㊱	Acacia saligna	24' x 24'	13
㊲	Acacia saligna	24' x 24'	13
㊳	Acacia saligna	24' x 24'	13
㊴	Acacia saligna	24' x 24'	13
㊵	Acacia saligna	24' x 24'	13
㊶	Acacia saligna	24' x 24'	13
㊷	Acacia saligna	24' x 24'	13
㊸	Acacia saligna	24' x 24'	13
㊹	Acacia saligna	24' x 24'	13
㊺	Acacia saligna	24' x 24'	13

MASS PLANTING

① 100' x 200' PLANTING

② 50' x 100' PLANTING

③ 25' x 50' PLANTING

④ 10' x 10' PLANTING

⑤ 5' x 5' PLANTING

⑥ 2' x 2' PLANTING

⑦ 1' x 1' PLANTING

⑧ 6" x 6" PLANTING

⑨ 4" x 4" PLANTING

⑩ 2" x 2" PLANTING

⑪ 1" x 1" PLANTING

⑫ 6" x 6" PLANTING

⑬ 4" x 4" PLANTING

⑭ 2" x 2" PLANTING

⑮ 1" x 1" PLANTING

⑯ 6" x 6" PLANTING

⑰ 4" x 4" PLANTING

⑱ 2" x 2" PLANTING

⑲ 1" x 1" PLANTING

⑳ 6" x 6" PLANTING

㉑ 4" x 4" PLANTING

㉒ 2" x 2" PLANTING

㉓ 1" x 1" PLANTING

㉔ 6" x 6" PLANTING

㉕ 4" x 4" PLANTING

㉖ 2" x 2" PLANTING

㉗ 1" x 1" PLANTING

㉘ 6" x 6" PLANTING

㉙ 4" x 4" PLANTING

㉚ 2" x 2" PLANTING

㉛ 1" x 1" PLANTING

㉜ 6" x 6" PLANTING

㉝ 4" x 4" PLANTING

㉞ 2" x 2" PLANTING

㉟ 1" x 1" PLANTING

㊱ 6" x 6" PLANTING

㊲ 4" x 4" PLANTING

㊳ 2" x 2" PLANTING

㊴ 1" x 1" PLANTING

㊵ 6" x 6" PLANTING

㊶ 4" x 4" PLANTING

㊷ 2" x 2" PLANTING

㊸ 1" x 1" PLANTING

㊹ 6" x 6" PLANTING

㊺ 4" x 4" PLANTING

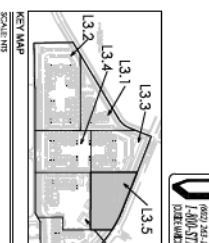
㊻ 2" x 2" PLANTING

㊼ 1" x 1" PLANTING

㊽ 6" x 6" PLANTING

㊾ 4" x 4" PLANTING

㊿ 2" x 2" PLANTING



NOTES:

1. ALL SPACES SHALL BE MAINTAINED WITH AUTOMATIC DRAIN BROUEN SYSTEM.
2. COVERED WITH CHISELED ROCK.
3. CONCRETE FINISH TO MATCH ADJACENT AREAS.
4. GRANITE FINISH TO MATCH ADJACENT AREAS.
5. ALL WELLS TO BE FINISHED WITH 2" DIA. AWAY FROM BUILDING FOR DRAINAGE.
6. WHERE POSSIBLE, ALL TREES & SHRUBS TO BE PLANTED WITHIN 5' OF EXISTING PLANTINGS.
7. AVOID TREE ROOT WALLS.

