

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 04/09/2013  
Agenda Item: 2**

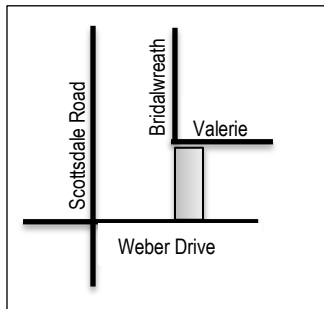
**ACTION:** Approval of a General Plan Density Map Amendment, a Zoning Map Amendment, a Planned Area Development Overlay and a Development Plan Review for THE NEWPORT (formerly SKYVIEW AT TEMPE), located at 1102 E Weber Drive. The applicant is Joseph Risi of American West Development.

**FISCAL IMPACT:** While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

**RECOMMENDATION:** Staff – Approval, subject to conditions

**BACKGROUND INFORMATION:** THE NEWPORT (formerly SKYVIEW AT TEMPE) (PL120237) is bounded by Valerie Drive to the north and Weber Drive to the south. There is an apartment community to the west, single-family homes on multi-family zoned property to the south, single-family homes to the east, and the North Tempe Multi-Generational Community Center and Laird School to the north. The applicant is requesting General Plan Density Map and Zoning Map amendments to create a Planned Area Development of 40 single-family detached homes on 2.29 acres. The request includes the following:

- GEP130027 General Plan Density Map Amendment from up to 9 du/ac Low-Moderate Density to up to 25 du/ac Medium-High Density
- ZON13002 Zoning Map Amendment from R1-6 Single-Family to R1-PAD Overlay with a density of 17.5 du/ac.
- PAD13003 Planned Area Development Overlay for density, building heights, setbacks and parking standards.
- DPR13032 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	Chris Risi, TJR Holdings
Applicant	Joseph Risi, American West Development Co.
Current Zoning District	R1-6, Single-Family Residential
Gross/Net site area	2.29 acres
Density / # of Units	17.5 du/ac / 40 units
Total Building area	29,695 s.f.
Lot Coverage	30% (45% allowed in R1-6)
Building Height	35 ft (30 feet allowed in R1-6)
Building Setbacks	12' east and west sides, 20' north and south front (through lot with reverse frontage) 0' setbacks for individual units (20' front, 5' side, 15' rear in R1-6)
Landscape area	36% (new standard, not in R1-6)
Vehicle Parking	104 spaces (80 required R1-6, 104 required in multi-family to accommodate on-site guest parking)

**ATTACHMENTS:** Development Project File

**STAFF CONTACT:** Diana Kaminski, Senior Planner (480) 858-2391  
 Department Director: Lisa Collins, Interim Community Development Director  
 Legal review by: N/A  
 Prepared by: Diana Kaminski, Senior Planner



## COMMENTS:

This site is located between Valerie to the north and Weber to the south, east of Scottsdale Road and north of the 202 freeway and Tempe Town Lake. The 2.29 acre site is a through-lot with single-family residences to the east, the North Tempe Multi-generational Community Center and Laird school to the north, The Palms apartment community to the west, and single-family homes on multi-family lots to the south. The applicant has purchased the property and is requesting the following:

1. General Plan Density Map Amendment to increase density from up to 9 dwelling units per acre to up to 20 dwelling units per acre, increasing the allowable number of units from 20 units to 40 units.
2. Zoning Map Amendment from R1-6 single-family to R1-PAD single-family. The existing R1-6 zoning allows up to 4 dwelling units per acre, or 9 units on the site; the requested change in zoning would define the density through the PAD.
3. Planned Area Development for R1-PAD zoning to set development standards for a density of 17.5 dwelling units per acre to allow 40 residences, a maximum building height of 30 feet, perimeter setbacks of 12 feet on the east and west and 20 feet on the north and south sides of the development., the individual lot lines would have a zero-foot setback.
4. Development Plan Review of elevations, colors, materials, site plan and landscape plan for 40 three-story residences with two-car garages, three bedrooms on individual lots with shared driveways and common landscape areas.

The applicant is requesting the Development Review Commission take action on item four listed above, and provide recommendations to City Council for items one through three. For further processing, the applicant will need approval for a Subdivision Plat, to subdivide the lot into 40 individual lots with a common tract.

## PUBLIC INPUT

- Neighborhood meeting was required
- Neighborhood meeting held: February 27, 2013 from 6:00 p.m. to 8:30 p.m. at the North Tempe Multi-generational Center located at 1555 N. Bridalwreath, due north of the property.
- See attached summary of meeting provided by the applicant
- Community Development staff attended the meeting. Approximately 25 property owners and residents attended. Below is a staff summary of issues identified during the neighborhood meeting and responses provided:
  - Concern that doubling the density (from the General Plan amount) of the site was too high; a suggestion was made to remove units along east side. The applicant originally wanted a 57 unit apartment community, and reduced the project scope to single family, eliminating 17 units during the site plan review process. The new plan has 40 units of detached single-family residences.
  - Concern that there would not be enough guest parking; the project meets guest parking requirements for multi-family residences, it provides 2 parking spaces per single family residence and guest parking interspersed between the units. Although there is also a public parking lot to the north of the site if overflow guest parking were needed in evening hours, the staff of the North Multi-generational Center has since indicated to Planning staff that there is not sufficient parking to share this lot during their hours of operation.
  - Concern that buildings were too tall, particularly on the east side of the site; a suggestion was made to reduce the height of the units along the east side to single-story patio homes. The units have first floor garages and the second and third floors are living spaces. It would be difficult to remove 2 floors with this product type. The allowable height in single family districts is 30 feet, and the applicant is requesting an increase to 34 feet to make higher interior ceilings and accommodate architectural elements on the exterior. Yes, the height could be lowered to 30 feet, but it would not be desirable for the proposed product.
  - Concern with the height of the eastern row of 6 units with a 12' setback from property line being too close to the homes to the east, that there would be privacy issues and the new construction would block the views to the west. The east elevations of these units have translucent glass to allow light inside but protect the privacy of residents in the units, as the windows are in stairwells and restrooms and are not intended as large view windows. The applicant indicated there is an existing tree that is taller than the proposed

- units. He offered to put poles in the ground at neighbor-specified locations, at the proposed new height of 34 feet, to demonstrate what this would look like in relation to the alley and the yards to the east.
- Concern about traffic on Marny; the site is not a gated community, however there is a gate proposed on Marny that would only allow fire, refuse and police staff to access the street to the east, no traffic from the new community would be able to use Marny.
- Question about the wall on the east side and treatment of the alley on the north east end; the developer will provide an 8' cmu wall along the eastern property line this will be adjacent to the alley on the south half, and will be the side wall of the resident facing Valerie to the north. The alley that currently wraps around the west side of his property will be opened up into the new development to allow refuse access; the temporary alley easement will be abandoned, per the original plat for this neighborhood.
- Several indicated that they liked the contemporary design and colors; a suggestion was made that the developer work with nearby interested home owners to provide paint to existing homes to incorporate the color palette into the neighborhood, to blend the new project with the older homes. The applicant said they would look into working with residents interested in this idea.
- Inquiry about plant material was made (landscape plan not available, pictures of proposed trees were shown); a request that the applicant work with interested neighbors to upgrade their yards with similar plants to tie into the existing community and make a cohesive look to the larger neighborhood.
- Residents indicated Valerie and Weber have on-street parking that may be impacted; street parking is allowed unless signed for no parking.
- Concern was expressed over existing traffic on Valerie and pedestrian activity going from Weber to the school and community center to the north. Residents indicated kids walk through the site to get to school, and will walk through the drive of the new development. They asked if speed humps could be put in on Valerie. Staff looked into feasibility of this after the neighborhood meeting: Traffic Engineering staff said a prior study of Valerie determined it did not meet the traffic volume or speed to warrant speed humps. Further, the location of this project is adjacent to the existing narrow turn at Bridalwreath and Valerie, which slows vehicles going in either direction; speed bumps or a table would not be appropriate at this location.
- Concern about the units being rental units, discussion about impacts on neighborhood of existing rentals. There is no restriction on property owners renting out their homes, just as the current property owners do in the neighborhood to the east.
- There was support for adding more single-family homes to the area, particularly if families with children moved in to support the school to the north.
- To date, staff has received 3 calls regarding the project, one in support, one of inquiry and concern, and one in opposition. Three emails and a letter of opposition have been submitted. Emails and letters from residents have been attached.

## PROJECT ANALYSIS

### GENERAL PLAN

The applicant provided a written justification for the proposed General Plan amendment.

#### Land Use Element:

The proposed use is a single-family residential use, in compliance with the General Plan land use element. According to aerial imagery, there has been a house on this lot since the late 1940s, surrounded primarily by agriculture to the north and residences to the south. Laird school opened in 1964, development of the homes to the east occurred in the 1970s and the apartments to the west occurred in the 1990s. The community center was built in 2006. With the exception of remnant parcels within the County Island, along Miller Road and within the neighborhood, this is the largest remaining undeveloped lot in north Tempe. The goal of the Land Use element is to foster development that conserves resources and enhances the environment in which people live, learn, work and play. There have been no single-family homes built in north Tempe in a couple of decades. The recent trend has been for multi-family and student housing developments that limit the opportunities for families to move into existing neighborhoods. The existing housing stock from the 50s through 70s has a mix of rental units and established owners. The proposed development encourages reinvestment and redevelopment that transitions from the multi-family apartments to the west and the single-family homes to the east. The project is not a gated community; it is integrated into the neighborhood allowing pedestrian connectivity between public streets and to public amenities to the north.

By facing units to Valerie and Weber, and restricting access to Marny, the plan controls traffic flow, promotes neighborhood preservation and enhances the area with new homes set back at the street front similar to the existing 20' front yard pattern along Valerie and Weber. Although the units are not in character with immediate single-family ranch homes, the contemporary style is more reflective of the community center to the north, and some of the newer developments north of University in Tempe. The project will rectify an existing condition on the east side, where an alley and Marny Drive dead end without sufficient circulation for fire and refuse. The current conditions have existed since the plat of My-Oh-My Estates, and were anticipated to be corrected when this lot to the west of the subdivision was subdivided. The alley north of Marny Drive has a temporary easement to drive on the side yard of the adjacent lot to the east of the site, this project will connect the alley to the new driveway onto Valerie, eliminating the need for the easement to drive next to the existing residence. Although Marny Drive was originally planned as a through street; the current condition requires larger vehicles to use private property to make a multi-point turn, there is no cul-de-sac. Providing gated access would allow fire, refuse and police access to existing and new residences, but prevent cut-through traffic from the new development onto the existing street.

The General Plan projected residential density for this site is low to moderate density, allowing up to 9 dwelling units per acre. The requested amendment would be to medium-high density, allowing up to 25 dwelling units per acre. As a 2.29 acre site, the site would go from 18 units to 57 units, but would be limited by the R1-PAD to 17.5 dwelling units per acre, for a total of 40 units, double the current density allowed by the General Plan. The requested density designation is the same as the apartment community to the west and higher than the multi-family density along Weber, which would allow 15 dwelling units per acre, or up to 34 units. Compact residences have limited private outdoor space; the unit configuration creates a courtyard design for interaction between residents promoting a village environment that interacts with the surrounding community.

**Accessibility Element:** As single family homes the project does not have ADA requirements, as three-story residences they would not be accessible units.

**Community Design Element:** The existing residences along Valerie and Weber are set back between 20 and 29 feet from the front property line, the new development has homes facing the street, with front yards of 20 feet, in keeping with the development pattern of the existing homes. Instead of walling off the new homes with gates and perimeter landscape, the new development provides a focal point, encouraging pedestrian movement, community interaction and multi-modal transportation. The design responds to climactic factors and enhances the surrounding environment. The architecture is a diverse departure from the surrounding area, but has continuity with the community center to the north.

**Historic Preservation Element:** Although aerial photography indicates there has been a structure in the general location of the existing home since the 1940s, and the site appears to be the original agricultural home of the surrounding farm land, the Historic Preservation Office has no records of the existing structure, which would be torn down for redevelopment of the site.

**Housing Element:** The project is not an affordable housing development; this would be new market rate product. The proposed project would add 40 single-family detached residences ranging from 1,535 to 1,659 square feet, providing secured two-car garages, livable interiors with modern amenities and energy efficient construction. The introduction of this new product may create a revitalization of surrounding residences, either through infusion of owner upgrades or more market demand for owner occupied product in this location.

**Neighborhoods Element:** The applicant met with approximately 25 neighbors at the required public meeting. See comments from neighborhood meeting summary of discussions and concerns. The applicant is offering to provide aesthetic upgrades to properties closest to the development, to integrate colors and plant materials of the new palette into the existing neighborhood, as a transition from old to new housing. Density was a concern of the residents; however properties to the west and south of this site are zoned R-2, allowing up to 15 dwelling units per acre. The proposed project would be 17.5 dwelling units per acre, slightly above what existing properties have. The proposed design minimizes traffic impacts to the existing neighborhood, promotes a safe neighborhood, promotes a walkable community, promotes alternative transportation, and promotes neighborhood revitalization. Another concern was the height of the six units on the east side. There was a request to make these one-story patio homes to step down in height to the existing single family homes. The existing R1-6 standards allow 30 feet in height, with a 5-foot side yard and 15-foot rear yard setback allowed. These new units would be 12 feet from the property line, with a 16-foot alley, providing 28 feet between the new homes and the yards of the existing units to the east. The applicant is asking for a height increase to 34 feet. Staff is conditioning that the six units along the east side be reduced to 2 stories, or 23 feet to transition between existing one-story homes and proposed new three-story homes.



**Redevelopment Element:** The site would be removing one existing residence and replacing it with 40 new homes. The area is not a redevelopment area, but the goal of this element is to sustain or maximize the efficiency of land uses within areas of stagnation or decline by providing the best economic, social and cultural potential to minimize or mitigate slum, blight or other conditions affecting health, safety and welfare. As a two acre relatively vacant parcel, development of this lot would contribute to the revitalization of the immediate area.

**Economic Development Element:** With new employment projected in the Papago Salado area, and ongoing development of SkySong to the north, the introduction of a new single-family product currently not available in this area is supportive of sustainable diversified community development, encouraging new residents to the area to support existing and new businesses and provide employees to these businesses.

**Cost of Development Element:** The proposed new development would be responsible for all water and sewer infrastructure to support the new homes. The school to the north has had declining enrollment, which could benefit from the addition of properties contributing to the property tax and enrollment base for this area.

**Environment (Air, Noise, Ambient Temperature, Energy) Element:** The 2 acre vacant parcel is a potential contributor to air quality with dust from the north portion of the lot. The proposed development would fully landscape the site and reduce PM-10 impacts in the area near a school. The units are proposed to be designed for energy efficiency and with the narrow footprint and shade trees, should be shaded to reduce heat gain on the new structures.

**Land (Remediation, Habitat, Solid Waste) Element:** There are no known remediation issues on this property, it has been utilized as a single-family residence for decades. There is no habitat value to the site. The increase in density will result in an increase in solid waste from the number of new residents. As single family residences, the project will be able to use the city recycling program to reduce solid waste: multi-family communities are less likely to use this service.

**Water (Water, Wastewater, Stormwater) Element:** North Tempe has a relatively low population density currently, with close proximity to the water treatment plant. The General Plan has projected greater densities to be accommodated through the water and waste water service supply system; this project will not exceed projected supply and demand needs for the area. The property will meet required storm water retention and may mitigate existing conditions that have not been engineered to retain on site.

**Transportation (Pedestrian Network, Bikeways, Transit, Travel-ways) Elements:** The proposed development provides the opportunity for pedestrian connectivity from Weber to Valerie, encourages the use of multi-modes of transportation, has access to orbit, and prevents vehicular traffic on Marny, to minimize impacts to existing residences. Traffic Engineering has reviewed previous studies of traffic on Valerie Drive, and determined that the street did not meet requirements for speed humps or traffic calming. No additional traffic mitigation is necessary as a result of this development.

**Aviation Element:** The property is located within the Sky Harbor International Airport flight path and has easy access to the airport for residents of the development. The newer construction materials for the energy code will afford interior sound mitigation to the residents of the new community.

**Open Space Element:** The site does not have significant open space for residents. The Indian Bend Wash, Papago Park and Indian Bend Park are all within walking or biking distance of the new residences.

**Recreational Amenities Element:** The site does not offer recreational amenities to the new community. The North Tempe Multi-generational Center to the north would provide recreation opportunities.

**Public Art & Cultural Amenities Element:** The project does not qualify for requirements of Art in Private Development. There is no impact on this element.

**Public Buildings and Services Elements:** The increase in density will increase needs for services such as police, fire, water and refuse collection. The proposed size of the project is relatively small compared to other multi-family developments

with larger numbers of residents to serve. An HOA for the community will dictate maintenance standards for the residences and common areas and landscape; this will reduce the need for code enforcement actions necessary with unregulated developments.

**Public Safety Element:** The design of the homes facing Valerie and Weber provides more surveillance of the street for crime prevention and community activity support. Single-family homes with an HOA provide additional private-regulation of behavior. The property will have a lighted directory on Weber to assist fire and police responding to calls for service, and all residences will be addressed for easy way-finding within the community. The project was reviewed by Police staff for crime prevention design standards, and will comply with lighting and landscape requirements not typically found in single-family developments.

Section 6-303 D. Approval criteria for General Plan amendment (*in italics*):

1. *Appropriate short and long term public benefits; redevelopment and infill appropriate to the area, generating new single-family available product in an established neighborhood, limiting density to 17.5 dwelling units per acre, which is 2.5 du/ac greater than the majority of multi-family lots to the south of Weber.*
2. *Mitigates impacts on land use, water infrastructure or transportation; provides required parking for residents and guests, promotes connectivity between uses within the neighborhood, supports alternative modes of transportation, and encourages reinvestment in the existing community.*
3. *Helps the city attain applicable objectives of the General Plan; as outlined in the above analysis, the proposed development provides a compatible land use for infill housing.*
4. *Provides rights-of-way, transit facilities, open space, recreational amenities or public art; the proposed project is not required to implement transit, open space, recreation or public art elements of the plan, however the project will provide a public ingress/egress easement for alley access from the east and a restricted access easement through Marny Drive for public safety and refuse collection.*
5. *Potentially negative influences are mitigated and deemed acceptable by the City Council; the proposed height of the project is 4 feet higher than current zoning allows, the proposed 12 foot setback is 7 feet deeper than existing side yard setbacks of residences to the east. The eastern-most units have no balconies and have clerestory and obscured glass fenestration for privacy protection. The developer has met with neighbors and tried to mitigate negative impacts.*
6. *Judgment of the appropriateness of the amendment with regard to market demands, and impacts on surrounding area, service, fiscal, traffic, historic properties, utilities and public facilities; the property has remained undeveloped for decades, but is in an opportune location to meet market demand for new single-family housing. The proposed density appears appropriate to the area, which has existing densities of up to 25 du/ac and up to 15 du/ac, and the proposed height is 4 feet taller than the existing allowed height in most development standards in the area. The sales price of the land was approximately \$20,000 per lot, which, if constructed with a 1,500 s.f. residence at \$150 per s.f. would cost \$225,000 plus the cost of the lot to break even. There are no significant impacts to services but there are potential impacts to property valuation and school funding availability. Design of the site should not significantly impact traffic beyond existing conditions, there are no known historic structures on the site, and existing utilities will be undergrounded or upgraded to meet current building code requirements.*

## ZONING

The property is currently zoned single-family R1-6, allowing up to 4 dwelling units per acre. The property to the west is zoned R-4, with a density of up to 25 du/ac. Properties to the south are zoned R-2, with either single-family or multi-family residences with a density up to 15 du/ac. The properties to the east are R1-6, similar to this site. The proposed amendment would retain the single-family zoning, and create a Planned Area Development Overlay to define the standards at a greater density than that allowed by the conventional zoning districts. The proposed change would define new development standards that are compatible with surrounding zoning classifications. The street front setback would be similar to the adjacent residences on Valerie and Weber, the east and west side setbacks would be 12'; R1-6 has a 5-foot side setback and R-2 has a 10-foot side setback. These would be the perimeter setbacks of the site, with individual lots having a zero-lot-line configuration within the development. The proposed building height would be 34 feet; existing zoning allows 30-foot building heights.

Section 6-304 C.2. Approval criteria for Zoning amendment (*in italics*):

1. *The proposed zoning amendment is in the public interest* by developing a parcel with single-family housing as an infill development to an established neighborhood, by rectifying a street and alley circulation condition created by the existing development to the east to assure fire, police and refuse service, and by creating an open plan of development (ie. not a gated community) that encourages pedestrian activity and engages the street-front through unit design and configuration.
  
2. *The proposed zoning amendment conforms with and facilitates implementation of the General Plan* in land use, and through the proposed amendment for density.