INSETS:

① Description

② Description

③ Description

④ Description

⑤ Description

⑥ Description

⑦ Description

⑧ Description

⑨ Description

⑩ Description

⑪ Description

⑫ Description

⑬ Description

⑭ Description

⑮ Description

⑯ Description

⑰ Description

⑱ Description

⑲ Description

⑳ Description

㉑ Description

㉒ Description

㉓ Description

㉔ Description

㉕ Description

㉖ Description

㉗ Description

㉘ Description

㉙ Description

㉚ Description

㉛ Description

㉜ Description

㉝ Description

㉞ Description

㉟ Description

㊱ Description

㊲ Description

㊳ Description

㊴ Description

㊵ Description

㊶ Description

㊷ Description

㊸ Description

㊹ Description

㊺ Description

LAKE COUNTRY VILLAGE

ATTACHMENT 37

1030 E. Baseline Road
Tempe, Arizona

GREY PICKETT
landscape architecture & sustainability design

803 S. 1st Avenue, Suite 200
Tucson, Arizona 85711
402.409.0000 480.609.0000

PRELIMINARY
NOT FOR CONSTRUCTION

L3.5

of

PROJECT # 18001

DATE 08/26/2013

TEAM

DRAWN BY

CHECKED BY

SCALE 1" = 20'-0"

DATE 08/26/2013

PROJECT # 18001

DATE 08/26/2013

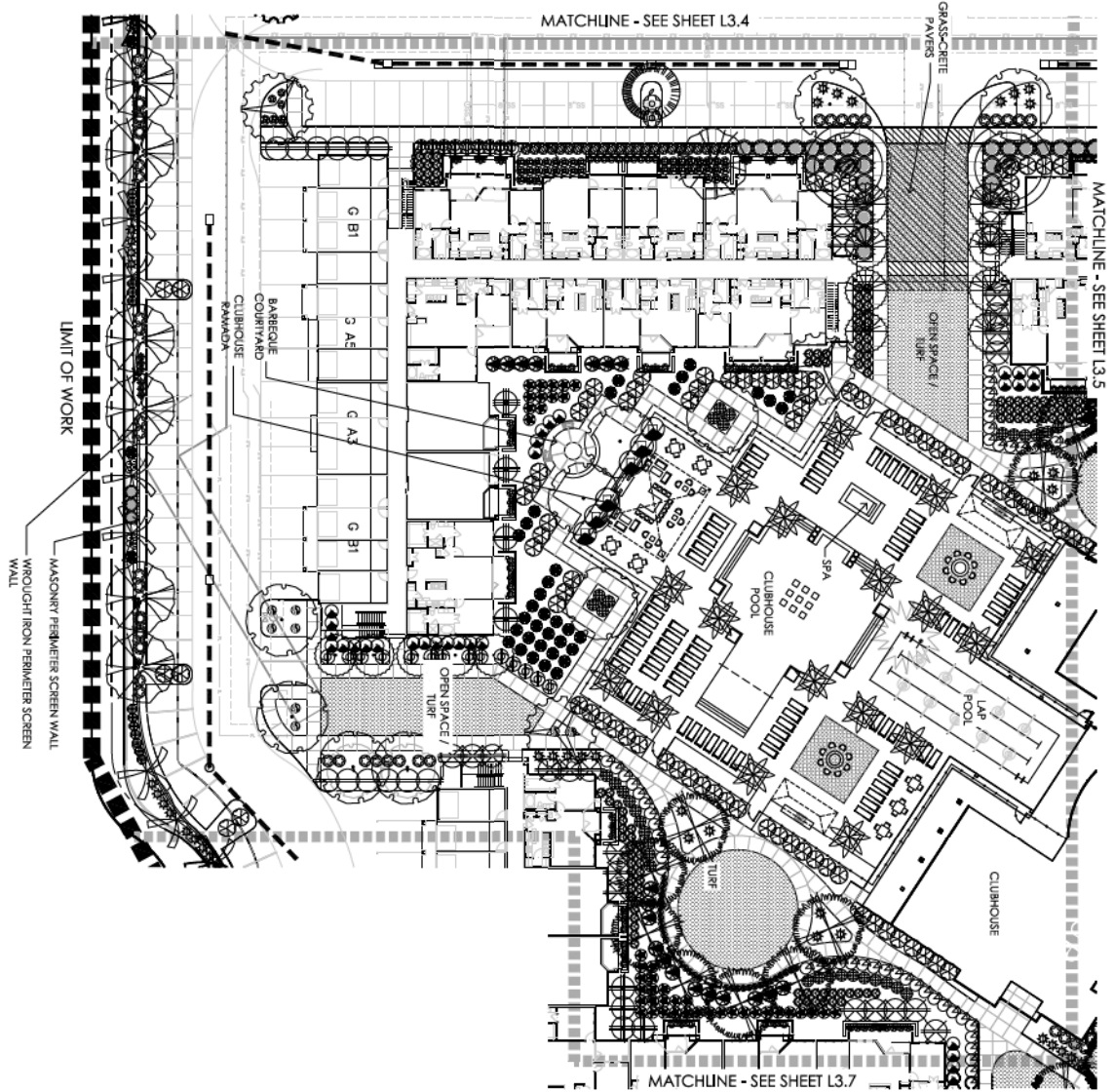
TEAM

DRAWN BY

CHECKED BY

SCALE 1" = 20'-0"