**PLANNED AREA DEVELOPMENT**

The requested Single-Family Residential Planned Area Development (R1-PAD) is requesting to modify the proposed standards to allow 40 residences on a 2.29 acre site. Below is a comparison of existing and proposed standards:

<b><u>Standard</u></b>	<b><u>Existing</u></b>	<b><u>Proposed</u></b>
General Plan Land Use	Residential	Residential
General Plan Density	Low-Moderate (up to 9 du/ac)	Medium-High (up to 25 du/ac)
Zoning	R1-6	R1-PAD
Density	4 du/ac	17.5 du/ac
Units	9	40
Building Height	30	34
Building Area		29,695 s.f.
Lot Coverage (of total site)	45%	29.70%
Lot Coverage (per unit)	45%	100%
Landscape Area (of total site)	n/a	36.40%
<b><u>Building Setbacks</u></b>		
South Street Front (Weber )development setback	20'	20'
North Street Front (Valerie) development setback	20'	20'
Side (east and west) development setback	5'	12'
Lot 1-34 Front (individual unit) building setback	20'	5'
Lot 1-34 Rear (individual unit) building setback	15'	0'
Lot 1-34 Side (east and west) (individual unit) building setback	5'	0'
Lot 35-40 Front (individual unit) building setback	20'	4'
Lot 35-40 Rear (individual unit) building setback	15'	3'
Lot 35-40 Side (east and west) (individual unit) building setback	5'	0'
<b><u>Building Areas</u></b>		<b><u># of Units</u></b>
Plan 1 : 2 bedroom/2 + 2 half-baths : 1,535 s.f., 80 s.f. balcony, 100 s.f. rooftop deck		13 units
Plan 2 : 2 bedroom + den/ 2 + 2 half-baths : 1,545 s.f., 95 s.f. balcony, 204 s.f. rooftop deck		15 units
Plan 3 : 3 bedroom/2 + 2 half-baths : 1,659 s.f., 95 s.f. balcony, 204 s.f. rooftop deck		12 units

*chart continued on next page*

	<b><u>Required R1-6 Parking</u></b>	<b><u>Proposed R1-PAD Parking</u></b>
28 units with 2 bedrooms	80 (2 parking spaces per single family unit)	56 (2 parking spaces per multi-family unit)
12 units with 3 bedrooms	n/a	30 (2.5 spaces per multi-family unit)
Guest	n/a	8 (.2 spaces per multi-family unit)
<b>TOTAL PARKING</b>	80 single family required	94 multi-family required 104 provided
	<b><u>Required R1-6 Bike Parking</u></b>	<b><u>Proposed R1-PAD Bike Parking</u></b>
28 units with 2 bedrooms	n/a	21 (.75 bike spaces per multi-family unit)
12 units with 3 bedrooms	n/a	12 (1 space per multi-family unit)
Guest	n/a	8 (.2 spaces per multi-family unit)
<b>TOTAL BIKE PARKING</b>	n/a	Bike storage in unit garages plus 23 guest spaces in common areas

The proposed standards would increase density from 9 units to 40 units, modify building heights from 30 to 34 feet, increase perimeter development setbacks from 5 to 12 feet for the sides, decrease allowable lot coverage (overall) from 45% to 29.7% and increase parking from 80 to 104 spaces on site (80 spaces in garages). The proposed development takes a narrow through-lot with multi-family residential to the west and single-family residential to the east, and creates a transitional product of detached for-sale homes as an infill development. The product is unique in providing a two-car garage for each unit, guest parking on site, two floors of livable space, balconies and roof-top decks, and a contemporary architectural style. The development is not gated, but embraces the existing community context. The site provides public access to and from the school and multi-generational center to the north through to Weber, encouraging pedestrian connectivity. The design provides crime prevention standards above what is required of standard single family properties, and activates the street fronts with units that match existing front yard setbacks, continuing the neighborhood experience. The developer is willing to work with existing homeowners near the site to incorporate the paint palettes of the project into existing residences, to better tie the new development into the established community. The project provides three floor-plans with nine different elevations, to provide a diverse housing product with continuity in materials and colors. The proposed PAD allows flexibility to encourage a creative design solution that meets market demands for housing.

Section 6-305 D. Approval criteria for P.A.D (*in italics*):

1. *The proposed residential land uses is allowable in Part 3.*
2. *The development standards listed above, as established as part of the PAD Overlay District, as well as the standards allowed by use permit in Part 4 will be conformed to for development of this site.*
3. *The proposed PAD is in conformance with provisions in Part 5: as outlined in the above narrative.*
4. *The conditions of approval are reasonable to ensure conformance with the provisions of the Zoning and Development Code.*

## DEVELOPMENT PLAN REVIEW

### Site Plan

The proposed development is integrated into the neighborhood, not a walled or gated community. Four units face Valerie and Weber drives respectively, addressing the street front with a building setback similar to other houses along these streets. These outer units complete the street frontage on both Valerie and Weber Drives, providing a transition from single family to the east, and multi-family to the west.

Six units of the proposed development line the east side of the site adjacent to existing homes on Marny Road and Rose Street. These units are set back 12 feet from the property line and have a 16-foot alley to the east; providing a 28-foot distance from building to property lines of lots on Rose, or approximately 78 feet from building to existing houses on Rose. For comparison, when The Palms apartments on Scottsdale to the west were entitled, they were restricted to a minimum setback of 75 feet on the south side of the property. The residence on the south side of Marny Road has a 13-foot public utility easement, making this home the closest to the new structures with no alley as a buffer. This home would be approximately 23 feet from the nearest new residence. However, the alignment of the new residence would stop at the back of the house on Marny; there is a landscape area adjacent to the existing home. Due to the narrow 161.5-foot width of the lot, this site is challenged to fit the number of units proposed and meet circulation requirements. Early discussions with the development team to reduce the number of units to 34, eliminating these 6 units and providing more open space was not considered feasible. Since these are single-family homes, a comparison to the setbacks allowed in the R1-6 district would allow the side yard setback to be 5 feet and the rear yard is 15 feet. Accessory buildings in the back yards would be allowed to include the half alley as part of the setback calculation: this would allow sheds or small buildings in the rear yards that were 7 feet from the rear property line. Therefore the proposed development perimeter with a 12' buffer is appropriate to the surrounding development patterns.

The remainder of the units are loaded to the west side of the site, in clusters of six or eight units with a central walkway leading to the front porch, and parking garages facing centralized driveways running east/west on the site. These driveways become adjunct courts to the homes. Residences have limited private open space and common landscape in the 12' perimeter buffer and small open tract centrally located near the alignment with Marny Road.

The primary drive enters from Weber Drive at the east side, and continues north to Valerie. A slight curve in the drive is created by the units on the east side, so that there is not a clear visible straight path of travel, reducing cut through traffic and providing a territorial entrance without gating the site. A gated access is provided at Marny for fire, police and refuse access only, resolving an existing dead end created by the development of the residences to the east. The alley at the north east end will be opened to allow egress of refuse trucks, and residents from the east who currently drive on private property at the eastern-most residence facing Valerie Drive. An existing temporary alley easement was platted on this lot with anticipation of the alley continuing west and the temporary easement being abandoned. The proposed site plan resolves this issue and allows the homeowner to reclaim their side yard from public vehicular access. The developer will install a new 8' CMU wall to separate this existing property from the drive of the new development, which will serve as the new point of egress for the alley. Guest parking is provided between units, providing 24 more parking spaces than required for single family homes. For comparison, the single-family homes on Marny have a one car carport or garage and room in the driveway for one tandem parked car, plus room for 1-2 vehicles parked on the street. The proposed new development has 2 car garages, plus just over one guest space for every two units.

### Building Elevations

The development has a contemporary beachfront appearance, with clusters of buildings of varied materials and colors. There are nine different elevations, with specified locations on site to provide diversity at the street front and internal to the development. The locations of each floor plan and elevation are keyed to a map on each page of the attached drawings.

The eastern row of units (sheets 1-4, 2-4 and 3-4 in the elevations) are alternative elevations that have limited windows on the east elevation, using small slot windows, clerestory windows for light into bathrooms, hallways and stairways, while providing privacy to both the existing residents to the east, and the new residents within the units. These units also do not have balconies facing the east. The elevations facing the residents to the east are labeled *1A, 2A, and 3A ALT. Rear Elevation* in the attached sheets. The design team has taken careful consideration to minimize privacy conflicts between

existing and new residents. The development is proposing to increase the building height from 30 feet to 34 feet. The residences in the R1-6 single-family district to the east have a 30 foot maximum building height, and through the use permit standard process could increase this height to 33 feet. According to the Zoning and Development Code, any single-story residence would be required to get a use permit to exercise their entitlement rights for 30 feet, to allow a public hearing process and determine compatibility. The six units of the proposed development are approximately 23 feet from the house on the south side of Marny Road, and approximately 78 feet from the new buildings to the existing homes to the east along Rose. For comparison, when The Palms apartments on Scottsdale to the west were entitled, they were allowed a height increase from 35 to 40 feet and were restricted to two-story units with a minimum setback of 75 feet to the south property line. Staff has received letters of opposition from the property owners of the three of homes adjacent to the site on Rose Lane. Upon consultation with the City Architect, and review of the previous apartment community entitlements to the west, staff has determined a compromise of reducing the heights of these six units to two-story or no more than 25 feet in height would be appropriate. A condition of approval has been included for the Commission and Council consideration. This would change the product type for these six units, as the first floor is primarily garage, with living space on the units above. Removing a floor would require modification to the site plan and elevations, to possibly make an attached unit plan for these six units.

Units internal to the site have balconies at the second and third floor levels, providing outdoor living space for the residents, overlooking the street front or the interior courtyards entering the clusters of units. The materials include painted stucco (five different color pallets), smooth Hardie plan horizontal lap siding, cedar mill wood grained Hardie panel vertical board and batten siding, corrugated metal siding, metal standing seam roof, decorative metal awnings and trellises, wood trim, metal guardrails, translucent panel garage doors and exposed wood rafter tails. Window sizes and locations vary from unit to unit to provide views and privacy as designed within the layout of the site with each specific unit type. The colors are warm and cool greys and greens, and warm beige and taupe, with accents of olive, dark green, burnt crimson, white and dark greys. The roof tops are flat parapet and sloped standing metal seam. The residences are approximately 34 feet tall, to allow taller interior ceiling heights. The architectural style is a departure from anything in the immediate area, but is more reflective of newer housing developments on the south west side of downtown Tempe, and reflective of elements found in lakefront buildings, reflective of a contemporary beach house aesthetic. The design team has indicated the products will be energy and water efficient and utilize the latest building materials and technologies for a higher quality product.

### **Landscape Plan**

The plant palette is a xeriscape planting of trees Sweet Acacia, Mexican Bird of Paradise, Hybrid Palo Verde, Mastic Tree, Texas Ebony, Canary Island Date Palm, Hybrid Mesquite and Texas Mountain Laurel. The primary ground cover is decomposed granite, with understory plants and accents including a variety of agaves, Natal Plum, Cassia, Bush Morning Glory, Sago Palm, Toothless Desert Spoon, Hopseed Bush, Golden Barrel, Valentine Bush, Candelilla, Ocotillo, Red Yucca, Chuparosa, Lantana, Sage, Muhlenbergia, Dwarf Oleander, Slipper Plant, Pittosporum, Indian Hawthorn, Trailing Rosemary and Jojoba. A small turf area with a water feature and pergola shade structure is centrally located just south of the Marny Road alignment. Each unit has a small ground floor patio or porch either facing the common landscape along the street fronts of Valerie or Weber, or facing the internal courtyards with the common landscape area and pathways. As an HOA, these common areas will be maintained to comply with CC&R standards, unlike existing properties without an HOA, that rely on code enforcement for maintenance complaints and no development plan review standards for landscape materials.

### Section 6-306 D Approval criteria for Development Plan Review (*in italics*)

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the homes are facing both Weber and Valerie, at a similar distance from the property line as adjacent residences, continuing the front yard depth of the area. The buildings are taller than adjacent residences, but are separated by an alley on both the east and west sides on Weber and by the new driveway on the east side from Valerie. The building facades will vary, providing front porch stoops and balconies, with garages tucked inside the development off the street front.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the buildings are narrow in the north/south direction and long in the east/west direction, placed approximately 10 feet apart, they shade one another in the afternoon sun. Trees will line the perimeter of the property, providing shade on the sidewalks, and adjacent to the units on the outside of the development.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* the predominant construction type surrounding the site is slump block construction with framed truss roofs and asphalt shingles, the proposed materials include wood frame construction with exterior stucco, smooth hardie plank with horizontal lap siding and board and batten siding, corrugated metal siding, metal standing seam roofs, decorative metal trellises, wood trim, metal guardrails, translucent panel garage doors and exposed rafter tails, providing a lot of color, texture and variety of materials superior to that of the surrounding area.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* the apartments to the west are two and three story structures, most single-family and duplexes in the area are single-story, the proposed design would be 34 feet tall, four feet taller than the allowed height in the surrounding area. The buildings are detached, with the narrow face addressing the street fronts to reduce massing. Existing residences range from approximately 1,000 to 1,500 s.f.; the proposed homes would range from 1,535-1,659 s.f.; the homes are appropriately scaled to the area.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* the proposed development offers four different unit models facing Weber and four others facing Valerie, so that from the street front, each unit appears unique. Internal to the project, the buildings are clustered in groups of six around a central drive accessing the garages of the units, creating a village feel of the groups of buildings.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* The varied use of materials helps create a strong play of light, color and texture that articulates the designs with defined floor levels, from the entryway at ground level, to the balconies on the second floor, to the use of roof-top decks and pitched metal roofs at the top. Window shapes and locations break up the walls depending on the interior use, providing clerestory light and translucent fenestration for privacy in bathrooms and hallways, and larger picture windows in bedrooms and living spaces. There are nine different elevations with varied color palettes and overlapping materials to create a diverse continuity within the development. The homes will be built for energy efficiency and address the surrounding context in the design of each unit on the site.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* the project allows pedestrian connections to the school and multi-generational center on Valerie and to the Orbit transit line on Weber which connects to other transit modes. The units will provide bicycle parking and encourages bike transportation with a promotional opportunity to receive a free bicycle with the purchase of a home in the community.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* driveways from garages exit onto a common tract drive that opens to Weber to the south and Valerie to the north, there is no access onto Marny for the general public, but a gated entry allows fire, police and refuse to access between the existing residences to the east and the new development.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* the proposed development will meet lighting and landscape standards for crime prevention, and supports surveillance of the area by facing homes out to the street front, rather than walling off the development behind a gate. The site has transparency and activity support and an HOA will strengthen the community diligence of maintenance of common areas.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* the proposed landscape design provides a tree buffer to the residents to the east using evergreen species, the site is landscaped with a variety of xeriscape plants that provide year-round color and texture. The units on the west are shaded by trees along the perimeter, and smaller patio trees draw attention to each entryway.

11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located*; a lighted entry directory sign will be located on Weber to assist public safety responders to finding units within the community and will be designed to be compatible with the architecture of the site.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects*; lighting will provide necessary illumination of the driveways, entries and parking spaces, and be shielded to prevent glare to adjacent residences, traditional single-family developments would not be held to these standards, but through the PAD process, design enhancements are included.

**Conclusion**

Based on the information provided and the above analysis, staff recommends approval of the requested General Plan Amendment / Zoning Amendment / Planned Area Development / Development Plan Review. This request meets the required criteria and will conform to the conditions.

**REASONS FOR APPROVAL:**

1. The project meets the General Plan Projected Land Use and Proposed Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The PAD overlay process was specifically created to allow for greater flexibility, to allow for increased heights.
4. The proposed project meets the approval criteria for a General Plan Amendment/Zoning Amendment/Use Permit/Development Plan Review.

**GEP13002, ZUP13002, PAD 13003 ENTITLEMENT CONDITIONS OF APPROVAL:**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. A building permit application shall be made on or before May 30, 2015, or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner shall sign a waiver of rights and remedies form. By signing the form, the Owner voluntarily waives any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than July 1, 2013, or the General Plan Map Amendment, Zoning Map Amendment and PAD approval shall be null and void.
3. If any work is done in the Right-of-Way, an Encroachment Permit must be obtained from the Engineering Department prior to submittal of construction documents for building permit.
4. The Planned Area Development for THE NEWPORT (formerly SKY VIEW AT TEMPE) shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.
5. An Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits.
6. The six eastern-most units on lots 35 through 40 shall be two stories and no taller than 25 feet in height to tallest architectural element.



## DPR13032 DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL

### Site Plan

7. Provide 5'-6" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
8. Screen mechanical equipment from public view (from perimeter of site). Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
9. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Provide gates of height that match that of the adjacent walls. Review gate hardware with Building Safety, Refuse, Police and Fire staff to resolve lock and emergency ingress/egress features that may be required.
10. Provide upgraded paving at each driveway consisting of unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
11. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
12. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage).

### Floor Plans

13. Parking garages and spaces:
  - a. Minimum required parking dimensions shall be clear of any obstructions.
  - b. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a wall.

### Building Elevations

14. The materials and colors are approved as presented:
  - ROOF - Standing seam metal roofing with 1.75" seam height
  - SIDING - Hardieplank Artisan Lap Siding Smooth 5" exposure
  - MAIN BUILDING - La Habra Stucco sand finish
  - SIDING - Corrugated metal siding 7/8" x 2 1/2" profile, bonderized
  - SIDING - Hardiepanel Cedarmill Vertical Siding, Board & Batten

Color palettes are Dunn Edwards or equivalent:

MAIN BUILDING - DE129 Rustic Taupe (medium tan)  
TRIM & ACCENT - DE6370 Charcoal Smudge (dark grey)  
TRIM & ACCENT - DE6278 Stone Creek (medium olive green)

MAIN BUILDING - DEC770 Drifting (light taupe)  
TRIM & ACCENT - DEC755 Cocoa (dark brown)  
TRIM & ACCENT - DEC779 Woodlawn Green (dark blue-toned green)

MAIN BUILDING - DE6178 Boutique Beige (gold toned beige)  
TRIM & ACCENT - DEW358 Milk Glass (white)  
TRIM & ACCENT - DE6384 Iron Fixture (dark warm grey)

MAIN BUILDING - DE6379 Silver Lake (like cool grey)  
TRIM & ACCENT - DE6383 Bank Vault (medium warm grey)  
TRIM & ACCENT - DEC705 Burnt Crimson (red brown)

MAIN BUILDING - DE621 Flintstone (light warm grey)  
TRIM & ACCENT - DE6224 Treasure Chest (dark olive green)  
TRIM & ACCENT - DE6218 Antique Paper (white)

Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

15. Windows on the east facing elevations along east property line are to be clerestory or are to be obscured vision glass (ie. translucent, frosted, patterned or other) to provide privacy to residents to the east.
16. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
17. Conceal roof drainage system within the interior of the building or minimize visible, external features, such as overflows, and where needed design these to enhance the architecture of the building.
18. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
19. Electrical service entrance section (S.E.S.) shall be concealed from public view (from perimeter of site).
20. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

### **Lighting**

21. This project shall adhere to the following lighting requirements:
  - Illuminate front door entrances with a photocell fixture with a minimum of 5 footcandles. This fixture may be controlled by individual property owners.
  - Illuminate parking spaces between houses from dusk to dawn with a photocell fixture with a minimum of 2 foot candles that cannot be turned off by individual property owners.
  - Illuminate the driveways to a minimum of 1 foot candle with full cut-off fixtures from dusk to dawn with a photocell fixture.
  - Illuminate pedestrian areas and walkways with a minimum of .5 foot candles with full cut-off fixtures from dusk to dawn with a photocell fixture.
  - A photometric plan shall be submitted demonstrating that fixtures mounted on residences comply with dark sky requirements and do not create light trespass or glare to the adjacent properties east or west of the site.

### **Landscape**

22. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
23. Continuing care condition, covenant and restriction for all of the project's landscaping, shall include requirement to maintain all perimeter buffer trees and street front trees per the approved landscape plan.
24. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing.
  - d. Hardwire power source to controller (a receptacle connection is not allowed).
  - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.

25. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
26. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
27. Trees shall be planted a minimum of 12'-0" from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20'-0" away. Final approval subject to determination by the Public Works, Water Utilities Division.
28. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

### **Signage**

29. Provide an internally illuminated sign directory of the unit addresses on Weber.
30. Provide address sign(s) on the building elevation facing the street to which the property is identified.
  - a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 6" high individual mount, metal characters.
    - 3) Address numerals to be illuminated from ambient light sources to a minimum of .5 foot candles.
    - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 5) Do not affix number or letter to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

## CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be reviewed and placed in a form satisfactory to the Community Development Manager and City Attorney.
- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
  - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: [www.tempe.gov/index.aspx?page=2147](http://www.tempe.gov/index.aspx?page=2147) or purchase book from the Public Works Engineering Division.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **SECURITY REQUIREMENTS:**
  - Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
  - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
  - Provide method of override access for Police Department (punch pad or similar) to gate off of Marny Drive.
- **ENGINEERING:**
  - Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
  - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
  - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
  - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
  - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

- REFUSE:
  - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to refuse and recycling roll-outs is adequate.
  - Coordinate storage area for refuse and recycling containers with overall site and landscape layout.
  