DATE 08/26/2013



PLANT MATERIALS LEGEND

Tree	Quantity	Notes
1. <i>Quercus agrifolia</i>	12	24" dia
2. <i>Quercus agrifolia</i>	12	24" dia
3. <i>Quercus agrifolia</i>	12	24" dia
4. <i>Quercus agrifolia</i>	12	24" dia
5. <i>Quercus agrifolia</i>	12	24" dia
6. <i>Quercus agrifolia</i>	12	24" dia
7. <i>Quercus agrifolia</i>	12	24" dia
8. <i>Quercus agrifolia</i>	12	24" dia
9. <i>Quercus agrifolia</i>	12	24" dia
10. <i>Quercus agrifolia</i>	12	24" dia
11. <i>Quercus agrifolia</i>	12	24" dia
12. <i>Quercus agrifolia</i>	12	24" dia
13. <i>Quercus agrifolia</i>	12	24" dia
14. <i>Quercus agrifolia</i>	12	24" dia
15. <i>Quercus agrifolia</i>	12	24" dia
16. <i>Quercus agrifolia</i>	12	24" dia
17. <i>Quercus agrifolia</i>	12	24" dia
18. <i>Quercus agrifolia</i>	12	24" dia
19. <i>Quercus agrifolia</i>	12	24" dia
20. <i>Quercus agrifolia</i>	12	24" dia
21. <i>Quercus agrifolia</i>	12	24" dia
22. <i>Quercus agrifolia</i>	12	24" dia
23. <i>Quercus agrifolia</i>	12	24" dia
24. <i>Quercus agrifolia</i>	12	24" dia
25. <i>Quercus agrifolia</i>	12	24" dia
26. <i>Quercus agrifolia</i>	12	24" dia
27. <i>Quercus agrifolia</i>	12	24" dia
28. <i>Quercus agrifolia</i>	12	24" dia
29. <i>Quercus agrifolia</i>	12	24" dia
30. <i>Quercus agrifolia</i>	12	24" dia
31. <i>Quercus agrifolia</i>	12	24" dia
32. <i>Quercus agrifolia</i>	12	24" dia
33. <i>Quercus agrifolia</i>	12	24" dia
34. <i>Quercus agrifolia</i>	12	24" dia
35. <i>Quercus agrifolia</i>	12	24" dia
36. <i>Quercus agrifolia</i>	12	24" dia
37. <i>Quercus agrifolia</i>	12	24" dia
38. <i>Quercus agrifolia</i>	12	24" dia
39. <i>Quercus agrifolia</i>	12	24" dia
40. <i>Quercus agrifolia</i>	12	24" dia
41. <i>Quercus agrifolia</i>	12	24" dia
42. <i>Quercus agrifolia</i>	12	24" dia
43. <i>Quercus agrifolia</i>	12	24" dia
44. <i>Quercus agrifolia</i>	12	24" dia
45. <i>Quercus agrifolia</i>	12	24" dia
46. <i>Quercus agrifolia</i>	12	24" dia
47. <i>Quercus agrifolia</i>	12	24" dia
48. <i>Quercus agrifolia</i>	12	24" dia
49. <i>Quercus agrifolia</i>	12	24" dia
50. <i>Quercus agrifolia</i>	12	24" dia
51. <i>Quercus agrifolia</i>	12	24" dia
52. <i>Quercus agrifolia</i>	12	24" dia
53. <i>Quercus agrifolia</i>	12	24" dia
54. <i>Quercus agrifolia</i>	12	24" dia
55. <i>Quercus agrifolia</i>	12	24" dia
56. <i>Quercus agrifolia</i>	12	24" dia
57. <i>Quercus agrifolia</i>	12	24" dia
58. <i>Quercus agrifolia</i>	12	24" dia
59. <i>Quercus agrifolia</i>	12	24" dia
60. <i>Quercus agrifolia</i>	12	24" dia
61. <i>Quercus agrifolia</i>	12	24" dia
62. <i>Quercus agrifolia</i>	12	24" dia
63. <i>Quercus agrifolia</i>	12	24" dia
64. <i>Quercus agrifolia</i>	12	24" dia
65. <i>Quercus agrifolia</i>	12	24" dia
66. <i>Quercus agrifolia</i>	12	24" dia
67. <i>Quercus agrifolia</i>	12	24" dia
68. <i>Quercus agrifolia</i>	12	24" dia
69. <i>Quercus agrifolia</i>	12	24" dia
70. <i>Quercus agrifolia</i>	12	24" dia
71. <i>Quercus agrifolia</i>	12	24" dia
72. <i>Quercus agrifolia</i>	12	24" dia
73. <i>Quercus agrifolia</i>	12	24" dia
74. <i>Quercus agrifolia</i>	12	24" dia
75. <i>Quercus agrifolia</i>	12	24" dia
76. <i>Quercus agrifolia</i>	12	24" dia
77. <i>Quercus agrifolia</i>	12	24" dia
78. <i>Quercus agrifolia</i>	12	24" dia
79. <i>Quercus agrifolia</i>	12	24" dia
80. <i>Quercus agrifolia</i>	12	24" dia
81. <i>Quercus agrifolia</i>	12	24" dia
82. <i>Quercus agrifolia</i>	12	24" dia
83. <i>Quercus agrifolia</i>	12	24" dia
84. <i>Quercus agrifolia</i>	12	24" dia
85. <i>Quercus agrifolia</i>	12	24" dia
86. <i>Quercus agrifolia</i>	12	24" dia
87. <i>Quercus agrifolia</i>	12	24" dia
88. <i>Quercus agrifolia</i>	12	24" dia
89. <i>Quercus agrifolia</i>	12	24" dia
90. <i>Quercus agrifolia</i>	12	24" dia
91. <i>Quercus agrifolia</i>	12	24" dia
92. <i>Quercus agrifolia</i>	12	24" dia
93. <i>Quercus agrifolia</i>	12	24" dia
94. <i>Quercus agrifolia</i>	12	24" dia
95. <i>Quercus agrifolia</i>	12	24" dia
96. <i>Quercus agrifolia</i>	12	24" dia
97. <i>Quercus agrifolia</i>	12	24" dia
98. <i>Quercus agrifolia</i>	12	24" dia
99. <i>Quercus agrifolia</i>	12	24" dia
100. <i>Quercus agrifolia</i>	12	24" dia

LAKE COUNTRY VILLAGE
ATTACHMENT 38
 1030 E. Baseline Road
 Tempe, Arizona

GREY PICKETT
 landscape architecture & sustainability design
 800 N. 1st Avenue, Suite 200
 Phoenix, Arizona 85004
 480.489.0000 480.489.0001