- DRIVEWAYS:
  - Construct driveways in public right of way in conformance with Standard Detail T-320.
  - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801) . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
  
- PARKING SPACES:
  - Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
  
- LIGHTING:
  - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
  - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
  
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

**HISTORY & FACTS:**

1940s      Aerial surveys indicate a residence was constructed on this site during the 1940s; no additional information about the property is available. It has remained a single family residence with a variety of structures over the years, annexed into the city with no building property record card information.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-302, General Plan Amendment  
 Section 6-304, Zoning Map Amendment  
 Section 6-305, Planned Area Development (PAD) Overlay districts  
 Section 6-306, Development Plan Review



# DEVELOPMENT PROJECT FILE

for

## NEWPORT (FORMERLY SKY VIEW)

### ATTACHMENTS:

- 1-2. Waiver of Rights and Remedies form
3. Location Map
4. Aerial Photo
- 5-9. Letter of Explanation
10. PAD Cover Sheet
11. Site Plan
- 12-15. Floor Plan 1, Elevations 1A, 1B, 1 Alternate (sheets 1-1 through 1-4)
- 16-19. Floor Plan 2, Elevations 2A, 2B, 2 Alternate (sheets 2-1 through 2-4)
- 20-23. Floor Plan 3, Elevations 3A, 3B, 3 Alternate (sheets 3-1 through 3-4)
24. Building Sections
25. Site Sections and aerial perspective
- 26-34. Color Elevations (sheets 1-2 through 3-4)
35. Perspectives of units and site from Valerie and Weber drives
36. Color Materials Board
37. View from Marny
38. View from Rose
- 39-42. Grading Plans (sheets 1 through 4)
- 43-46. Landscape Plans (sheets LS 01 through 04)
47. Photometrics
- 51-66. Neighborhood Meeting Summary from Applicant
67. Neighborhood Petition of Support
68. Neighborhood Transition Letter
69. Orbit System Email

**WHEN RECORDED RETURN TO:**  
City of Tempe  
Community Development Department  
31 E. 5<sup>th</sup> Street  
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES  
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by Chris Risi, TJR Holdings (Owner).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL120237** to the City requesting that the City approve the following:

- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT
- OTHER \_\_\_\_\_

*(Identify Action Requested))*

for development of the following real property (Property):

Parcel #: 13210004D  
Address: 1102 E Weber Drive, Tempe, Arizona 85281

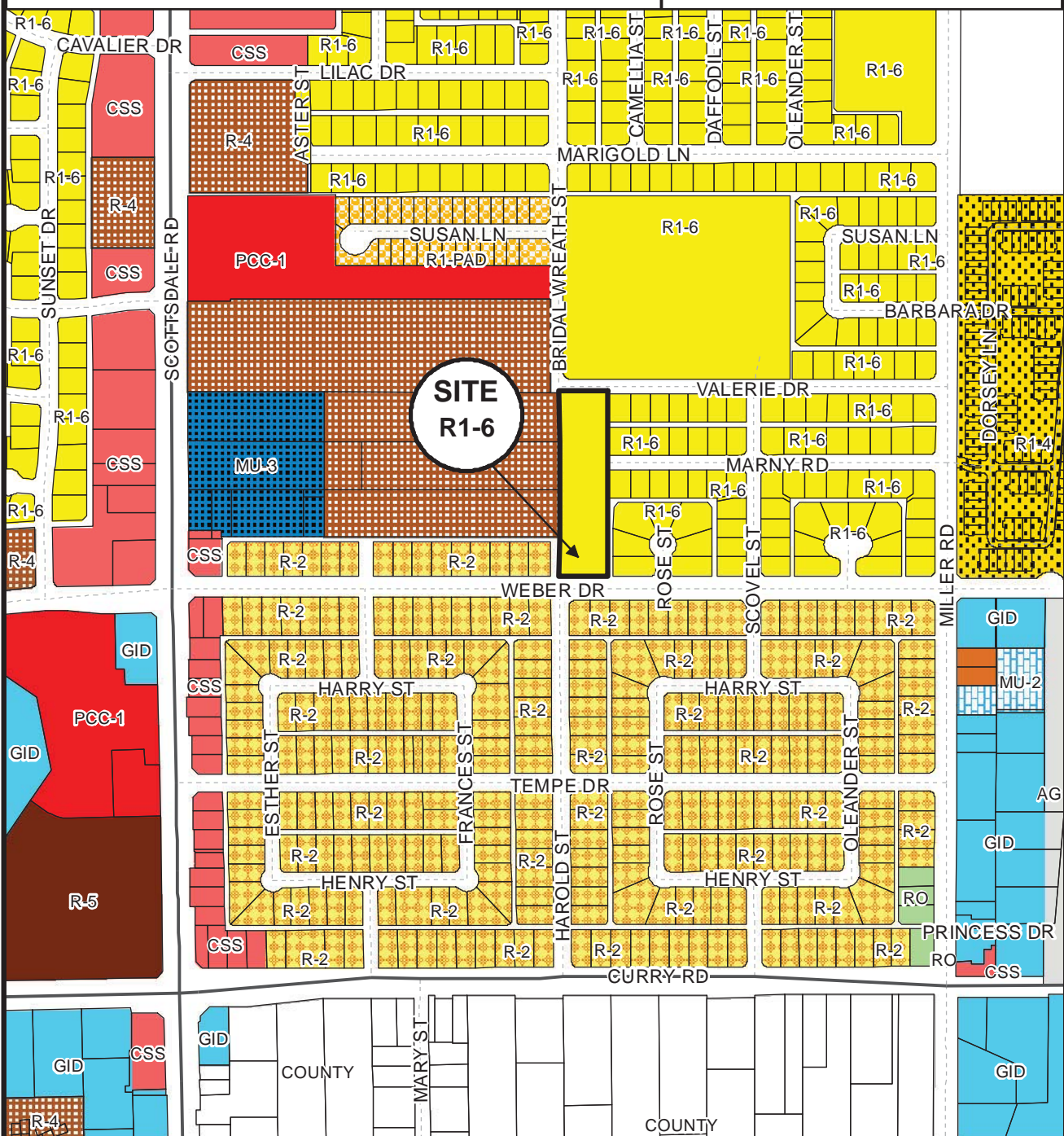
By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist as a result of the City's approval of the above-referenced Application,





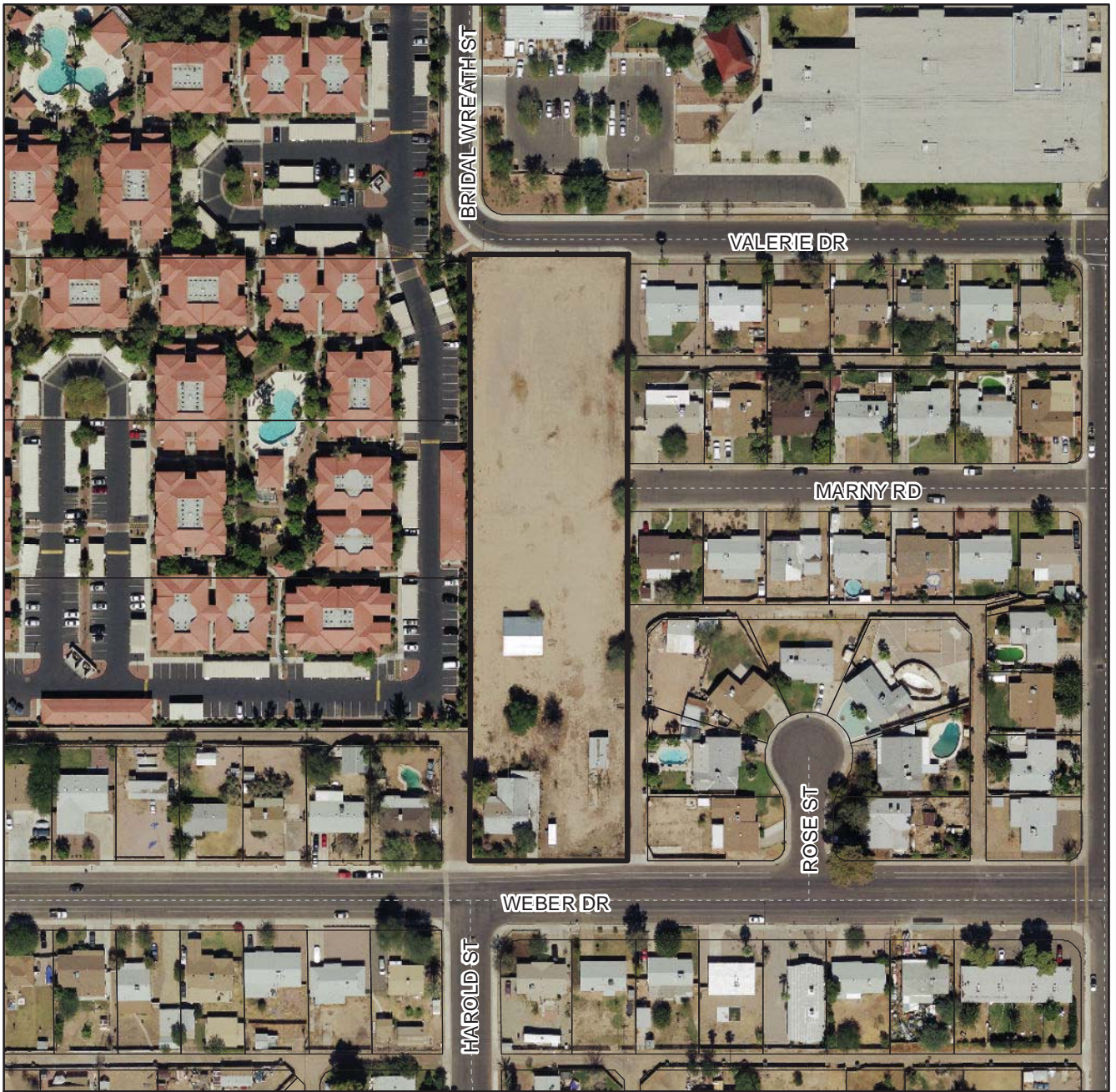
# SKY VIEW AT TEMPE

PL120237



Location Map





**SKY VIEW AT TEMPE (PL120237)**

American West Development Company

PO Box 8270

Scottsdale, Arizona 85252

480 275 8562

LETTER OF EXPLANATION

Dear City Council Members:

American West Development Company is pleased to present “The Newport” a 40 single family home development.

Our new single family development, The Newport of Tempe, located at 1102 E Weber, is a contemporary urban style project using +/-2.29 acres that have sat vacant and undeveloped for nearly 60 years. These 40 homes, constructed as three story wood frame structures with urban and contemporary style, will attract a broad range of Tempe residents including young professionals and families.

We are requesting your approval for the following:

- General Plan Amendment
- Zoning Map Amendment
- Planned Area Development Overlay

**General Plan Amendment Request:**

We are proposing to amend the 2030 General Plan from projected Low to Moderate density of 9.0 du/ac to Medium to High density of 17.5 du/ac. This proposed amendment supports the Land Use Principles in General Plan 2030 by providing additional housing for the increase in residents Tempe expects to accommodate in the coming decades. An amendment to the General Plan addresses one of the General Plan's top priorities - the use of vacant land. The property in question is largely vacant and underutilized. Converting this property into a new residential neighborhood will contribute to the General Plan 2030 survey priority of neighborhood improvement, along with infill and reuse of vacant land. The proposed change meets the following objectives of the Land Use element: encourage housing initiatives, encourage redevelopment, promote neighborhood preservation and enhancement, and encourage reinvestment and redevelopment appropriate to a particular area. Two important strategies the General Plan outlines in achieving these goals is to allow flexibility in housing location, type and density and encouraging development of housing in close proximity to employment and services. The proposed “The Newport” residential project at this location would help meet objectives and strategies for fulfilling the given objectives.

The Newport of Tempe will serve young professionals and families looking to purchase homes with minimal upkeep and strong community ties. Additionally, the proposed project is compatible with the ASU campus needs and it is located in close proximity to the campus and its subsidiaries.

This particular parcel has been un-subdivided since before 1968 and is located between existing detached residential subdivisions and directly east of a high-density apartment

## American West Development Company

PO Box 8270

Scottsdale, Arizona 85252

480 275 8562

complex. The narrow parcel width, dual frontages along Weber and Valerie, adjacent easterly connection to Marny Road, and adjacent alleys combine to make this a difficult property to improve and subdivide. These constraints combine to create a situation that makes it unlikely to be developed with single family homes with the density projected by the 2030 General Plan. On the West side of the property are high-density apartment homes. To the South and East of the property are all single family neighborhoods. North of the property is the Laird Elementary school and the Multigenerational Community Center. New homes offering an affordable price for families is the appropriate response for this property. Further, the detached character of the proposed project will serve as an appropriate transition between the higher density, rental housing to the west, and the traditional single family homes to the east. This detached planned area development project will achieve the goals of preserving home ownership and reinvesting in the local economy. It is for these reasons that we believe the proposed amendment to the General Plan is in conformance with the spirit and objectives of the General Plan. As such, we seek your approval of the modification to the Residential Density of this property.

### **Zoning Map Amendment:**

We are requesting to change zoning district designations from the existing R1-6 to R1-PAD. The existing zoning designation on the property and to the east allows 4 units per acre. Directly south of the property zoning is R-2, which allows a density of 10 dwelling units per acre. Directly adjacent to the west, the zoning is R-4, which allows a density of 25 dwelling units per acre. Under the proposed zoning of R1-PAD, the zoning would be restricted to 17.5, which is within the range of the surrounding area. This proposal would be in conformance with requested Amendment to the 2030 General Plan.

### **Planned Area Development Overlay Request:**

The requested PAD Overlay will allow the development of 40 detached, 3 story residences with attached side-by-side 2 car garages on separate fee simple lots. Guest parking will be provided in accordance with the city's parking requirements. Project will include private front courtyards along with a small common area amenity to serve the residents and guests. Additionally, all homes will include a second floor private balcony and the 20 homes along the center of the project will include roof decks for additional private recreational use.

The existing dead end at Marny Road that abuts the property to the east is currently without an adequate emergency vehicle turnaround. As a condition of this project, Marny Road will terminate in an emergency vehicle gate and the proposed project drive will provide an improved connection to enable emergency vehicle access from Marny through the project.

An additional existing deficiency exists at the northeast portion of the property. The adjacent northeasterly alley is of insufficient width to enable refuse service trucks to



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adequately turn into the alley behind the homes located on Valerie and Marny. Again, the project driveway has been sited so that the refuse provider will be able to increase their turning radius to safely access the alley as a result of this project.

Homes within the project have been sited to minimize the visual impacts to the surrounding parcels, secondary elevations are located along the east and west property boundaries with primary windows of the homes being located toward the north and south.

Building heights are 30 feet to the roof sheathing of the 3<sup>rd</sup> story with architectural elements including raked roofs, parapets, and roof deck railings extending above that level to a maximum height of 34'-3". Building stepbacks have been utilized along with a 12 foot side yard setback to provide further transitioning to the adjacent properties. In addition to these measures, the existing alley and public utility easements along the east edge provide additional buffering to the adjacent single family homes and the drive alley of the westerly apartment project also provides buffering to that edge as well.

The planned area development overlay provides a method to enable this challenging property to be improved in a manner that will allow it to serve as a transitional project between the varied land uses and densities in the immediate area. The approval and construction of The Newport of Tempe will be implement the objectives of the General Plan, provide implementation of the appropriate zoning, and provide a much needed housing type for current and future residents of the area.

Sincerely,



Joseph Risi  
American West Development Company

## American West Development Company

PO Box 8270

Scottsdale, Arizona 85252

480 275 8562

### DEVELOPMENT REVIEW JUSTIFICATION LETTER

Dear Development Plan Review Members:

American West Development Company is pleased to present “The Newport of Tempe” a 40 single-family home development.

Our new single-family development, The Newport of Tempe, located at 1102 E Weber, is a contemporary urban style project using +/-2.29 acres that have sat vacant and undeveloped for nearly 60 years. These 40 detached homes located within a planned area development, constructed as three story wood frame structures with urban and contemporary style, will attract a broad range of Tempe residents including young professionals and families.

The homes will be sited on fee simple lots and include private entry courtyards along with a pedestrian paseo network that extends throughout the project and connects all homes to provide a sense of community and to establish a distinct neighborhood.

The requested PAD Overlay will allow the development of 40 detached, 3 story residences with attached side-by-side 2 car garages on separate fee simple lots. Guest parking will be provided in accordance with the city’s parking requirements. Project will include private front courtyards along with a small common area amenity to serve the residents and guests. Additionally, all homes will include a second floor private balcony and the 20 homes along the center of the project will include roof decks for additional private recreational use.

The existing dead end at Marny Road that abuts the property to the east is currently without an adequate emergency vehicle turnaround. As a condition of this project, Marny Road will terminate in an emergency vehicle gate and the proposed project drive will provide an improved connection to enable emergency vehicle access from Marny through the project.

An additional existing deficiency exists at the northeast portion of the property. The adjacent northeasterly alley is of insufficient width to enable refuse service trucks to adequately turn into the alley behind the homes located on Valerie and Marny. Again, the project driveway has been sited so that the refuse provider will be able to increase their turning radius to safely access the alley as a result of this project.

Homes within the project have been sited to minimize the visual impacts to the surrounding parcels, secondary elevations are located along the east and west property boundaries with primary windows of the homes being located toward the north and south.

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By incorporating 3 story dwellings, an efficient land plan can be incorporated with the primary living level located on the 2<sup>nd</sup> floor of the homes. In the detached configuration, guest parking stalls can be oriented between dwellings within areas predominately located in shaded areas. The density that is achieved maximizes the percentage of landscaping and helps to reduce heat island effects. Energy efficient features will be incorporated including enhanced window glazing, low flow plumbing fixtures, high efficiency heating and air conditioning systems, and high R-value insulation.

Exteriors incorporate a variety of materials including Hardie cementations smooth horizontal lap siding, vertical board and batten siding, corrugated metal siding, sand finish stucco, standing seam metal roofs, and contemporary metal railing and metal awning treatments. The color palate will enhance the style of the homes with a broad range of earth tones along with careful color blocking and accents.

All on-site utilities will be placed underground. Building entrances and sidewalks will be well illuminated. The project site is well connected with public transportation and bicycle lanes are in close proximity. Bicycle parking as required will be provided and pedestrian access is provided to both Valerie and Weber Drives. This 40-unit project will not present any significant impacts to city transportation policies and design criteria.

Building heights are 30 feet to the roof sheathing of the 3<sup>rd</sup> story with architectural elements including raked roofs, parapets, and roof deck railings extending above that level to a maximum height of 34'-3". Building step backs have been utilized along with a 12-foot side yard setback to provide further transitioning to the adjacent properties. In addition to these measures, the existing alley and public utility easements along the east edge provide additional buffering to the adjacent single-family homes and the drive alley of the westerly apartment project also provides buffering to that edge as well.

The planned area development overlay provides a method to enable this challenging property to be improved in a manner that will allow it to serve as a transitional project between the varied land uses and densities in the immediate area. The approval and construction of The Newport of Tempe will be implement the objectives of the General Plan, provide implementation of the appropriate zoning, and provide a much needed housing type for current and future residents of the area.

Sincerely,



Joseph Risi  
American West Development Company

# PLANNED AREA DEVELOPMENT OVERLAY FOR THE NEWPORT AT TEMPE

THE WEST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

## ACKNOWLEDGEMENT

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2013 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED JOHN DOE OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL

BY: \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

AMERICAN WEST DEVELOPMENT COMPANY

BY: \_\_\_\_\_ OWNER \_\_\_\_\_ DATE \_\_\_\_\_

ITS:

## LEGAL DESCRIPTION

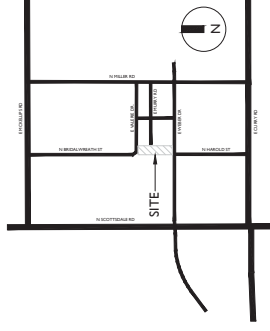
## APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 200\_\_\_\_.

## OWNER/DEVELOPER

AMERICAN WEST DEVELOPMENT CO.  
P.O. BOX 8270  
SCOTTSDALE, AZ 85252  
(805) 636-9805

## SITE VICINITY MAP



## PROPOSED DEVELOPMENT STANDARDS

Standard	Proposed
General Plan Land Use	Residential
General Plan Density	Medium-High (Up to 25.6 u/sf)
Zoning	R3-PAD
Density	17.5-6 u/sf
# of Units	40
Building Height	34
Building Area	29,695 s.f.
Lot Coverage (for total site)	29.70%
Lot Coverage (per unit)	100%
Landscape Area (of total site)	36.40%
<b>Building Setback</b>	
South Street Front (washer development setback)	20'
North Street Front (washer development setback)	20'
Side (east and west) development setback	12'
Lot 1 - 34' Front (individual unit) building setback	5'
Lot 1 - 34' Rear (individual unit) building setback	0'
Lot 1 - 34' Side (east and west) building setback	0'
Lot 35-40 Front (individual unit) building setback	4'
Lot 35-40 Rear (individual unit) building setback	3'
Lot 35-40 Side (east and west) building setback	0'
<b>Building Area</b>	<b># of Units</b>
Plan 1 - 2 Bedroom / 2 + 2 half-baths - 1,335 s.f. / 80 s.	12 units
Plan 2 - 2 Bedroom / 2 + 2 half-baths - 1,659 s.f. / 95 s.	13 units
<b>Proposed R3-PAD Parking</b>	
27 units with 2 bedrooms	54 (2 parking spaces per multi-family unit)
13 units with 3 bedrooms	39 (3 parking spaces per multi-family unit)
Guest	8 (2 spaces per multi-family unit)
TOTAL PARKING	99 multi-family required - 100 provided
	99 multi-family required - 100 provided
<b>Proposed R3-PAD Bike Parking</b>	
27 units with 2 bedrooms	21 (75 bike spaces per multi-family unit)
13 units with 3 bedrooms	13 (75 bike spaces per multi-family unit)
Guest	8 (2 spaces per multi-family unit)
TOTAL BIKE PARKING	40 (wall hung in garage) - 30 guests in common area

DS120712

PAD13003

REC13011

CONDITIONS OF APPROVAL: PAD

## GENERAL NOTES

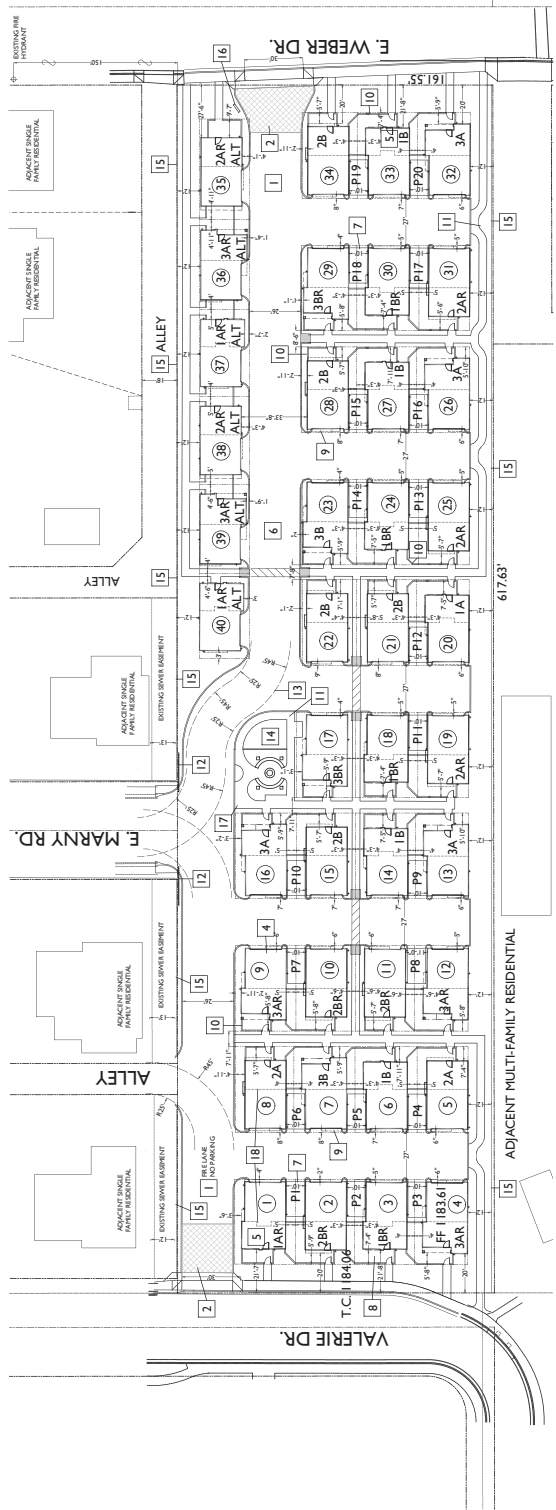
THE NEWPORT AT TEMPE  
1102 E. WEBER DRIVE  
TEMPE, ARIZONA

AMERICAN WEST  
DEVELOPMENT CO.  
P.O. BOX 8270  
SCOTTSDALE, AZ 85252  
(805) 636-9805

PAD13003

DS120712





**SITE PLAN NOTES**

- 1 PRIVATE DRIVE/FIRE LANE - NO PARKING
- 2 DECORATIVE CONCRETE
- 3 MINIMUM 6" HIGH SPLIT FACE CONCRETE BLOCK WALL
- 4 2 CAR GARAGE WITH 16" WIDE DOOR
- 5 3 STORY DWELLING, TYP.
- 6 CONDUCT SITE DRAINAGE TO APPROVED DRAINAGE OUTLET
- 7 8.5 X 18 MIN. GUEST PARKING STALL
- 8 PRIVATE OPEN SPACE (P.O.)
- 9 LINE OF 2ND FLOOR ABOVE
- 10 3' HIGH STUCCO OR CONCRETE BLOCK COURTYARD WALL
- 11 CONCRETE WALKWAY
- 12 MANUAL SLIDING EMERGENCY ACCESS GATE
- 13 EMERGENCY VEHICLE TURNING RADIUS COMMON RECREATION AREA PER LANDSCAPE PLANS
- 14 8" CMU WALL
- 15 LIGHTED DIRECTORY
- 16 MAILBOXES
- 17 TRASH STORAGE IN INDIVIDUAL UNITS (SEE FLOOR PLANS FOR LOCATIONS)
- 18

**PROJECT SUMMARY**

BUILDINGS	29,695 S.F.	29.7%	(50% MAX COVERGE ALLOWED)
DRIVE/PARKING	33,864 S.F.	33.9%	
LANDSCAPE @ GRADE	36,244 S.F.	36.4%	(25% MINIMUM REQUIRED)
CONSTRUCTION TYPE	V-B, U		
OCCUPANCY TYPE	R-3		

<b>BALCONIES</b>	<b>S.F.</b>	<b>QTY.</b>	<b>PLAN TOTAL</b>
PLAN 1	30	12	360 S.F.
PLAN 2	95	15	1,425 S.F.
PLAN 3	106	13	1,378 S.F.
<b>TOTAL BALCONIES</b>			<b>3,763 S.F.</b>

<b>ROOF DECKS</b>	<b>S.F.</b>	<b>QTY.</b>	<b>PLAN TOTAL</b>
PLAN 1	206	8	1,650 S.F.
PLAN 2	206	8	1,650 S.F.
PLAN 3	106	4	424 S.F.
<b>TOTAL ROOF DECKS</b>			<b>2,856 S.F.</b>

**BUILDING HEIGHT**  
REFER TO BUILDING ELEVATIONS FOR HEIGHT CALLOUTS  
REFER TO SHEET 3-2 FOR 30 FOOT HEIGHT AT UNIT 4  
HIGHEST TOP OF CURB ELEVATION: 1184.06 @ MIDPOINT ALONG VALERIE DRIVE  
HIGHEST FINISH FLOOR ELEVATION: 1183.36 @ UNIT 4  
BUILDING STEPBACK PROVIDED AT 10 FOOT SETBACK LINE  
SEE ELEVATION TYPE A, SHEETS 1-2, 2-2, AND 3-2 FOR LIMITS

**SITE PLAN LEGEND**

⊕ LOT NUMBER

TYPICAL PLAN CALLOUT:  
PLAN TYPE (1, 2 OR 3)  
DIRTOTES SIDE LOADING GARAGE  
REVERSE PLAN

ELEVATION TYPE  
A = NO ROOF DECK  
B = INCLUDES ROOF DECK

PH OPEN PARKING SPACE (NUMBERED)

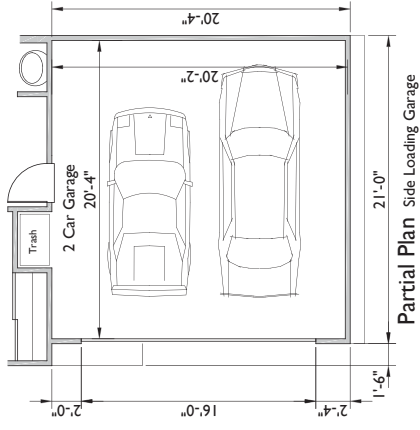
# SITE PLAN KEYNOTE

Standard	Existing	Proposed
General Plan Land Use	Residential	Residential
General Plan Density	Low-Medium Density (R2)	Medium Density (R2.5)
Zone	R2.5	R2.5
Block	18,000 S.F.	17,500 S.F.
Lot Area	9	40
Building Height	30	34
Building Area	29,695 S.F.	29,695 S.F.
Lot Coverage (for base area)	45%	29.70%
Lot Coverage (for total area)	45%	30.0%
Lot Coverage (for total area)	n/a	36.00%
<b>Building Setbacks</b>		
South Street Front (Walker) Development setback	20'	20'
North Street Front (Walker) Development setback	20'	20'
Side (East and West) Development setback	5'	12'
Lot 1-2-3-4-5-6-7-8-9-10-11-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40	5'	0'
Lot 35-40 Front (Individual Unit) Building setback	20'	4'
Lot 35-40 Rear (Individual Unit) Building setback	5'	0'
Lot 35-40 Side (East and West) Building setback	5'	0'
<b>Building Area</b>		
Plan 1: 2 bedrooms, 1.5 bath, 1,545 S.F., 95' x 14', rooftop deck	12 units	12 units
Plan 2: 2 bedrooms, 2 bath, 1,545 S.F., 95' x 14', rooftop deck	15 units	15 units
Plan 3: 3 bedrooms, 2.2 bath, 1,894 S.F., 95' x 14', rooftop deck	13 units	13 units
<b>Required BI-5 Parking</b>		
27 units with 2 bedrooms	80 (2 parking spaces per multi-family unit)	Proposed BI-5 PAID Parking
15 units with 3 bedrooms	45 (3 parking spaces per multi-family unit)	54 (2 parking spaces per multi-family unit)
Guest	n/a	8 (2 spaces per multi-family unit)
<b>Required BI-6 Parking</b>		
27 units with 2 bedrooms	80 (2 parking spaces per multi-family unit)	56 (2 parking spaces per multi-family unit)
15 units with 3 bedrooms	45 (3 parking spaces per multi-family unit)	30 (2 parking spaces per multi-family unit)
Guest	n/a	8 (2 spaces per multi-family unit)
<b>Required BI-6 Bike Parking</b>		
27 units with 2 bedrooms	21 (75 bike spaces per multi-family unit)	21 (75 bike spaces per multi-family unit)
15 units with 3 bedrooms	13 (13 bike spaces per multi-family unit)	13 (13 bike spaces per multi-family unit)
Guest	n/a	8 (2 spaces per multi-family unit)
<b>TOTAL BIKE PARKING</b>	n/a	40 (with living in garage) (20 guest in common area)

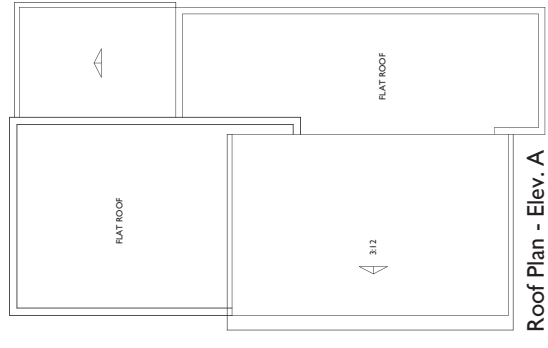
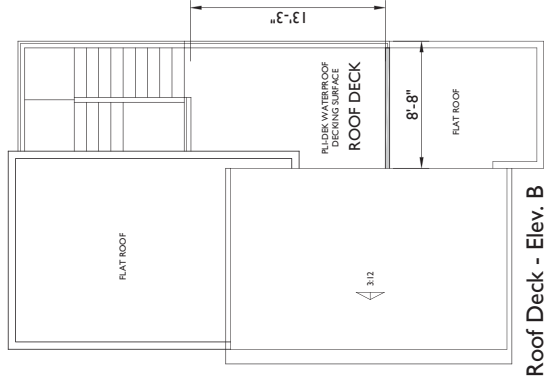
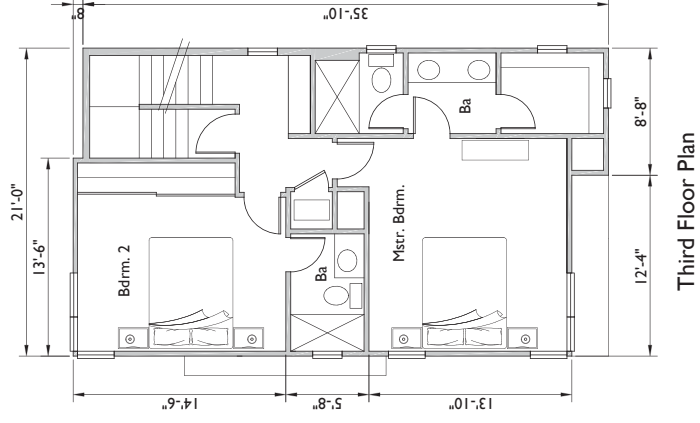
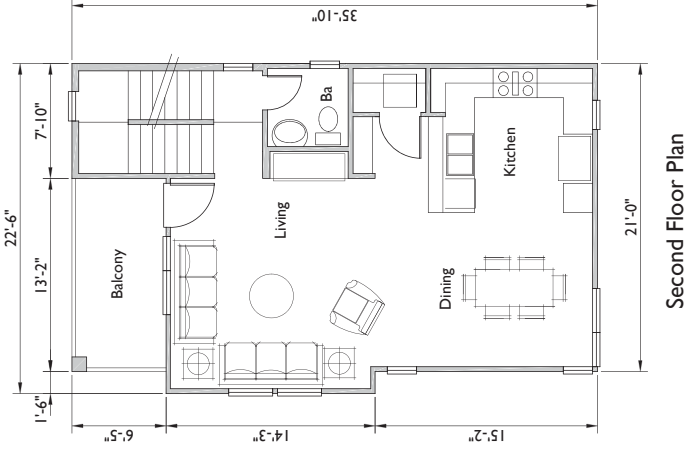
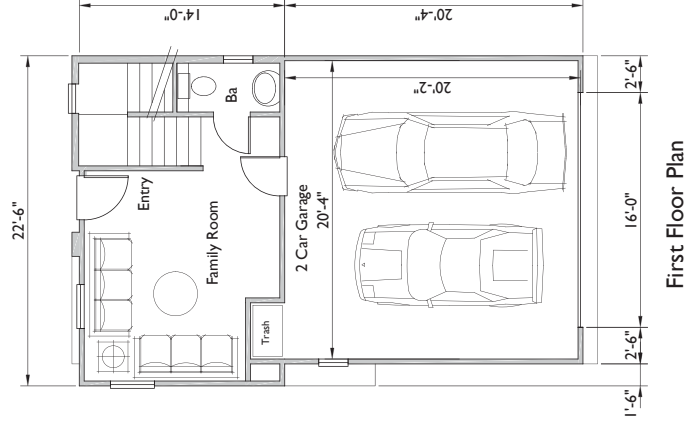
SITE PLAN SCALE: 1" = 30'-0"



VICINITY MAP



First Floor:	280 s.f.
Second Floor:	648 s.f.
Third Floor:	607 s.f.
Total Livable:	1,535 s.f.
Garage:	400 s.f.
Roof Deck:	100 s.f.



PLAN I SCALE: 1/4" = 1'-0"



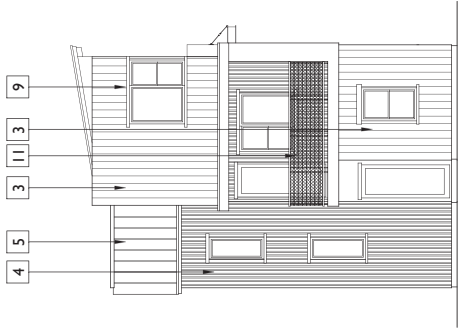
THE NEWPORT AT TEMPE  
1102 E. WEBER DRIVE  
TEMPE, ARIZONA  
March 18, 2013

40 UNIT PLANNED AREA  
DEVELOPMENT

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Scottsdale, AZ 85252  
(805) 636-9805

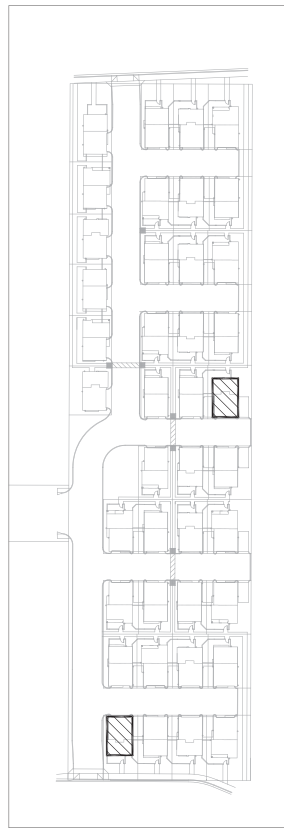


ATTACHMENT B

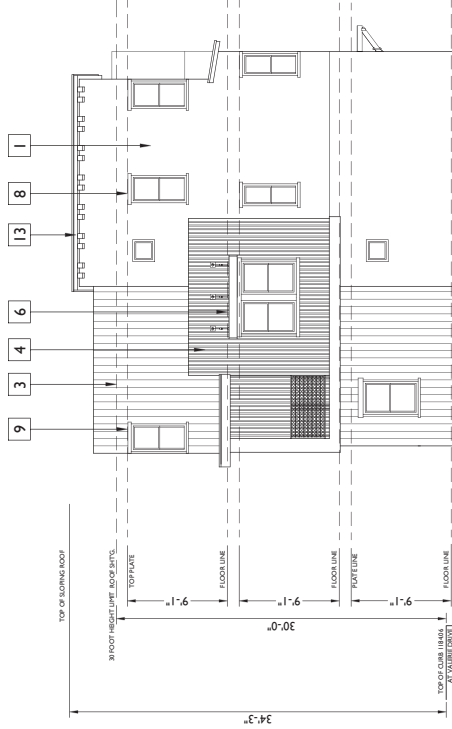


FRONT ELEVATION

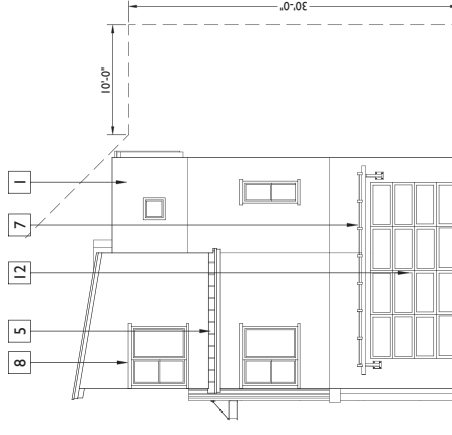
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- 1 EXTERIOR STUCCO DE6178, DEW358, DE6383
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING DE6278
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN DE6278
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF
  - 6 DECORATIVE METAL AWNING
  - 7 DECORATIVE METAL TRELIS DEW358
  - 8 STUCCO O/ FOAM TRIM DEW358
  - 9 WOOD TRIM DEW358
  - 10 STUCCO METAL REGLET DE6384
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR DE6384
  - 13 EXPOSED RAFTER TAILS DE6384



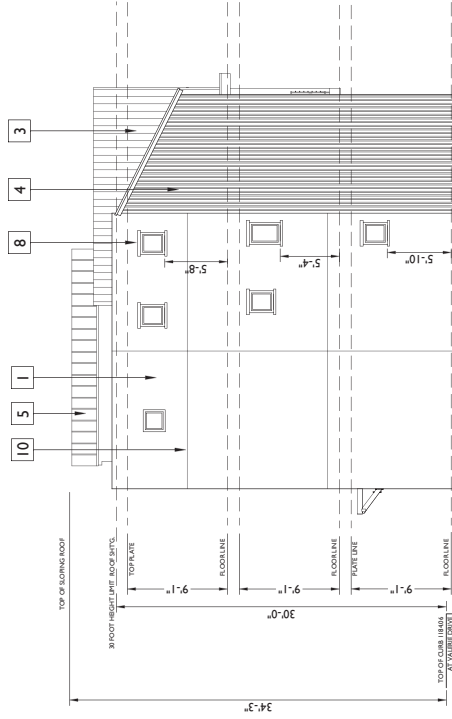
KEY PLAN IA



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



PLAN IA ELEVATIONS SCALE: 3/16" = 1'-0"

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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

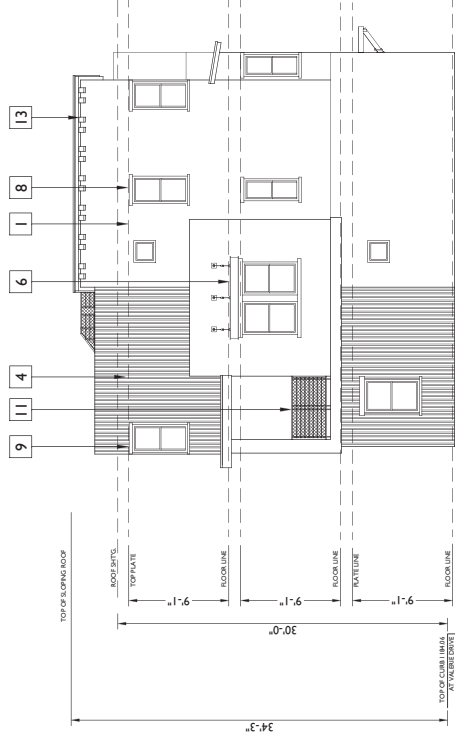
March 18, 2013



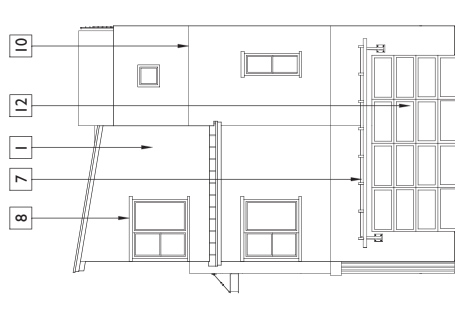


- MATERIAL NOTES**      **COLOR**
- 1 EXTERIOR STUCCO      DE6218, DE6221, DE6224
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF DE6255
  - 6 DECORATIVE METAL AWNING DE6384
  - 7 DECORATIVE METAL TRELIS DE6384
  - 8 STUCCO O/F FOAM TRIM DE6218 DE6218
  - 9 WOOD TRIM
  - 10 STUCCO METAL REGLET DE6384
  - 11 METAL GUARDRAIL TRANSLUCENT PANEL GARAGE DOOR
  - 12 EXPOSED RAFTER TAILS DE6384

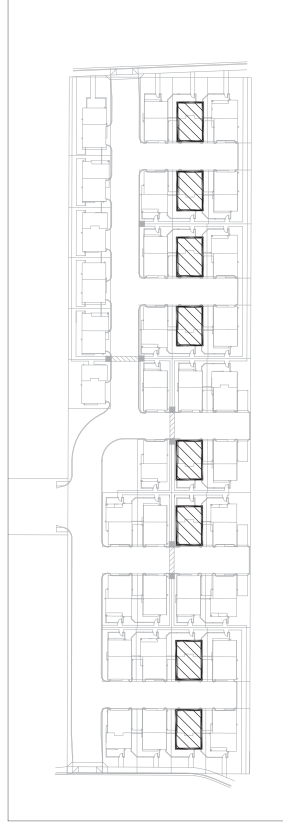
**FRONT ELEVATION**



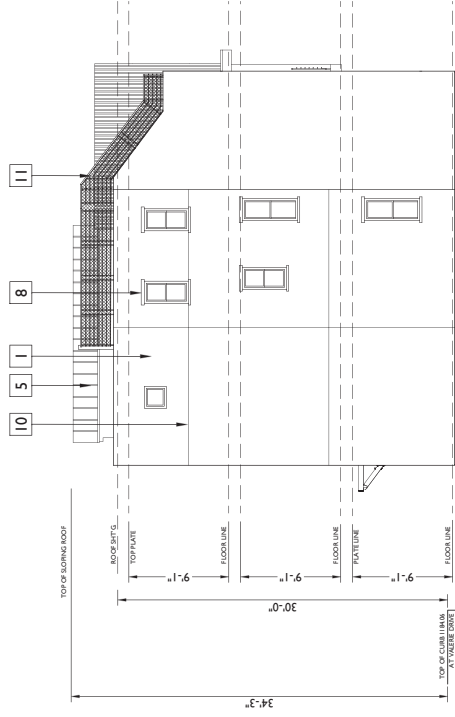
**RIGHT ELEVATION**



**REAR ELEVATION**



**KEY PLAN**      **IB**



**LEFT ELEVATION**



PLAN IB ELEVATIONS      SCALE: 3/16" = 1'-0"

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**40 UNIT PLANNED AREA  
 DEVELOPMENT**

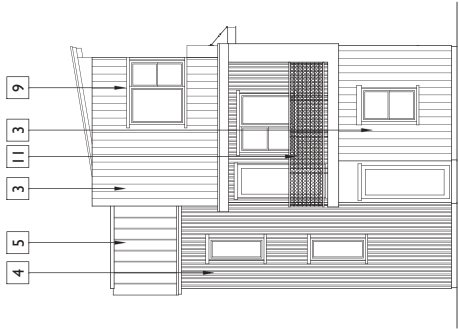
**THE NEWPORT AT TEMPE**  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

March 18, 2013

ATTACHMENT 4



2555 S. MELISSA AVE. SUITE 205  
 BIRMINGHAM, CA 95003  
 www.summa.com  
 702.732.9491

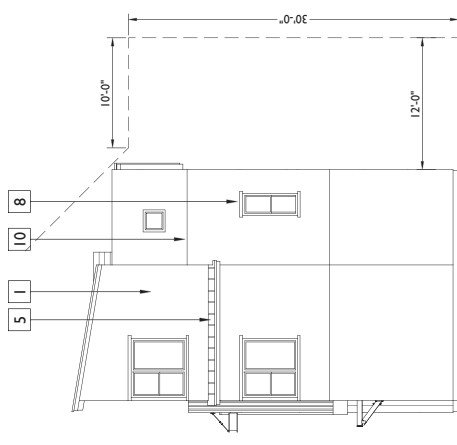


- MATERIAL NOTES**      **COLOR**
- 1 EXTERIOR STUCCO      DE6478, DEW358, DE6383
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN      DE6278
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF
  - 6 DECORATIVE METAL AWNING
  - 7 DECORATIVE METAL TRELIS
  - 8 STUCCO O/ FOAM TRIM      DEW358
  - 9 WOOD TRIM
  - 10 STUCCO METAL REGLET
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS