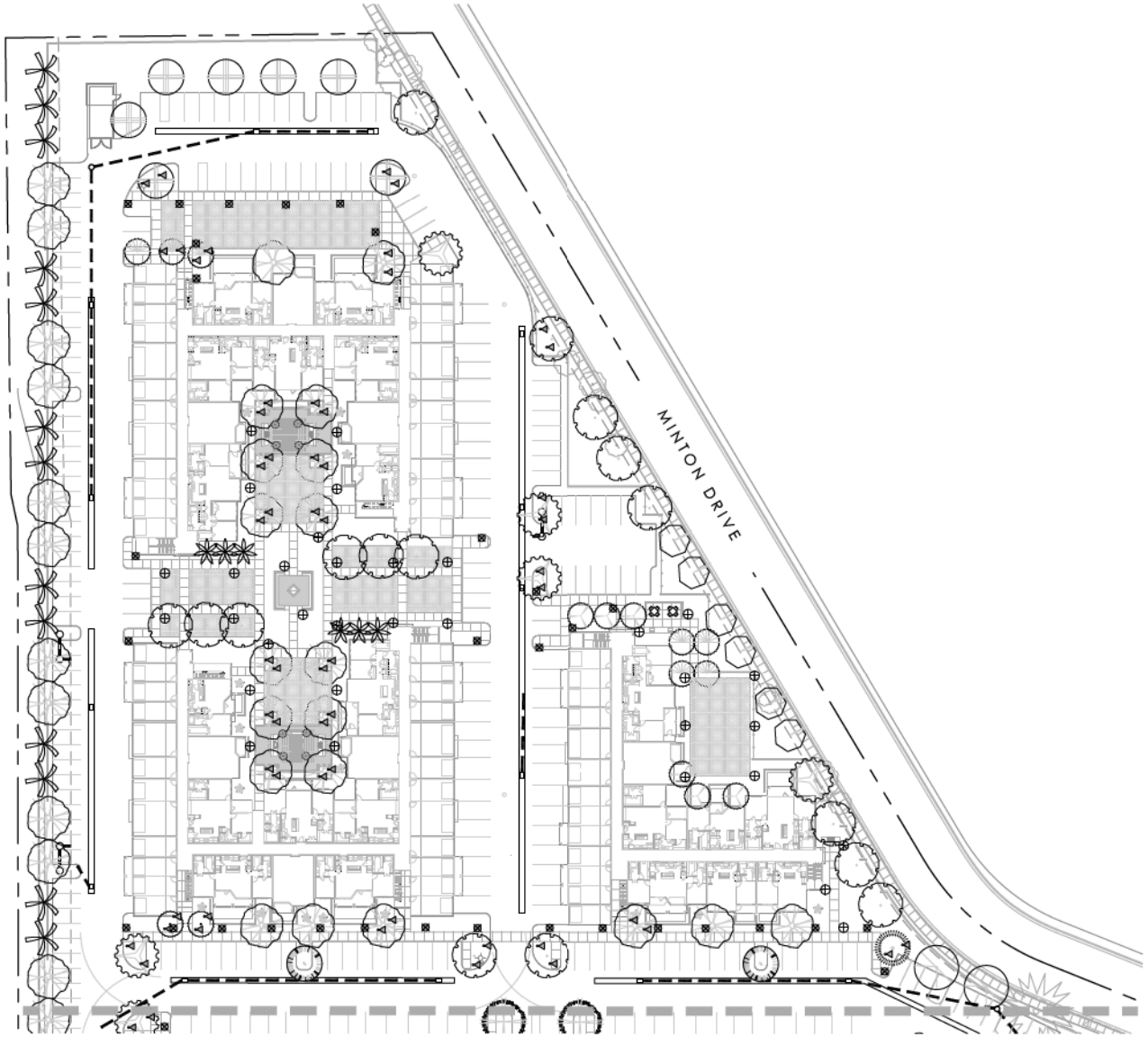
PRELIMINARY
 NOT FOR CONSTRUCTION

DATE: 08/26/2013
 TIME: 1:20 PM
 DRAWN BY: JLB
 CHECKED BY: JLB
 PROJECT #: 18001

SCALE: 1" = 20'-0"

KEY MAP showing sheets L3.1 through L3.7.