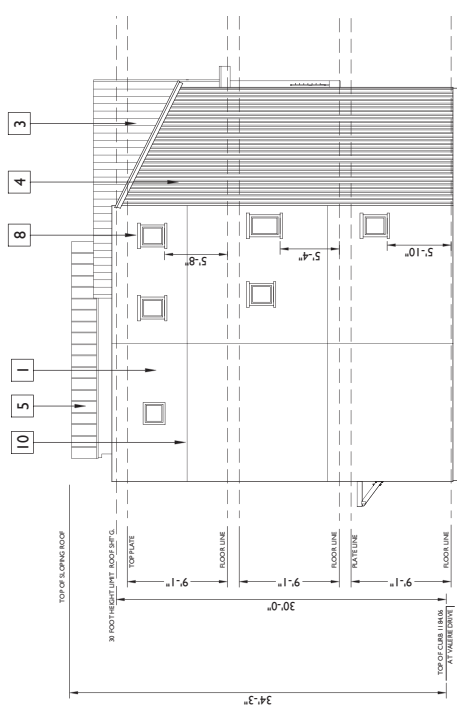
**FRONT (SOUTH) ELEVATION**



**RIGHT (WEST) ELEVATION**



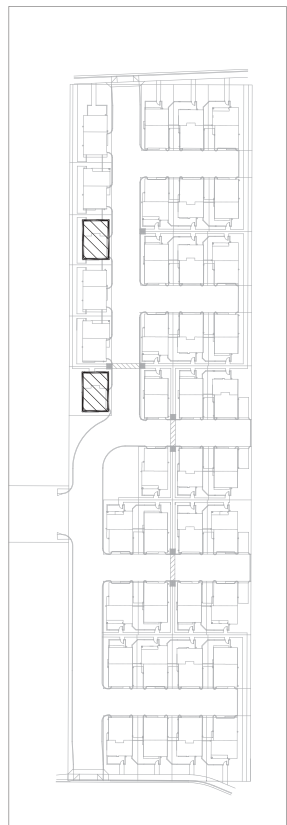
**REAR (NORTH) ELEVATION**



**LEFT (EAST) ELEVATION**



**PLAN IA ALTERNATE ELEVATIONS**      SCALE: 3/16" = 1'-0"



**KEY PLAN**      IA-ALT

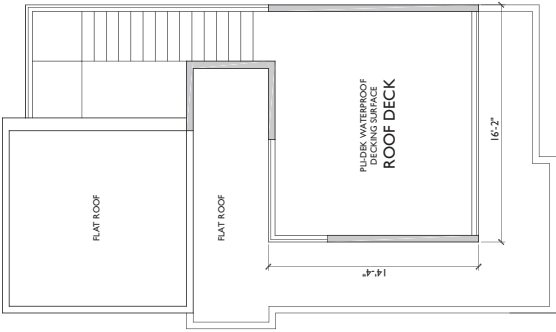
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**40 UNIT PLANNED AREA  
 DEVELOPMENT**

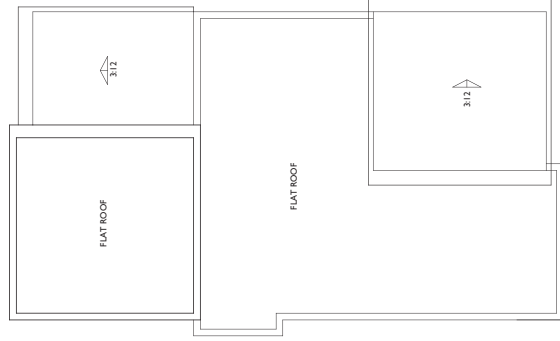
**THE NEWPORT AT TEMPE**  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

March 18, 2013



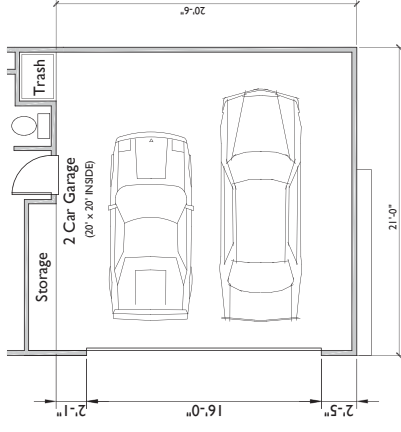


Roof Deck - Elev. B

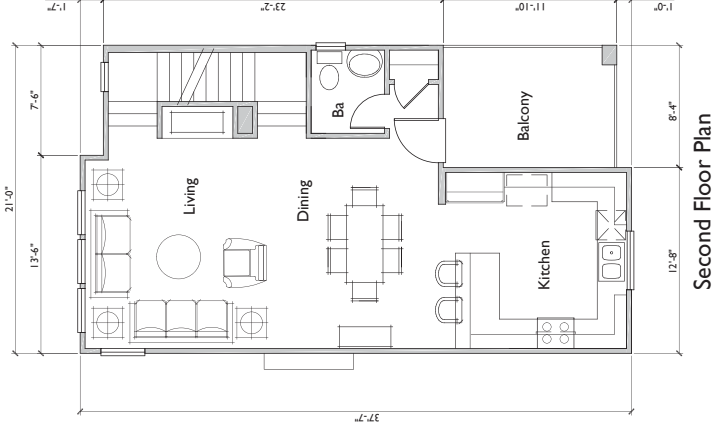


Roof Plan - Elev. A

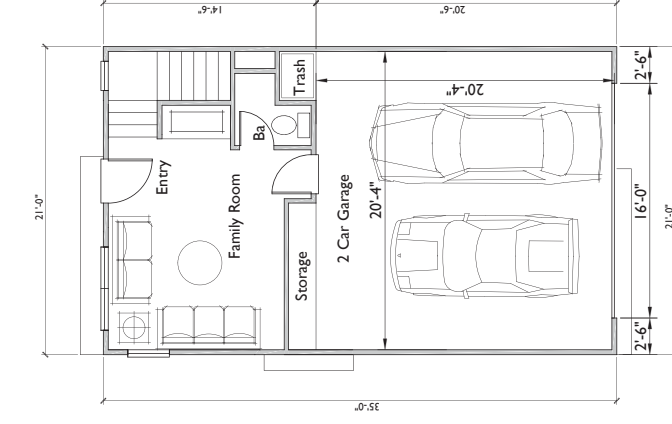
First Floor:	253 s.f.
Second Floor:	430 s.f.
Third Floor:	662 s.f.
Total Livable:	1,545 s.f.
Garage:	400 s.f.
Balcony:	95 s.f.
Roof Deck:	204 s.f.



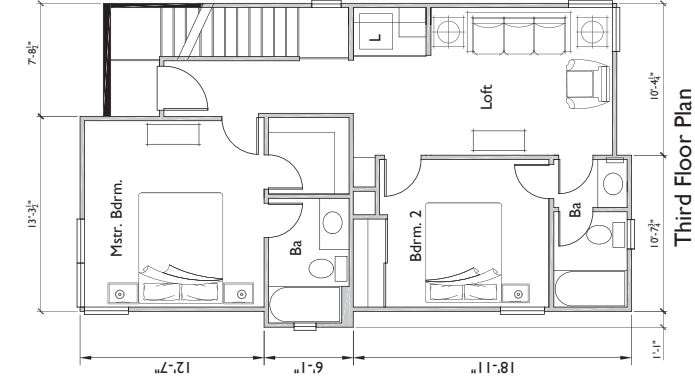
Partial Plan Side Loading Garage



Second Floor Plan



First Floor Plan



Third Floor Plan

PLAN 2 SCALE: 1/4" = 1'-0"

40 UNIT PLANNED AREA DEVELOPMENT

THE NEWPORT AT TEMPE  
1102 E. WEBER DRIVE  
TEMPE, ARIZONA

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Scottsdale, AZ 85252  
(805) 636-9805

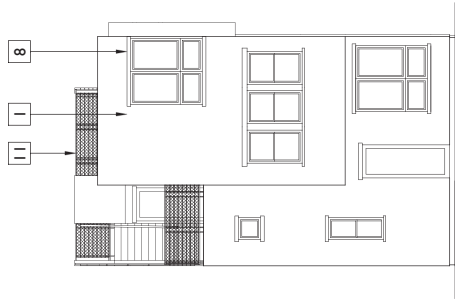
**SUMMA**  
ARCHITECTURE  
2555 S. MILITARY BL. SUITE 205  
BENICILL, CA 92009  
www.summa.com  
760.732.9491

2-1

ATTACHMENT B

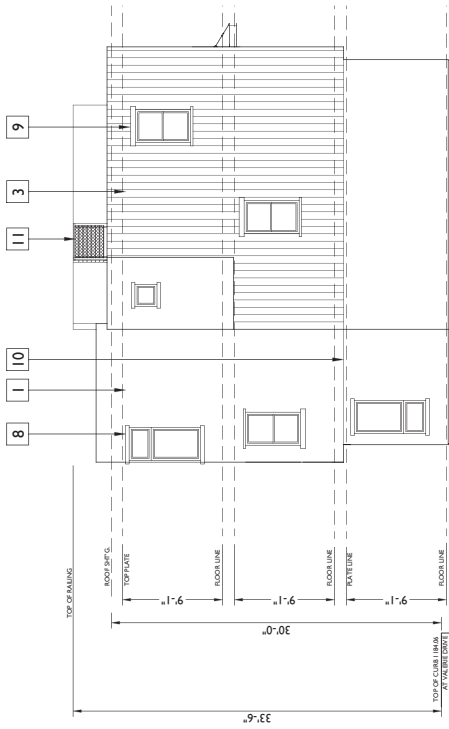
March 18, 2013



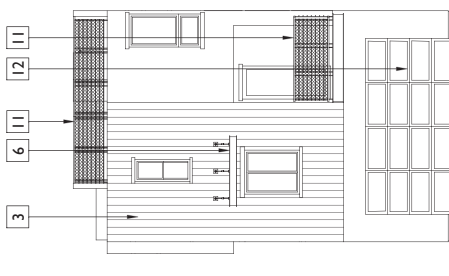


- MATERIAL NOTES**      **COLOR**
- 1 EXTERIOR STUCCO      DE6379, DE6221, DEV358
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN      DE6278
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF
  - 6 DECORATIVE METAL AWNING      DE6370
  - 7 DECORATIVE METAL TRELLIS      DE6370
  - 8 STUCCO O/ FOAM TRIM      DEV358
  - 9 WOOD TRIM
  - 10 STUCCO METAL REGLET
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS      DE6370

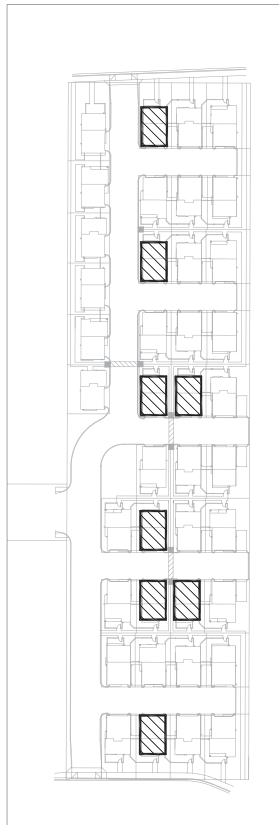
**FRONT ELEVATION**



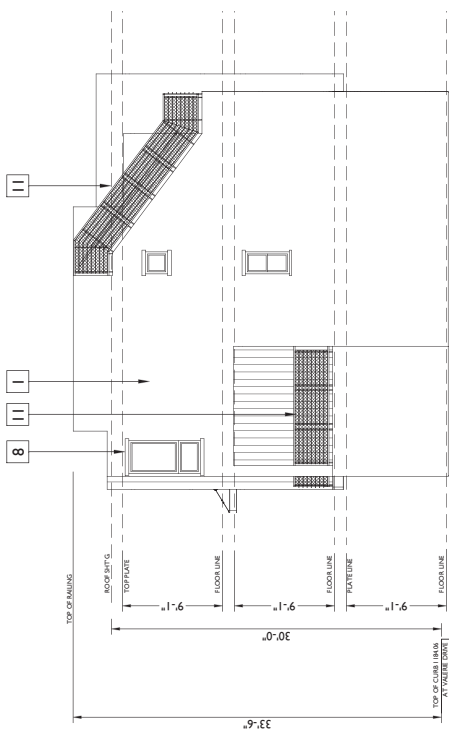
**RIGHT ELEVATION**



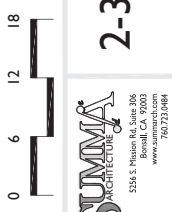
**REAR ELEVATION**



**KEY PLAN** **2B**



**LEFT ELEVATION**



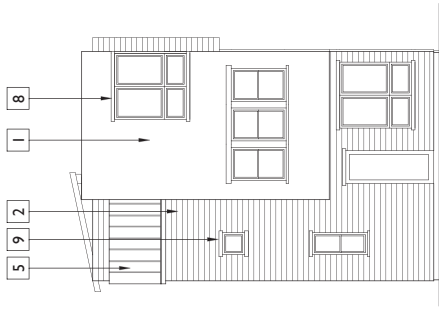
PLAN 2B ELEVATIONS    SCALE: 3/16" = 1'-0"

**THE NEWPORT AT TEMPE**  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA  
 March 18, 2013

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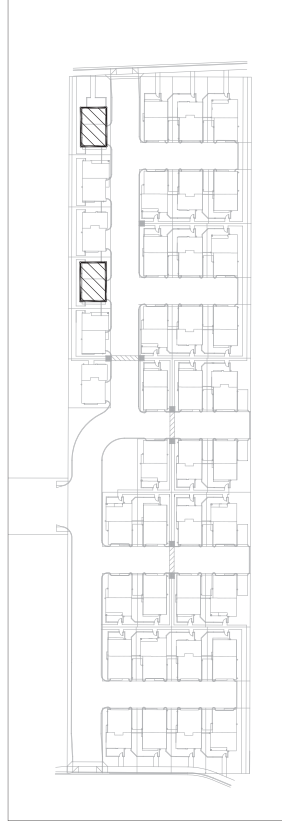
ATTACHMENT B



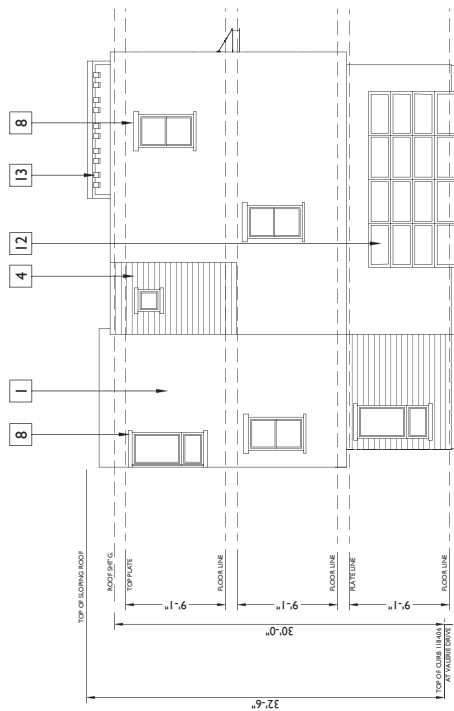


FRONT (SOUTH) ELEVATION

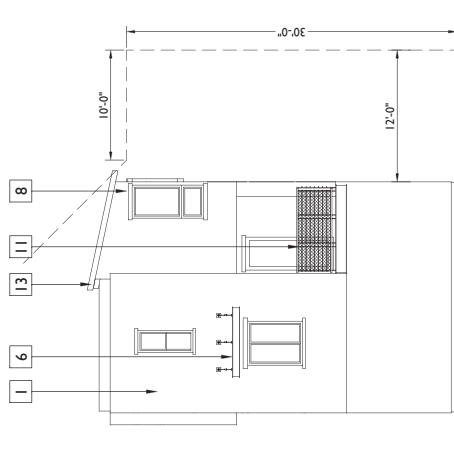
- MATERIAL NOTES
- |    | COLOR  |
|----|--|
| 1  | EXTERIOR STUCCO DEC705, DE6178                   |
| 2  | SMOOTH HARDIE FLANK HORIZONTAL LAP SIDING DE6379 |
| 3  | SMOOTH HARDIE PANEL BOARD AND BATTEN             |
| 4  | GALVANIZED CORRUGATED METAL SIDING               |
| 5  | METAL STANDING SEAM ROOF                         |
| 6  | DECORATIVE METAL AWNING DE6384                   |
| 7  | DECORATIVE METAL TRELIS DE6384                   |
| 8  | STUCCO O/ FOAM TRIM DE6384                       |
| 9  | WOOD TRIM DE6284                                 |
| 10 | STUCCO METAL REGLET                              |
| 11 | METAL GUARDRAIL                                  |
| 12 | TRANSLUCENT PANEL GARAGE DOOR                    |
| 13 | EXPOSED RAFTER TAILS DE6384                      |



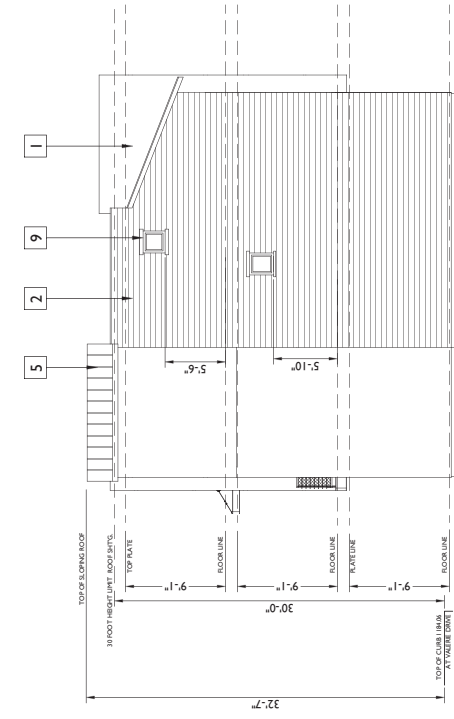
KEY PLAN 2A-ALT



RIGHT (WEST) ELEVATION



REAR (NORTH) ELEVATION



LEFT (EAST) ELEVATION



SCALE: 3/16" = 1'-0"

PLAN 2A ALTERNATE ELEVATIONS

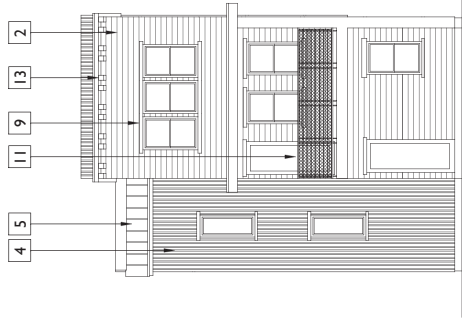
American West Development Co.  
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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

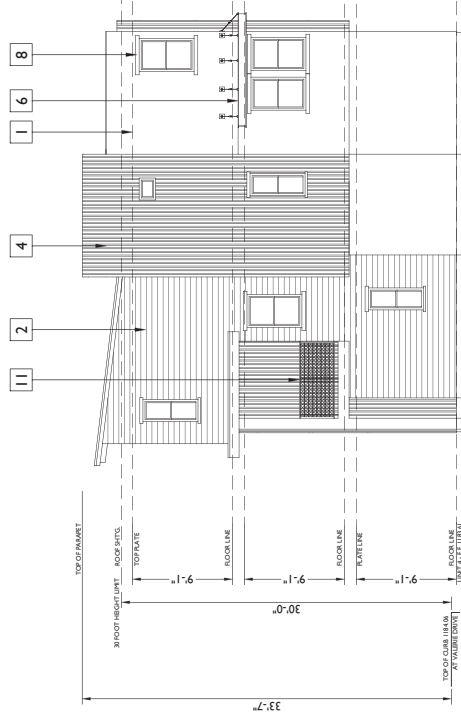
SUMMA  
 ARCHITECTURE  
 1555 S. PEORIA RD. SUITE 305  
 BELLVILLE, CA 90009  
 WWW.SUMMAARCHITECTURE.COM  
 714.733.0494



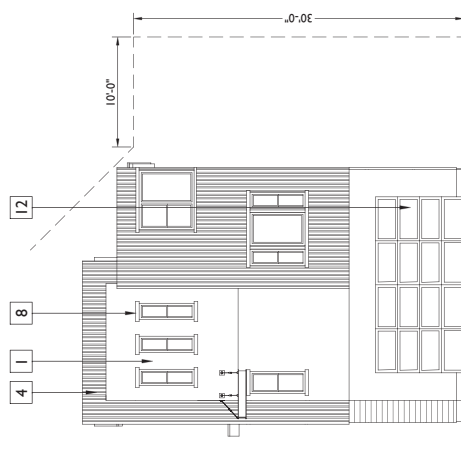


- MATERIAL NOTES**      **COLOR**
- 1 EXTERIOR STUCCO      DEC755
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN      DEC779
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF      DEC705
  - 6 DECORATIVE METAL AVENING      DE6384
  - 7 DECORATIVE METAL TRELIS      DE6384
  - 8 STUCCO OF FOAM TRIM      DE6218
  - 9 WOOD TRIM      DE6218
  - 10 STUCCO METAL REGLET
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS      DE6384

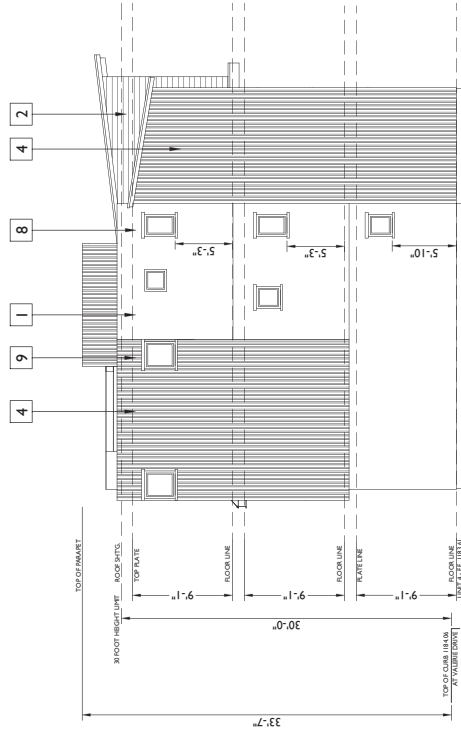
**FRONT ELEVATION**



**RIGHT ELEVATION**

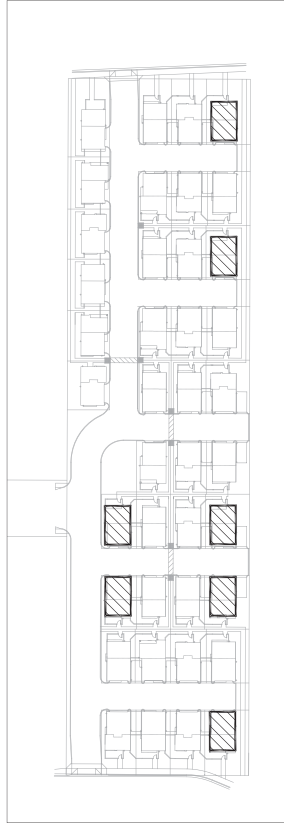


**REAR ELEVATION**



**LEFT ELEVATION**

PLAN 3A ELEVATIONS    SCALE: 3/16" = 1'-0"



**KEY PLAN    3A**

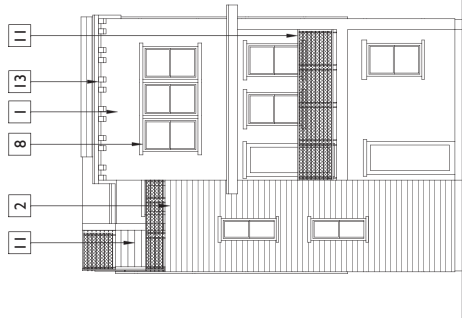
American West Development Co.  
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**40 UNIT PLANNED AREA  
 DEVELOPMENT**

**THE NEWPORT AT TEMPE  
 TEMPE, ARIZONA**

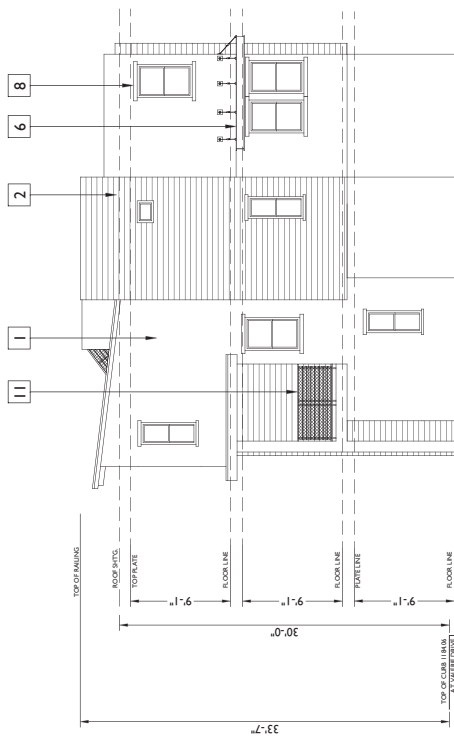
1102 E. WEBER DRIVE  
 March 18, 2013



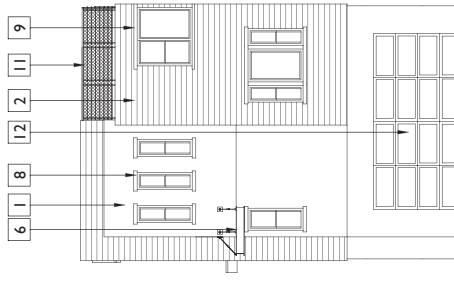


- MATERIAL NOTES**
- |    | COLOR  |
|----|--|
| 1  | EXTERIOR STUCCO<br>DEC770, D66221,<br>D63383           |
| 2  | SMOOTH HARDIE PLANK<br>HORIZONTAL LAP SIDING<br>D66379 |
| 3  | SMOOTH HARDIE PANEL<br>BOARD AND BATTEN                |
| 4  | GALVANIZED CORRUGATED<br>METAL SIDING                  |
| 5  | METAL STANDING SEAM ROOF<br>D66224                     |
| 6  | DECORATIVE METAL AWNING<br>D63384                      |
| 7  | DECORATIVE METAL TRELIS<br>D63384                      |
| 8  | STUCCO O/ FOAM TRIM<br>DEV358                          |
| 9  | WOOD TRIM<br>DEV358                                    |
| 10 | STUCCO METAL REGLET<br>D63384                          |
| 11 | METAL GUARDRAIL<br>D63384                              |
| 12 | TRANSLUCENT PANEL<br>GARAGE DOOR                       |
| 13 | EXPOSED RAFTER TAILS<br>D63384                         |

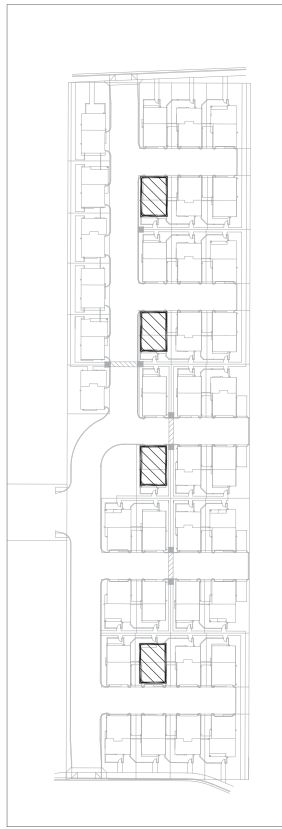
**FRONT ELEVATION**



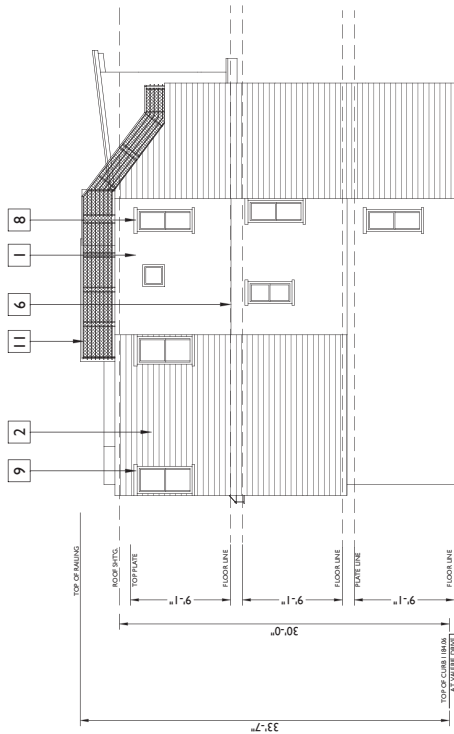
**RIGHT ELEVATION**



**REAR ELEVATION**



**KEY PLAN** **3B**



**LEFT ELEVATION**



PLAN 3B ELEVATIONS SCALE: 3/16" = 1'-0"

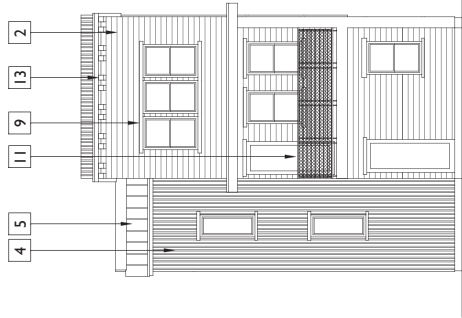
American West Development Co.  
P O Box 8270  
Scottsdale, AZ 85252  
(805) 636-9805

**40 UNIT PLANNED AREA  
DEVELOPMENT**

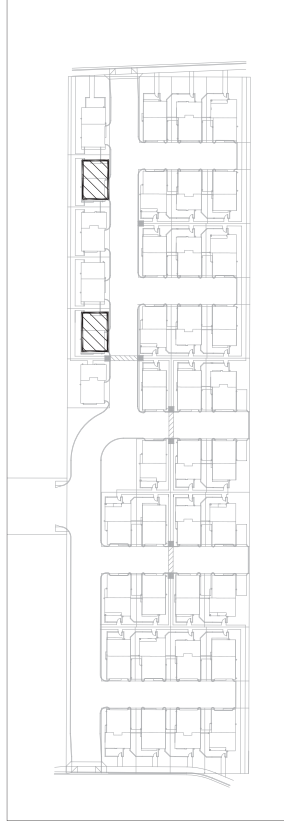
**THE NEWPORT AT TEMPE**  
1102 E. WEBER DRIVE  
TEMPE, ARIZONA

March 18, 2013



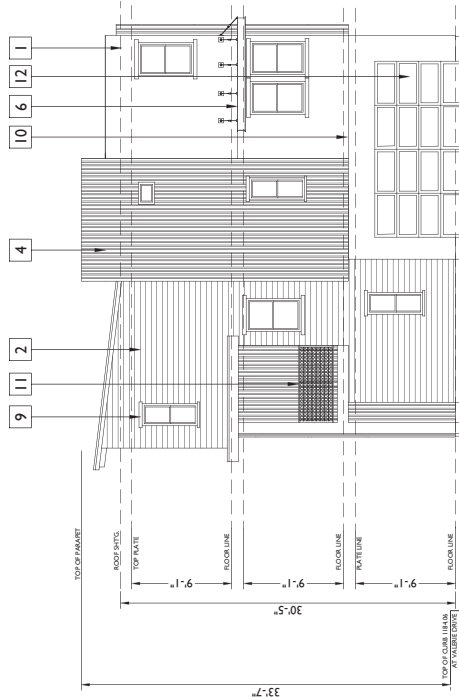


- MATERIAL NOTES COLOR
- 1 EXTERIOR STUCCO DEC755
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN DEC779
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF DEC705
  - 6 DECORATIVE METAL AWNING DB6384
  - 7 DECORATIVE METAL TRELLIS DB6384
  - 8 STUCCO OF FOAM TRIM DE6218
  - 9 WOOD TRIM DE6218
  - 10 STUCCO METAL REGLET DB6384
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS DB6384

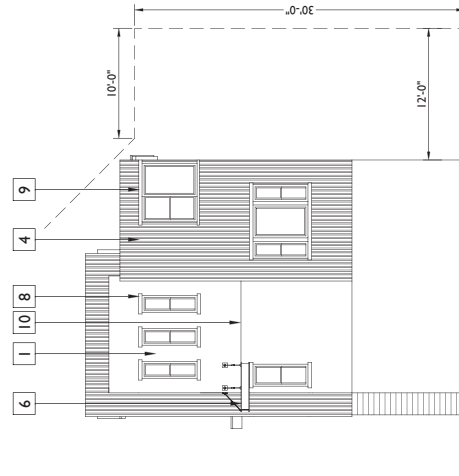


FRONT (SOUTH) ELEVATION

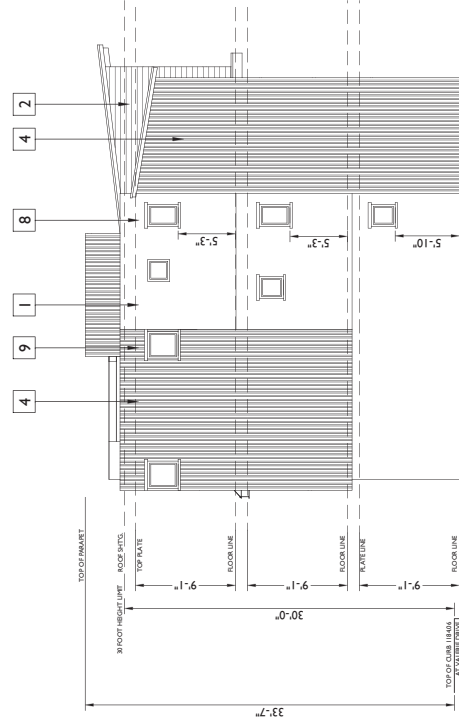
KEY PLAN 3A-ALT



RIGHT (WEST) ELEVATION



REAR (NORTH) ELEVATION



LEFT (EAST) ELEVATION

SCALE: 3/16" = 1'-0"



PLAN 3A ALTERNATE ELEVATIONS

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40 UNIT PLANNED AREA  
 DEVELOPMENT

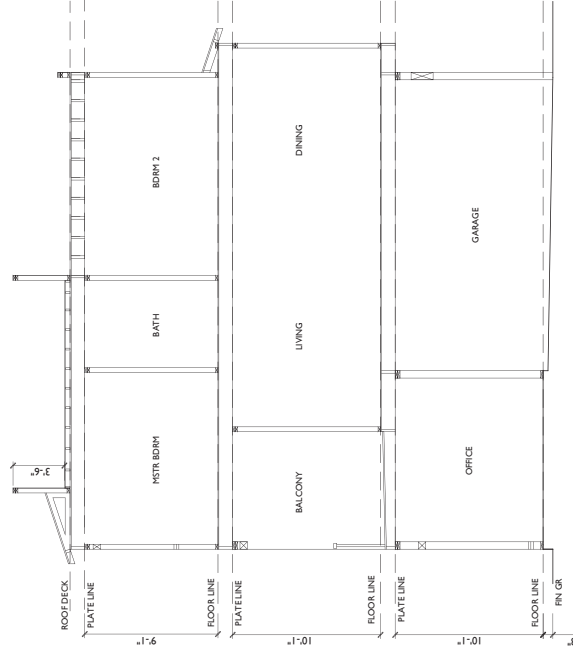
THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

SUMMA  
 ARCHITECTURE  
 5355 S. Phoenix Rd., Suite 306  
 Bonnell, CA 90009  
 www.summaarch.com  
 714.732.9494

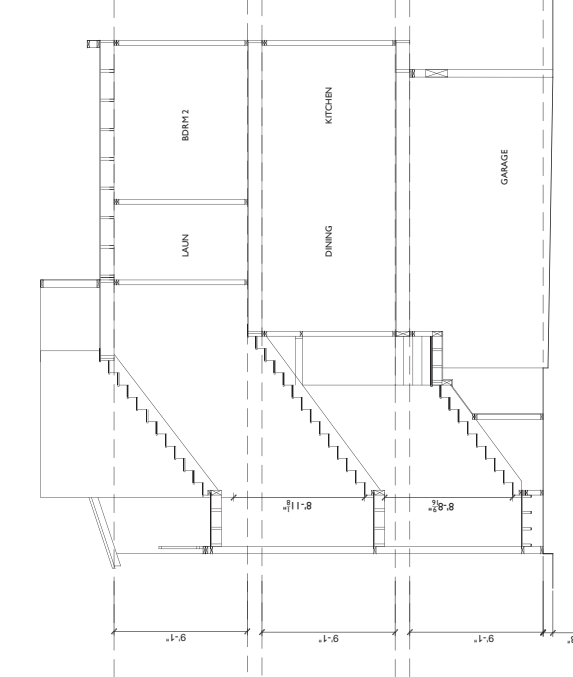
3-4

March 18, 2013

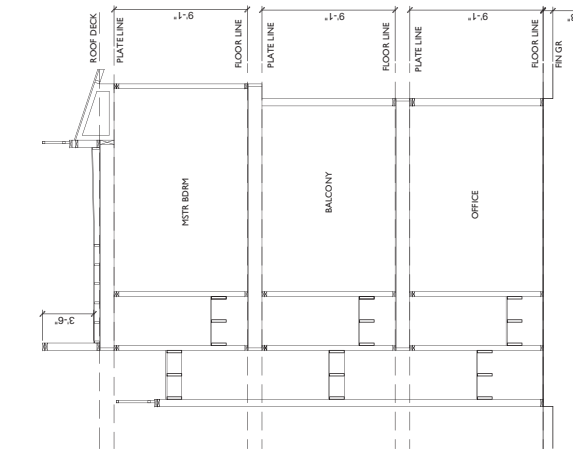
ATTACHMENT 2



PLAN 1 SECTION



PLAN 2 SECTION



PLAN 3 SECTION

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"



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 Scottsdale, AZ 85252  
 (805) 636-9805

40 UNIT PLANNED AREA  
 DEVELOPMENT  
 THE NEWPORT AT TEMPE  
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 TEMPE, ARIZONA  
 March 18, 2013

SUMMA ARCHITECTURE  
 5355 N. Phoenix Rd., Suite 306  
 Bonnell, CA 90009  
 www.summaarch.com  
 714.732.9494  
 S-I



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 Scottsdale, AZ 85252  
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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

ATTACHMENT 2

March 18, 2013

SITE SECTIONS

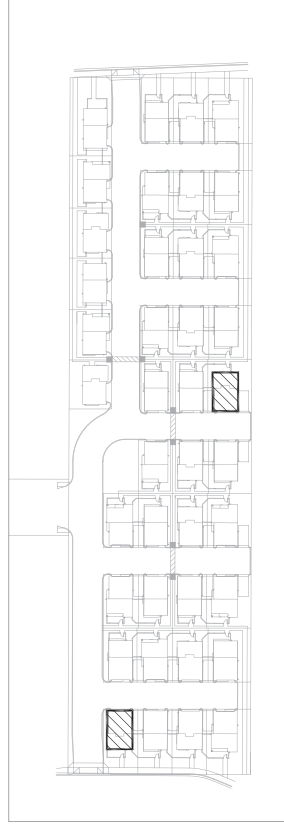






FRONT ELEVATION

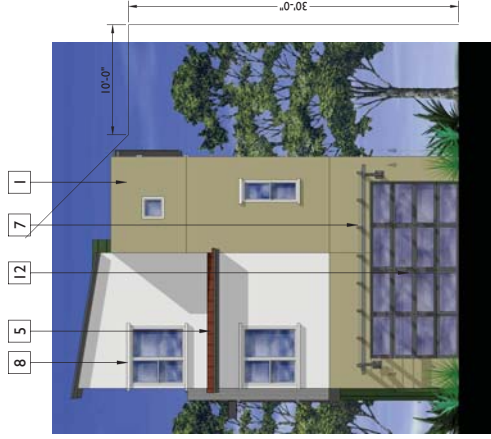
- MATERIAL NOTES: COLOR
- 1 EXTERIOR STUCCO DE6178, DEW358, DE6383
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN DE6278
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF
  - 6 DECORATIVE METAL AWNING
  - 7 DECORATIVE METAL TRELIS
  - 8 STUCCO O/ FOAM TRIM DEW358
  - 9 WOOD TRIM DEW358
  - 10 STUCCO METAL REGLET
  - 11 METAL GUARDRAIL DE6384
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS DE6384



KEY PLAN IA



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
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 TEMPE, ARIZONA

March 18, 2013

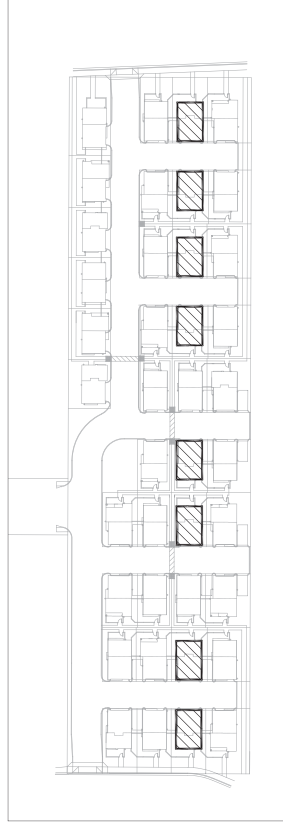






**FRONT ELEVATION**

- MATERIAL NOTES**
- |    | COLOR   |
|----|---|
| 1  | EXTERIOR STUCCO DE6218, DE6221, DE6224        |
| 2  | SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING     |
| 3  | SMOOTH HARDIE PANEL BOARD AND BATTEN          |
| 4  | GALVANIZED CORRUGATED METAL SIDING            |
| 5  | METAL STANDING SEAM ROOF DE6255               |
| 6  | DECORATIVE METAL AWNING DE6384                |
| 7  | DECORATIVE METAL TRELIS DE6384                |
| 8  | STUCCO O/ FOAM TRIM DE6218                    |
| 9  | WOOD TRIM DE6218                              |
| 10 | STUCCO METAL REGLET DE6384                    |
| 11 | METAL GUARDRAIL TRANSLUCENT PANEL GARAGE DOOR |
| 12 | EXPOSED RAFTER TAILS DE6384                   |



**KEY PLAN** IB



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**

PLAN IB ELEVATIONS SCALE: 3/16" = 1'-0"



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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

March 18, 2013

ATTACHMENT 27

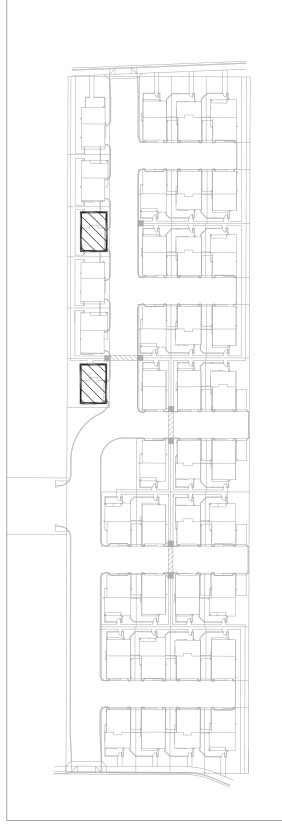


3555 S. Mill Ave. Ste. 205  
 Tempe, AZ 85281  
 www.summa.com  
 702.733.9491



FRONT (SOUTH) ELEVATION

- MATERIAL NOTES
- |    | COLOR   |
|----|---|
| 1  | EXTERIOR STUCCO<br>DE6178, DEW358,<br>DE6383      |
| 2  | SMOOTH HARDIE PLANK<br>HORIZONTAL LAP SIDING      |
| 3  | SMOOTH HARDIE PANEL<br>BOARD AND BATTEN<br>DE6278 |
| 4  | GALVANIZED CORRUGATED<br>METAL SIDING             |
| 5  | METAL STANDING SEAM ROOF                          |
| 6  | DECORATIVE METAL AWNING                           |
| 7  | DECORATIVE METAL TRELLIS                          |
| 8  | STUCCO O/ FOAM TRIM<br>DEW358                     |
| 9  | WOOD TRIM<br>DEW358                               |
| 10 | STUCCO METAL REGLET<br>DE6384                     |
| 11 | METAL GUARDRAIL                                   |
| 12 | TRANSLUCENT PANEL<br>GARAGE DOOR<br>DE6384        |
| 13 | EXPOSED RAFTER TAILS                              |



KEY PLAN IA-ALT



RIGHT (WEST) ELEVATION



REAR (NORTH) ELEVATION



LEFT (EAST) ELEVATION



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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

March 18, 2013



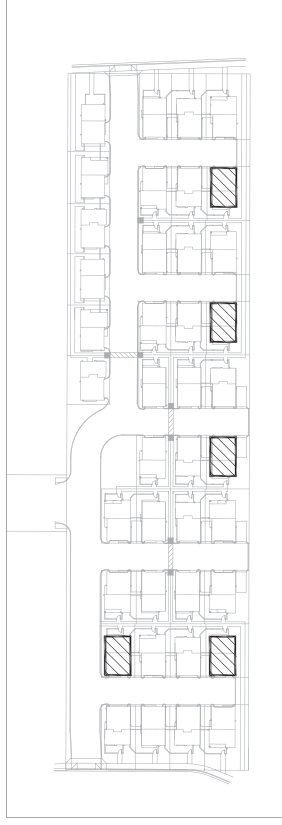
2355 S. MELISSA AVE. SUITE 205  
 BIRMINGHAM, CA 90009  
 www.summaarch.com  
 760.722.0491