These documents are protected by copyright and may not be reproduced, in whole or in part, in any form or by any means, electronic or mechanical, without express written consent of the owner of these plans. Unchecked description may refer to a standard of care.

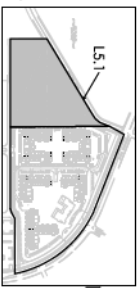


MATCHLINE - SEE SHEET L5.2

These documents are protected by copyright and may not be reproduced, in whole or in part, in any form by any means, electronic or mechanical, without express written consent of the owner or other party. Unintended reproduction may subject you to a claim of copyright infringement.

LIGHTING FIXTURE SCHEDULE

SYMBOL	QTY	DESCRIPTION
⊗	98	ROSLAND
⊕	99	PANLIGHT
△	229	UP LIGHT
⊙	28	TRILLIUM BUSH



L5.1
of
Lighting Plan

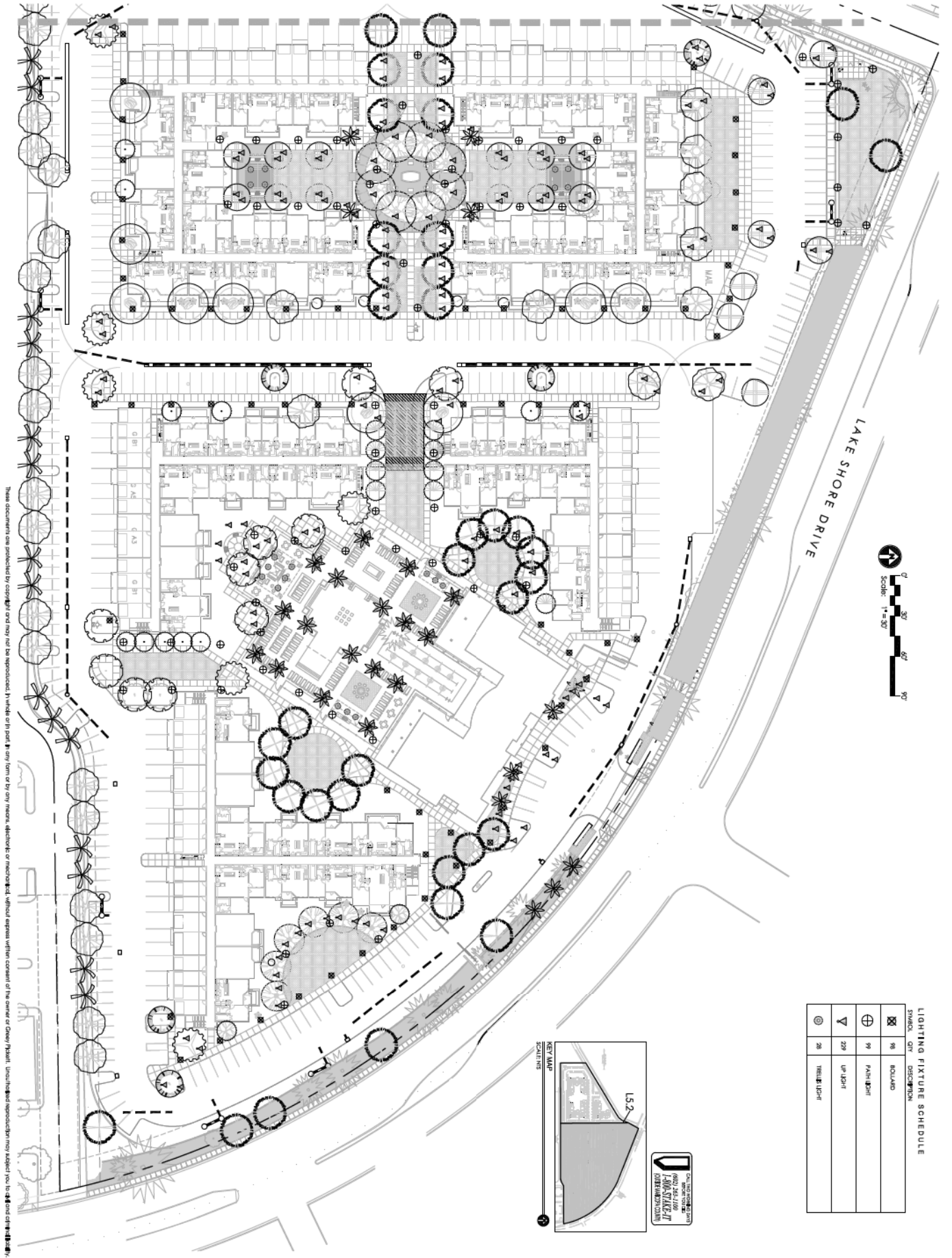
DATE: 08/26/2013
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT # [Number]
SCALE: 1" = 30'-0"