FRONT ELEVATION

MATERIAL NOTES COLOR

- 1 EXTERIOR STUCCO DEC705, D66178
- 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING D66379
- 3 SMOOTH HARDIE PANEL BOARD AND BATTEN
- 4 GALVANIZED CORRUGATED METAL SIDING
- 5 METAL STANDING SEAM ROOF
- 6 DECORATIVE METAL AWNING D66384
- 7 DECORATIVE METAL TRELLIS D66384
- 8 STUCCO O/ FOAM TRIM D66384
- 9 WOOD TRIM D66384
- 10 STUCCO METAL REGLET D66384
- 11 METAL GUARDRAIL
- 12 TRANSLUCENT PANEL GARAGE DOOR
- 13 EXPOSED RAFTER TAILS D66384



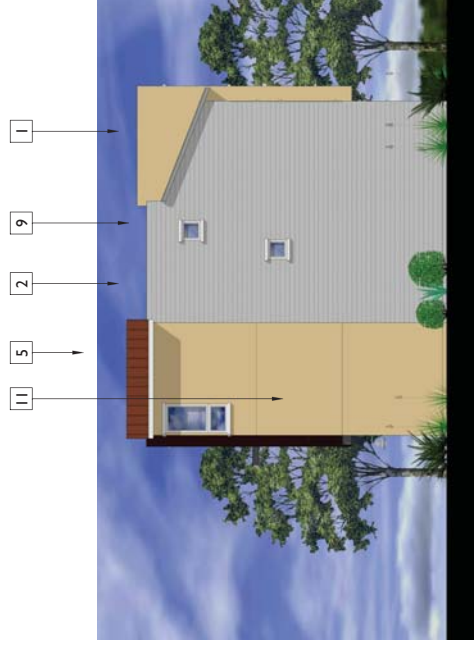
KEY PLAN 2A



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



PLAN 2A ELEVATIONS SCALE: 3/16" = 1'-0"

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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA

March 18, 2013

ATTACHMENT 2





11 1 8



FRONT ELEVATION

- MATERIAL NOTES
- |       |   |
|-------|---|
| COLOR | DE6379, DE6221, DEV358                    |
| 1     | EXTERIOR STUCCO                           |
| 2     | SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING |
| 3     | SMOOTH HARDIE PANEL BOARD AND BATTEN      |
| 4     | GALVANIZED CORRUGATED METAL SIDING        |
| 5     | METAL STANDING SEAM ROOF                  |
| 6     | DECORATIVE METAL AWNING                   |
| 7     | DECORATIVE METAL TRELIS                   |
| 8     | STUCCO O/F FOAM TRIM                      |
| 9     | WOOD TRIM                                 |
| 10    | STUCCO-METAL REGLET                       |
| 11    | METAL GUARDRAIL                           |
| 12    | TRANSLUCENT PANEL GARAGE DOOR             |
| 13    | EXPOSED RAFTER TAILS                      |



KEY PLAN 2B

8 1 10 11 3 9



RIGHT ELEVATION

3 6 11 12 11

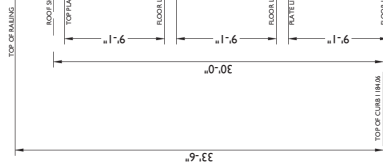


REAR ELEVATION

8 11 1



LEFT ELEVATION



PLAN 2B ELEVATIONS SCALE: 3/16" = 1'-0"

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Scottsdale, AZ 85252  
(805) 636-9805

40 UNIT PLANNED AREA  
DEVELOPMENT

THE NEWPORT AT TEMPE  
1102 E. WEBER DRIVE  
TEMPE, ARIZONA

March 18, 2013

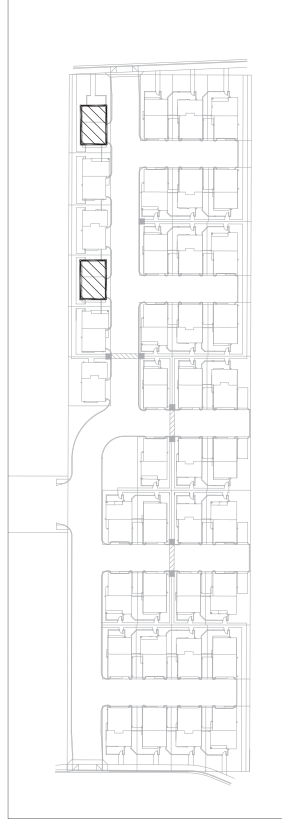


2-3

- MATERIAL NOTES**      **COLOR**
- 1 EXTERIOR STUCCO      DEC705, DE6178
  - 2 SMOOTH HARDIE FLANK HORIZONTAL LAP SIDING      DE6379
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF
  - 6 DECORATIVE METAL AWNING      DE6384
  - 7 DECORATIVE METAL TRELIS      DE6384
  - 8 STUCCO O/ FOAM TRIM      DE6384
  - 9 WOOD TRIM      DE6284
  - 10 STUCCO METAL REGLET
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS      DE6384



**FRONT (SOUTH) ELEVATION**



**KEY PLAN**      2A-ALT



**RIGHT (WEST) ELEVATION**



**REAR (NORTH) ELEVATION**



**LEFT (EAST) ELEVATION**



SCALE: 3/16" = 1'-0"

PLAN 2A ALTERNATE ELEVATIONS

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40 UNIT PLANNED AREA  
 DEVELOPMENT

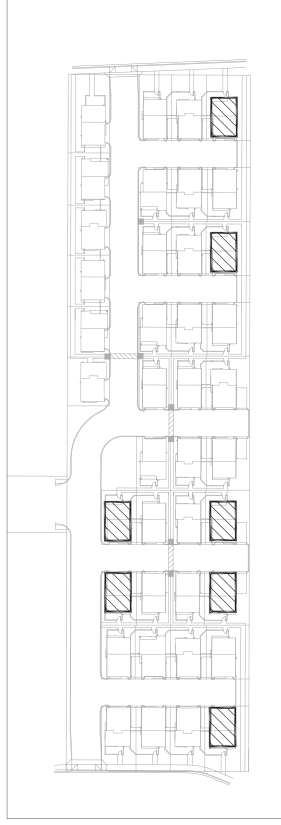
THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA





FRONT ELEVATION

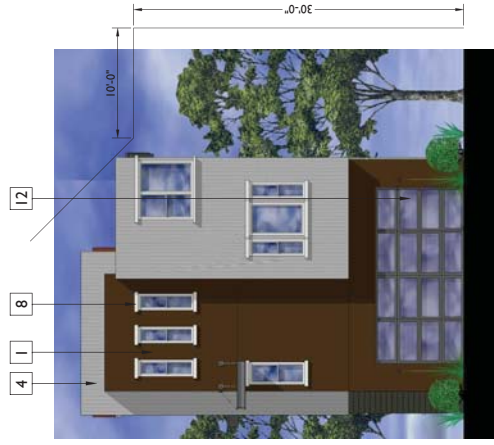
- | MATERIAL NOTES                               | COLOR  |
|--|--------|
| 1] EXTERIOR STUCCO                           | DEC755 |
| 2] SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING |        |
| 3] SMOOTH HARDIE PANEL BOARD AND BATTEN      | DEC779 |
| 4] GALVANIZED CORRUGATED METAL SIDING        |        |
| 5] METAL STANDING SEAM ROOF                  | DEC705 |
| 6] DECORATIVE METAL AVENING                  | DE6384 |
| 7] DECORATIVE METAL TRELIS                   | DE6384 |
| 8] STUCCO OF FOAM TRIM                       | DE6218 |
| 9] WOOD TRIM                                 | DE6218 |
| 10] STUCCO METAL REGLET                      |        |
| 11] METAL GUARDRAIL                          | DE6384 |
| 12] TRANSLUCENT PANEL GARAGE DOOR            |        |
| 13] EXPOSED RAFTER TAILS                     | DE6384 |



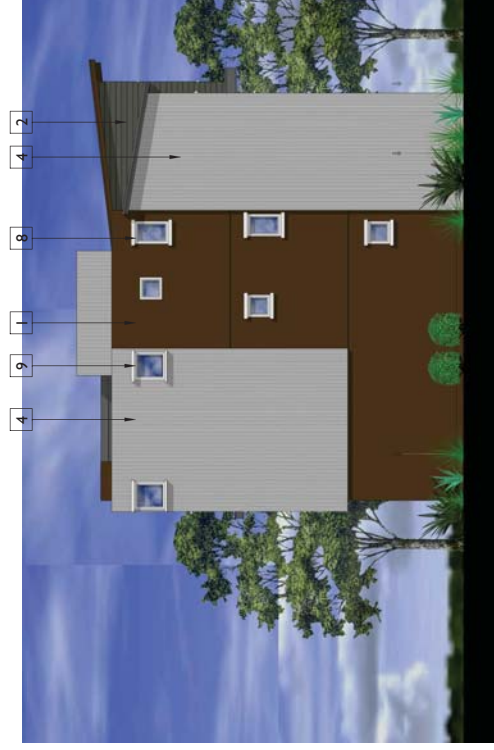
KEY PLAN 3A



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



PLAN 3A ELEVATIONS SCALE: 3/16" = 1'-0"

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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA  
 March 18, 2013

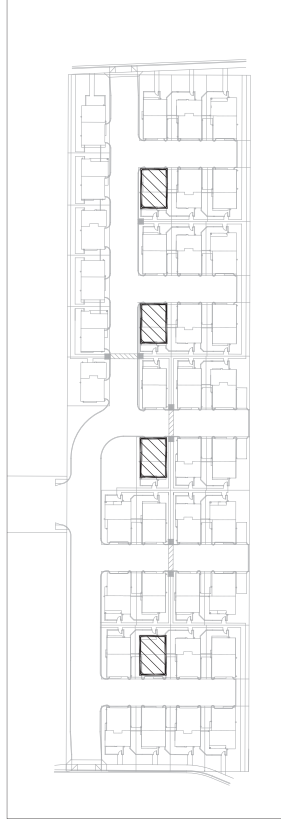






**FRONT ELEVATION**

- MATERIAL NOTES**
- |    | COLOR  |
|----|--|
| 1  | EXTERIOR STUCCO<br>DEC770, D66221,<br>D66383           |
| 2  | SMOOTH HARDIE PLANK<br>HORIZONTAL LAP SIDING<br>D66379 |
| 3  | SMOOTH HARDIE PANEL<br>BOARD AND BATTEN                |
| 4  | GALVANIZED CORRUGATED<br>METAL SIDING                  |
| 5  | METAL STANDING SEAM ROOF<br>D66224                     |
| 6  | DECORATIVE METAL AWNING<br>D66384                      |
| 7  | DECORATIVE METAL TRELIS<br>D66384                      |
| 8  | STUCCO O' FOAM TRIM<br>DEV358                          |
| 9  | WOOD TRIM<br>DEV358                                    |
| 10 | STUCCO METAL REGLET                                    |
| 11 | METAL GUARDRAIL<br>D66384                              |
| 12 | TRANSLUCENT PANEL<br>GARAGE DOOR                       |
| 13 | EXPOSED RAFTER TAILS<br>D66384                         |



**KEY PLAN 3B**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**



**PLAN 3B ELEVATIONS** SCALE: 3/16" = 1'-0"

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 (805) 636-9805

**40 UNIT PLANNED AREA  
 DEVELOPMENT**

**THE NEWPORT AT TEMPE**  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA





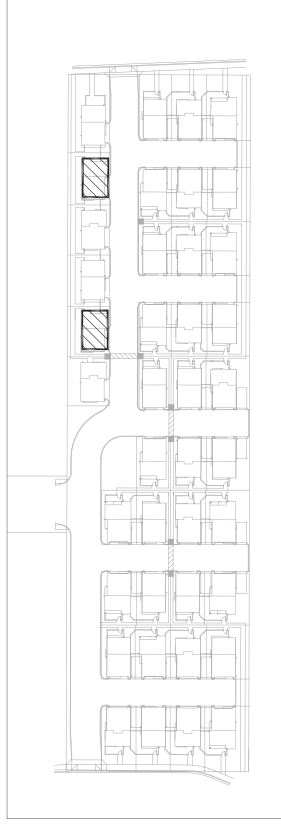


FRONT (SOUTH) ELEVATION



RIGHT (WEST) ELEVATION

- MATERIAL NOTES \_\_\_\_\_ COLOR
- 1 EXTERIOR STUCCO DEC755
  - 2 SMOOTH HARDIE PLANK HORIZONTAL LAP SIDING
  - 3 SMOOTH HARDIE PANEL BOARD AND BATTEN DEC779
  - 4 GALVANIZED CORRUGATED METAL SIDING
  - 5 METAL STANDING SEAM ROOF DEC705
  - 6 DECORATIVE METAL AWNING DB6384
  - 7 DECORATIVE METAL TRELIS DB6384
  - 8 STUCCO O F FOAM TRIM DE6218
  - 9 WOOD TRIM DE6218
  - 10 STUCCO METAL REGLET DB6384
  - 11 METAL GUARDRAIL
  - 12 TRANSLUCENT PANEL GARAGE DOOR
  - 13 EXPOSED RAFTER TAILS DB6384



KEY PLAN 3A-ALT



LEFT (EAST) ELEVATION



REAR (NORTH) ELEVATION



SCALE: 3/16" = 1'-0"

PLAN 3A ALTERNATE ELEVATIONS



40 UNIT PLANNED AREA DEVELOPMENT  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA  
 March 18, 2013

American West Development Co.  
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VALERIE DRIVE STREETSCENE



WEBER DRIVE STREETSCENE

PERSPECTIVES



American West Development Co.  
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40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA  
 March 18, 2013

ATTACHMENT B

**SUMMA**  
 ARCHITECTURE  
 5355 S. MOUNTAIN RD., SUITE 306  
 BONAIRE, CA 90009  
 WWW.SUMMAARCHITECTURE.COM  
 714.732.1048

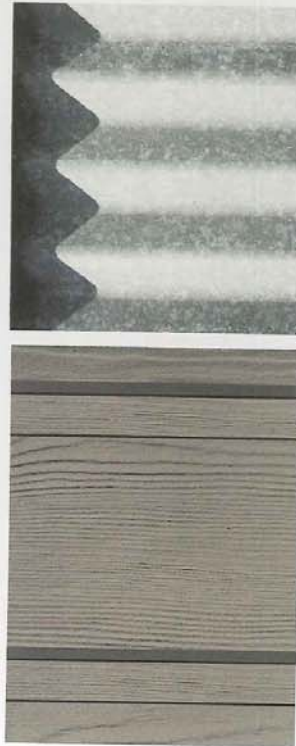


# SKYVIEW AT TEMPE COLOR AND MATERIAL SAMPLE BOARD

Rustic Taupe • DE6129 • LRV 47

Charcoal Smudge • DE6370 • LRV 11

Stone Creek • DE6278 • LRV 26



**HARDIEPANEL CEDARMILL  
VERTICAL SIDING  
BOARD & BATTEN**



**LA HABRA STUCCO  
SAND FINISH**

**CORRUGATED METAL SIDING  
7/8" X 2 1/2" PROFILE  
BONDERIZED**

Boutique Beige • DE6178 • LRV 59

Milk Glass • DEW358 • LRV 86

Iron Fixture • DE6384 • LRV 70

Driffling • DEC770 • LRV 43

Cocoa • DEC755 • LRV 13

Woodlawn Green • DEC779 • LRV 9



**HARDIEPLANK ARTISAN  
LAP SIDING  
SMOOTH - 5" EXPOSURE**



**CUSTOM-BILT METALS  
STANDING SEAM METAL ROOFING  
1.75" SEAM HEIGHT**

Silver Lake • DE6379 • LRV 67

Bank Vault • DE6983 • LRV 16

Burnt Crimson • DEC705 • LRV 10

**DUNN EDWARDS PAINT**

Treasure Chest • DE6224 • LRV 13

Antique Paper • DE6218 • LRV 81

• DE6221 • LRV 43

AMERICAN WEST DEVELOPMENT COMPANY

1102 E. WEBER DRIVE, TEMPE ARIZONA

40 UNIT PLANNED AREA DEVELOPMENT



VIEW FROM MARNY

ADJACENT VIEWS

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 Scottsdale, AZ 85252  
 (805) 636-9805

40 UNIT PLANNED AREA  
 DEVELOPMENT

THE NEWPORT AT TEMPE  
 1102 E. WEBER DRIVE  
 TEMPE, ARIZONA  
 March 18, 2013

**SUMMA**  
 ARCHITECTURE  
 1256 S. Millson Rd. Suite 204  
 Tempe, AZ 85282  
 www.summaaz.com  
 480.733.6884

27' FRONT SETBACK  
FROM WEBER

3AR

2A



## VIEW FROM 1404 N. ROSE STREET

American West Development Co.  
P O Box 8270  
Scottsdale, AZ 85252  
(805) 636-9805

40 UNIT PLANNED AREA  
DEVELOPMENT

THE NEWPORT AT TEMPE  
1102 E. WEBER DRIVE  
TEMPE, ARIZONA  
March 18, 2013

ATTACHMENT 38

**SUMMA**  
ARCHITECTURE  
3255 S. Millson Rd. Suite 304  
Brentwood, CA 97003  
www.summaarch.com  
760.733.6884

P-2

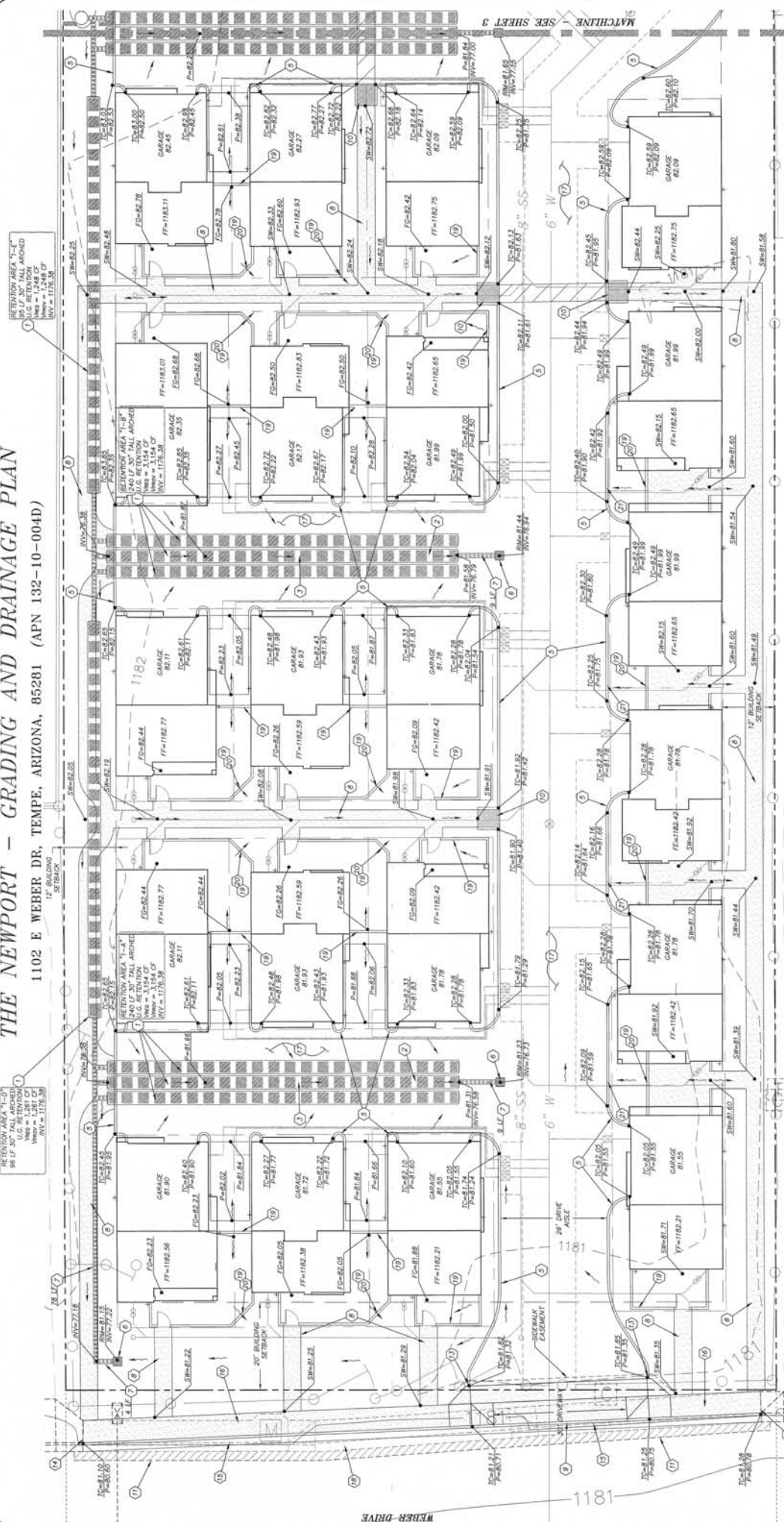






# THE NEWPORT - GRADING AND DRAINAGE PLAN

1102 E WEBER DR, TEMPE, ARIZONA, 85281 (APN 132-10-004D)



**RETENTION AREA 1-A**  
36 LF OF 30" ARCHED U.G. RETENTION  
W/S = 1,281 CF  
W/S = 1,248 CF  
W/S = 1,176.36

**RETENTION AREA 1-B**  
36 LF OF 30" ARCHED U.G. RETENTION  
W/S = 1,281 CF  
W/S = 1,248 CF  
W/S = 1,176.36

**RETENTION AREA 1-C**  
36 LF OF 30" ARCHED U.G. RETENTION  
W/S = 1,281 CF  
W/S = 1,248 CF  
W/S = 1,176.36

**RETENTION AREA 1-D**  
36 LF OF 30" ARCHED U.G. RETENTION  
W/S = 1,281 CF  
W/S = 1,248 CF  
W/S = 1,176.36

**RETENTION AREA 1-E**  
36 LF OF 30" ARCHED U.G. RETENTION  
W/S = 1,281 CF  
W/S = 1,248 CF  
W/S = 1,176.36

**RETENTION AREA 1-F**  
36 LF OF 30" ARCHED U.G. RETENTION  
W/S = 1,281 CF  
W/S = 1,248 CF  
W/S = 1,176.36

**DRAINAGE NOTES**

- 1) INSTALL 30" ARCHED UNDERGROUND RETENTION SYSTEM PER DETAIL ON SHEET 3
- 2) INSTALL 30" ARCHED UNDERGROUND RETENTION SYSTEM PER DETAIL ON SHEET 3
- 3) INSTALL INSPECTION POINT PER DETAIL ON SHEET 3
- 4) INSTALL MAXWELL PLUS DRYWELL PER DETAIL ON SHEET 3
- 5) INSTALL VERTICAL CURB PER MAG STD DTL 222 TYPE "A"
- 6) INSTALL VERTICAL CURB PER MAG STD DTL 335
- 7) INSTALL GATE BASIN PER MAG STD DTL 335
- 8) INSTALL 12" HOPE GRANITE PER LENGTH AS NOTED
- 9) CONSTRUCT 6" WIDE CONCRETE SIDEWALKS PER DETAIL ON SHEET 3
- 10) CONSTRUCT 30" WIDE DRYWELL PER STD DTL 1-350
- 11) CONSTRUCT CONCRETE SIDEWALK RAMP SLOPE NOT TO EXCEED 1:12. RISE NOT TO EXCEED 0.5'
- 12) CONSTRUCT IRONING IN SITE HALL AT FINISHED GRADE
- 13) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
- 14) RE INTO EXISTING IMPROVEMENTS
- 15) SANDWICH AND REMOVE EXISTING SIDEWALK CURB
- 16) INSTALL 5" WIDE SIDEWALK, CURB AND GUTTER PER STD DTL 7-345
- 17) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
- 18) INSTALL ASPHALT PAVING, MATCH TO ADJACENT ASPHALT ROADWAY THICKNESS