LAKE COUNTRY VILLAGE
ATTACHMENT 40
1030 E. Baseline Road
Tempe, Arizona

GREY|PICKETT
landscape architecture | community design
7803 N 11th Avenue, Suite 200
Scottsdale, Arizona 85251
480.489.0099 | 480.609.8889

PRELIMINARY
NOT FOR CONSTRUCTION

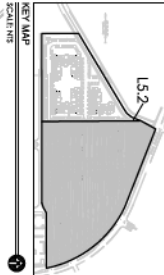
MATCHLINE - SEE SHEET L5.1



These documents are protected by copyright and may not be reproduced, in whole or in part, in any form or by any means, electronic or mechanical, without express written consent of the owner or Greer Pickett. Unpublished information may subject you to a claim of copyright.

LIGHTING FIXTURE SCHEDULE

SYMBOL	QTY	DESCRIPTION
⊗	98	SQUARE
⊕	99	PAN LIGHT
▽	229	UP LIGHT
⊙	28	RECESSED LIGHT



LAKE COUNTRY VILLAGE
ATTACHMENT 41
 1030 E. Baseline Road
 Tempe, Arizona

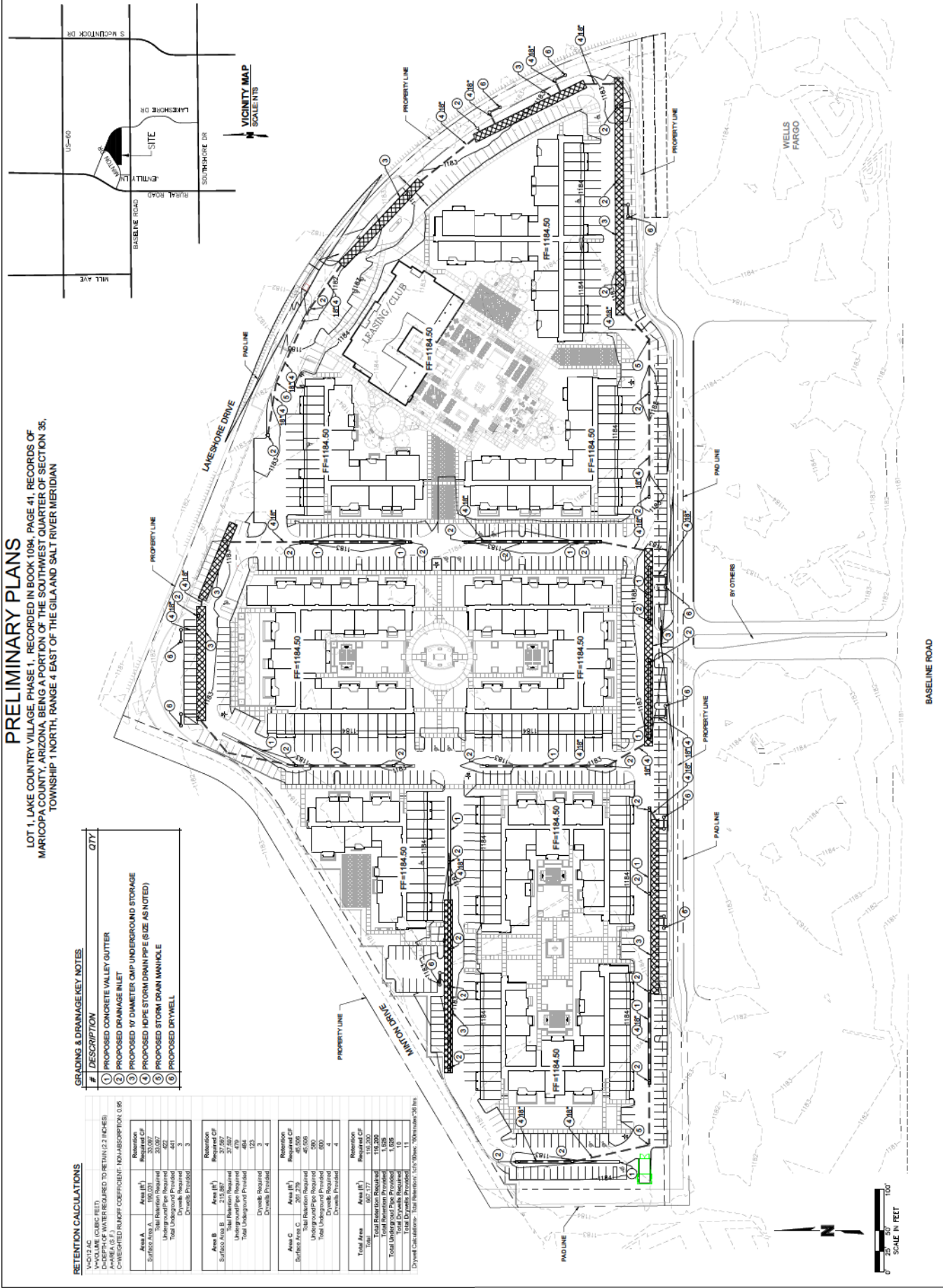
GREER PICKETT
 landscape architectural community design
 9833 N 15th Avenue, Suite 200
 Scottsdale, Arizona 85251
 480.489.0009 480.609.8889

L5.2
 of
 Lighting Plan

DATE: 08/26/2013
 TIME: 1:30 PM
 PROJECT: AL8001
 DRAWN BY: [Symbol]
 CHECKED BY: [Symbol]
 TEAM: [Symbol]



REV. NO.	DATE	REVISION DESCRIPTION



PRELIMINARY PLANS

LOT 1, LAKE COUNTRY VILLAGE, PHASE 1, RECORDED IN BOOK 1094, PAGE 41, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN

GRADING & DRAINAGE KEY NOTES

#	DESCRIPTION	QTY
1	PROPOSED CONCRETE VALLEY GUTTER	
2	PROPOSED DRAINAGE INLET	
3	PROPOSED 10' DIAMETER CMP UNDERGROUND STORAGE	
4	PROPOSED HDPE STORM DRAIN PIPE (SIZE AS NOTED)	
5	PROPOSED STORM DRAIN MANHOLE	
6	PROPOSED DRYWELL	

RETENTION CALCULATIONS

1/4"=12' AC
VOLUME (CUBIC FEET)
AREA (S.F.)
WEIGHTED RUNOFF COEFFICIENT (NO-HADSCRIPTION) (S.F.)

Area	Area (S.F.)	Retention	Required CF
Area A	215,867	27,597	27,597
Area B	201,279	45,506	45,506
Area C	479	494	494
Total	417,625	73,600	73,600

Area	Area (S.F.)	Retention	Required CF
Area A	215,867	27,597	27,597
Area B	201,279	45,506	45,506
Area C	479	494	494
Total	417,625	73,600	73,600

Area	Area (S.F.)	Retention	Required CF
Area A	215,867	27,597	27,597
Area B	201,279	45,506	45,506
Area C	479	494	494
Total	417,625	73,600	73,600

Drywell Calculations: Total Retention: 73,600; Wet Well: 10; Drywell: 10