**DRYWELL CALCULATIONS**

TOTAL RETENTION IN DRAINAGE AREA 1 = 11,971 CF  
 DRYWELL DISSIPATION RATE = 0.10 CFS  
 11,971 / 0.10 = 119,710 HOURS TO DRAIN

**DRAINAGE NOTES**

GRADAGE AREA 1-A = 55,997 SF - NET AREA = 11,969 SF  
 RETENTION AREA 1-A = 3,154 SF OF 30" ARCHED U.G. RETENTION  
 RETENTION AREA 1-B = 3,154 SF OF 30" ARCHED U.G. RETENTION  
 RETENTION AREA 1-C = 3,154 SF OF 30" ARCHED U.G. RETENTION  
 RETENTION AREA 1-D = 3,154 SF OF 30" ARCHED U.G. RETENTION  
 RETENTION AREA 1-E = 3,154 SF OF 30" ARCHED U.G. RETENTION  
 RETENTION AREA 1-F = 3,154 SF OF 30" ARCHED U.G. RETENTION  
 TOTAL RETENTION VOLUMES = 11,971 - 11,971 = 0

**GRADING AND DRAINAGE PLAN**

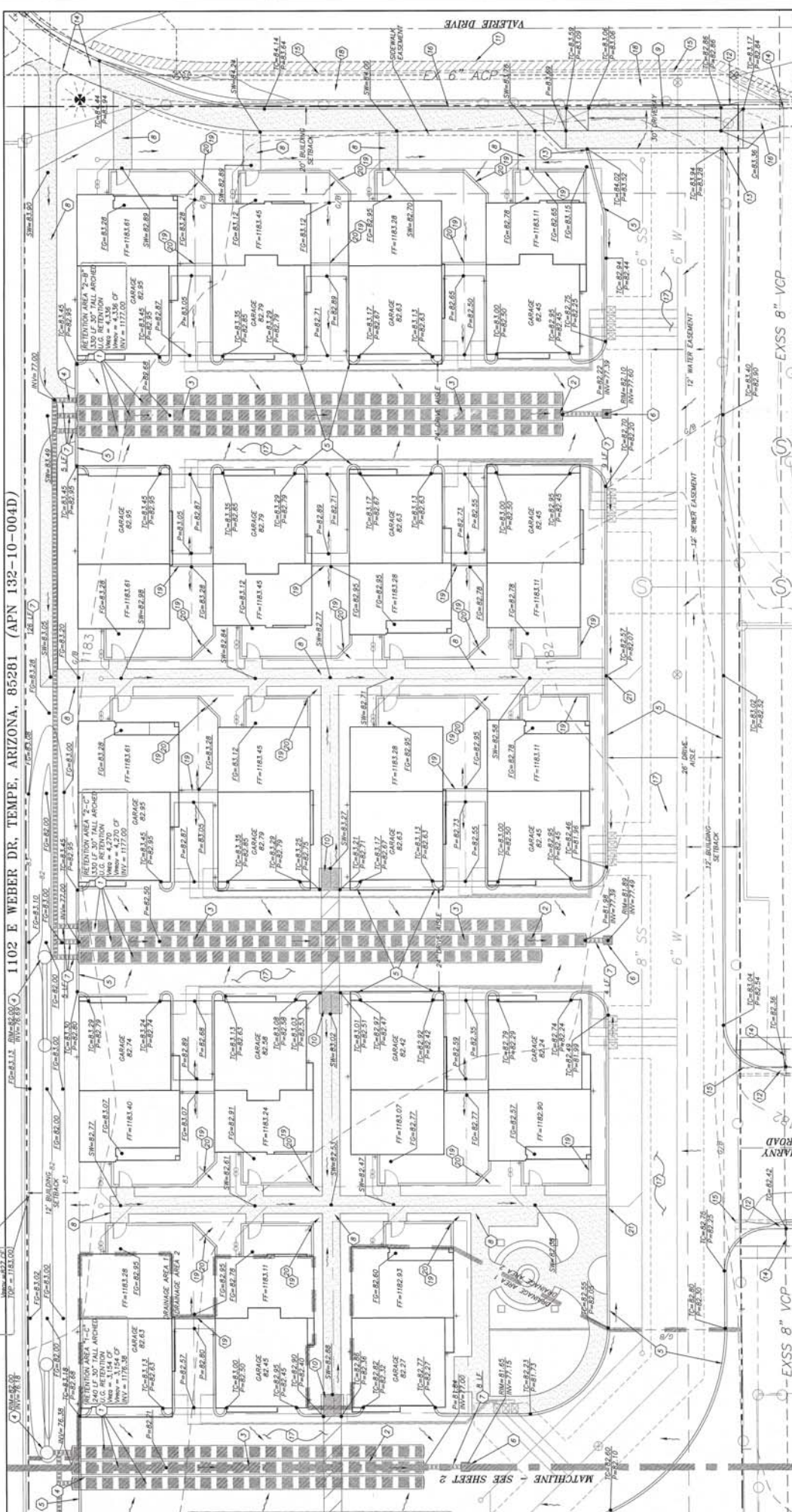
Designed by: MLW    Checked by: MH    Revisions: \_\_\_\_\_  
 Drawn by: MLW    Date: 3/24/23    Vertical Scale: \_\_\_\_\_  
 Horizontal Scale: 1" = 10'-0"

**THE NEWPORT**  
 Hook Engineering, Inc.  
 3221 N. 24TH STREET, SUITE 10 PHOENIX, AZ 85016 TEL: (602) 954-0166 FAX: (602) 954-0289



# THE NEWPORT - GRADING AND DRAINAGE PLAN

1102 E WEBER DR. TEMPE, ARIZONA, 85281 (APN 132-10-004D)



JOB NUMBER: 9090-12-01
   
 SHEET: 3 of 5

SCALE: 1" = 10'

**DRYWELL CALCULATIONS**
  
 TOTAL RETENTION IN DRAINAGE AREA 2 = 9,886 CF
   
 RETENTION AREA 2-4 = 877 CF PROVIDED IN 1 DEEP RETENTION BASIN
   
 DRYWELL DISSIPATION RATE = 0.10 CFS
   
 RETENTION AREA 2-5 = 4,270 CF - 325 LF OF 30" ANCHORED U.S. RETENTION
   
 TOTAL RETENTION PROVIDED = 8,433 - 9,433 > 9,886

Designed by: M.W. Checked by: B.H.
   
 Drawn by: M.W. Date: 3/24/13
   
 Horiz. Scale: 1" = 10'-0" Vert. Scale:

**DRAINAGE NOTES**
  
 (1) CONSTRUCT CONCRETE SIDEWALK RAMP, SLOPE NOT TO EXCEED 1:12. RISE NOT TO EXCEED 0.5'
   
 (2) INSTALL 30" ANCHORED UNDERGROUND RETENTION SYSTEM PER DETAIL ON SHEET 3
   
 (3) SCHEDULE, REMOVE AND REPLACE EXISTING CONCRETE AND ALLOW FOR DRAINAGE
   
 (4) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
   
 (5) INSTALL 12" HOSE DRAINAGE PIPE, LENGTH AS NOTED
   
 (6) PROVIDE 14" WIDE CONCRETE SIDEWALK PER ARCHITECTURAL PLANS FOR DETAILS
   
 (7) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
   
 (8) CONSTRUCT 30" WIDE DRIVEWAY PER COTI STD DET. P-320
   
 (9) INSTALL ASPHALT PAVING, MATCH TO ADJACENT ASPHALT, ROADWAY THICKNESS

**GRADING AND DRAINAGE NOTES**
  
 (10) CONSTRUCT SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS
   
 (11) SCHEDULE, REMOVE AND REPLACE EXISTING CONCRETE AND ALLOW FOR DRAINAGE
   
 (12) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
   
 (13) INSTALL 12" HOSE DRAINAGE PIPE, LENGTH AS NOTED
   
 (14) RE INTO EXISTING IMPROVEMENTS
   
 (15) SCHEDULE, REMOVE EXISTING SIDEWALK CURB AND GUTTER
   
 (16) INSTALL 5" WIDE SIDEWALK CURB AND GUTTER PER COTI STD DET. P-345
   
 (17) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
   
 (18) CONSTRUCT 30" WIDE DRIVEWAY PER COTI STD DET. P-320

(19) CONSTRUCT CONCRETE SIDEWALK RAMP, SLOPE NOT TO EXCEED 1:12. RISE NOT TO EXCEED 0.5'
   
 (20) SCHEDULE, REMOVE AND REPLACE EXISTING CONCRETE AND ALLOW FOR DRAINAGE
   
 (21) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
   
 (22) INSTALL 12" HOSE DRAINAGE PIPE, LENGTH AS NOTED
   
 (23) PROVIDE 14" WIDE CONCRETE SIDEWALK PER ARCHITECTURAL PLANS FOR DETAILS
   
 (24) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
   
 (25) CONSTRUCT 30" WIDE DRIVEWAY PER COTI STD DET. P-320

(26) CONSTRUCT CONCRETE SIDEWALK RAMP, SLOPE NOT TO EXCEED 1:12. RISE NOT TO EXCEED 0.5'
   
 (27) SCHEDULE, REMOVE AND REPLACE EXISTING CONCRETE AND ALLOW FOR DRAINAGE
   
 (28) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
   
 (29) INSTALL 12" HOSE DRAINAGE PIPE, LENGTH AS NOTED
   
 (30) PROVIDE 14" WIDE CONCRETE SIDEWALK PER ARCHITECTURAL PLANS FOR DETAILS
   
 (31) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
   
 (32) CONSTRUCT 30" WIDE DRIVEWAY PER COTI STD DET. P-320

(33) CONSTRUCT CONCRETE SIDEWALK RAMP, SLOPE NOT TO EXCEED 1:12. RISE NOT TO EXCEED 0.5'
   
 (34) SCHEDULE, REMOVE AND REPLACE EXISTING CONCRETE AND ALLOW FOR DRAINAGE
   
 (35) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
   
 (36) INSTALL 12" HOSE DRAINAGE PIPE, LENGTH AS NOTED
   
 (37) PROVIDE 14" WIDE CONCRETE SIDEWALK PER ARCHITECTURAL PLANS FOR DETAILS
   
 (38) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
   
 (39) CONSTRUCT 30" WIDE DRIVEWAY PER COTI STD DET. P-320

(40) CONSTRUCT CONCRETE SIDEWALK RAMP, SLOPE NOT TO EXCEED 1:12. RISE NOT TO EXCEED 0.5'
   
 (41) SCHEDULE, REMOVE AND REPLACE EXISTING CONCRETE AND ALLOW FOR DRAINAGE
   
 (42) CONSTRUCT 2" CURB CUT TO ALLOW FOR DRAINAGE
   
 (43) INSTALL 12" HOSE DRAINAGE PIPE, LENGTH AS NOTED
   
 (44) PROVIDE 14" WIDE CONCRETE SIDEWALK PER ARCHITECTURAL PLANS FOR DETAILS
   
 (45) INSTALL 3" AC OVER 6" ABC ASPHALT PAVING
   
 (46) CONSTRUCT 30" WIDE DRIVEWAY PER COTI STD DET. P-320

THE NEWPORT
   
 Hook Engineering, Inc.
   
 3221 N. 24th STREET, SUITE 10 PHOENIX, AZ 85016 Tel: (602) 954-0166 Fax: (602) 954-0289

GRADING AND DRAINAGE PLAN

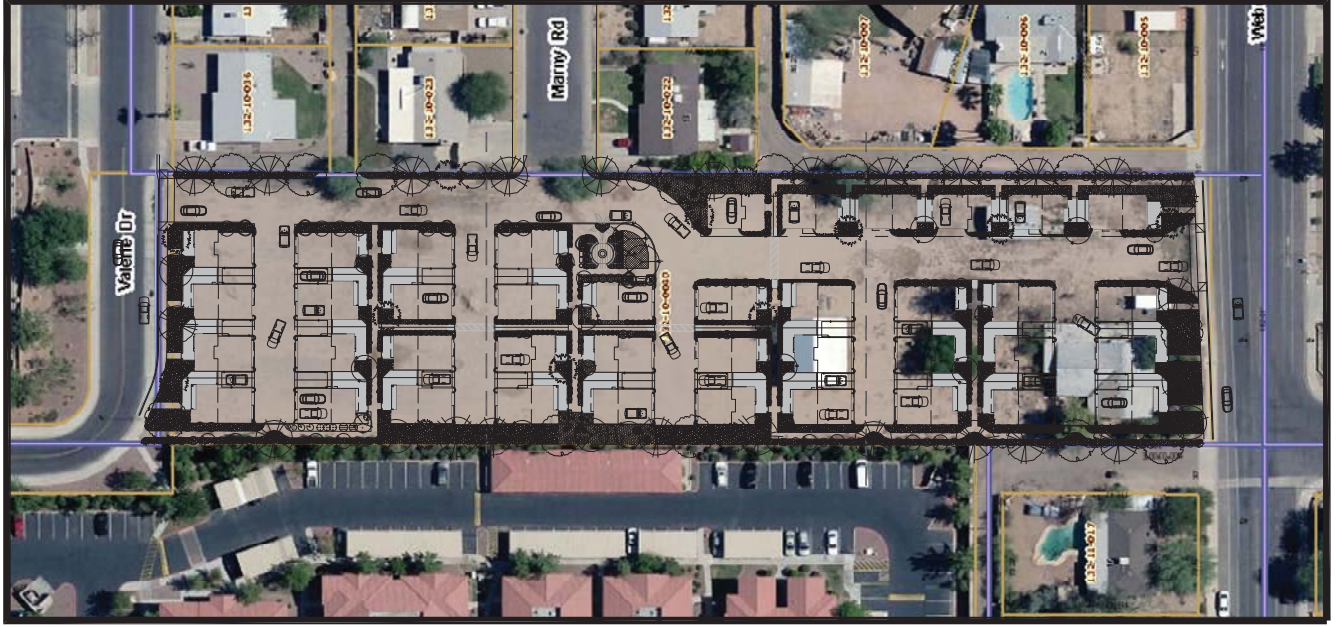
MATCHLINE - SEE SHEET 2



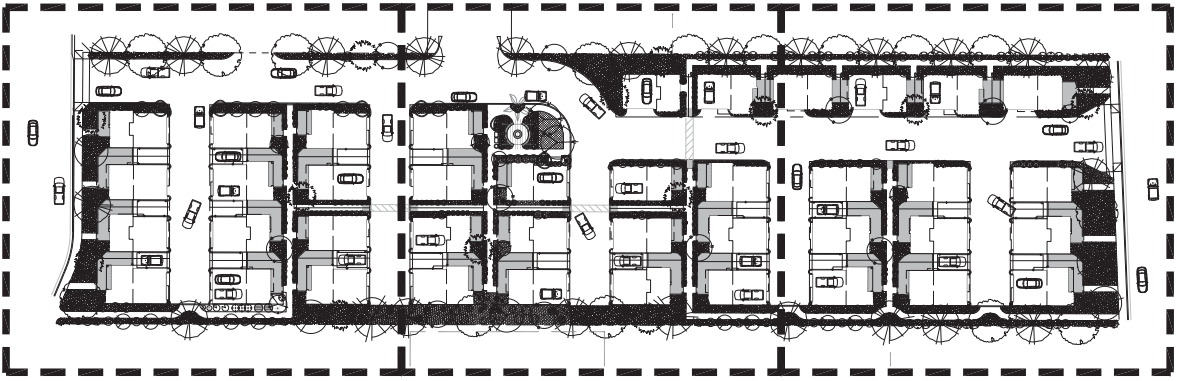


# AERIAL SITE STUDY

(SHOWN FOR REFERENCE ONLY - SEE LANDSCAPE SHEETS)



# LANDSCAPE SHEET LAYOUT



0' 30' 60'

Scale: 1" = 30'-0"



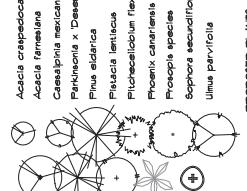


**SITE PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENTS
<b>EROSION TREES</b>					
	<i>Acacia craspedocarpa</i>	LEATHER-LEAF ACACIA	15 GAL.	-	PER PLAN
	<i>Acacia farnesiana</i>	SWEET ACACIA	24" BOX, 15 CAL.	-	PER PLAN
	<i>Casahuate mexicana</i>	BIRD OF PARADISE	24" BOX, 15 CAL.	-	PER PLAN
	<i>Parkia nelsonii</i>	HYBRID PALO VERDE	24" BOX, 15 CAL.	-	PER PLAN
	<i>Pinus edulis</i>	ARGHUN PINE	24" BOX, 2 CAL.	-	PER PLAN
	<i>Pinus torreyana</i>	MASTIC TREE	24" BOX, 15 CAL.	-	PER PLAN
	<i>Pteleocarpus texanensis</i>	TEXAS EBONY	24" BOX, 15 CAL.	-	PER PLAN
	<i>Prosopis juliflora</i>	CANARY ISLAND DATE	18"-17" SELECTIONS	-	PER PLAN
	<i>Prosopis juliflora</i>	HYBRID MESQUITE	24" BOX, 15 CAL.	-	PER PLAN
	<i>Prosopis juliflora</i>	TEXAS MOUNTAIN LAUREL	24" BOX, 15 CAL.	-	PER PLAN
	<i>Prosopis juliflora</i>	CHINESE ELM	24" BOX, 15 CAL.	-	PER PLAN
<b>EROSION PLANTS</b>					
	<i>Agave americana</i>	CENTURY PLANT	5 GAL.	-	PER PLAN
	<i>Agave bovicornuta</i>	COW'S HORN AGAVE	5 GAL.	-	PER PLAN
	<i>Crispa macrocarpa</i>	Bowwood Beauty	5 GAL.	-	PER PLAN
	<i>Crispa macrocarpa</i>	NATAL PLUM	5 GAL.	-	PER PLAN
	<i>Cassia artemisioides</i>	FEATHERY CASABA	5 GAL.	-	PER PLAN
	<i>Convolvulus crearon</i>	BUSH HORNING GLORY	5 GAL.	-	PER PLAN
	<i>Cyathus revolutus</i>	SAGO PALM	5 GAL.	-	PER PLAN
	<i>Dasylirion longistylus</i>	TOOTHLESS SPOON	5 GAL.	-	PER PLAN
	<i>Dodonaea viscosa</i>	HORSHEED BUSH	5 GAL.	-	PER PLAN
	<i>Echinocactus grusonii</i>	GOLDEN BARREL	5 GAL.	-	PER PLAN
	<i>Eriosema maculata</i>	VALENTINE BFF	5 GAL.	-	PER PLAN
	<i>Eriosema maculata</i>	CANDELLA	5 GAL.	-	PER PLAN
	<i>Fouquieria splendens</i>	8-10 CANE	5 GAL.	-	PER PLAN
	<i>Hesperaloe parviflora</i>	RED YUCCA	5 GAL.	-	PER PLAN
	<i>Justicia californica</i>	CHUPAROSA	5 GAL.	-	PER PLAN
	<i>Lantana speciosa</i>	LANTANA	5 GAL.	-	PER PLAN
	<i>Lantana speciosa</i>	TRAILING LANTANA	5 GAL.	-	PER PLAN
	<i>Leucopogon argenteus</i>	LANSHAN'S SAGE	5 GAL.	-	PER PLAN
	<i>Muhlenbergia capillaris</i>	REGAL HIB	5 GAL.	-	PER PLAN
	<i>Nerium oleander</i>	DWARF OLEANDER	5 GAL.	-	PER PLAN
	<i>Pedicularis nasocarpa</i>	SLIPPER PLANT	5 GAL.	-	PER PLAN
	<i>Pitocarpus wrightii</i>	DWARF PITTOSPOURM	5 GAL.	-	PER PLAN
	<i>Pitocarpus wrightii</i>	VARIEGATED PITTOSPOURM	5 GAL.	-	PER PLAN
	<i>Rapirolophus indica</i>	INDIAN HAITHORNE	5 GAL.	-	PER PLAN
	<i>Rosmarinus officinalis</i>	TRAILING ROSEMARY	5 GAL.	-	PER PLAN
	<i>Simmondsia chinensis</i>	JOJOBA	5 GAL.	-	PER PLAN

**MISCELLANEOUS LEGEND**

SYMBOL	DESCRIPTION	QUANTITY	COMMENTS
	PRIVATE RESIDENCE COURTYARDS - PLANS TO BE DEVELOPED	38	PER PLAN
	DECOMPOSED GRANITE LANDSCAPE AREA - ROCK SIZE 4 COLOR TBD.	-	PER PLAN
	LAWN / TURF AREA - MIDRISK BERRIDA SOIL UNLESS NOTED	-	PER PLAN



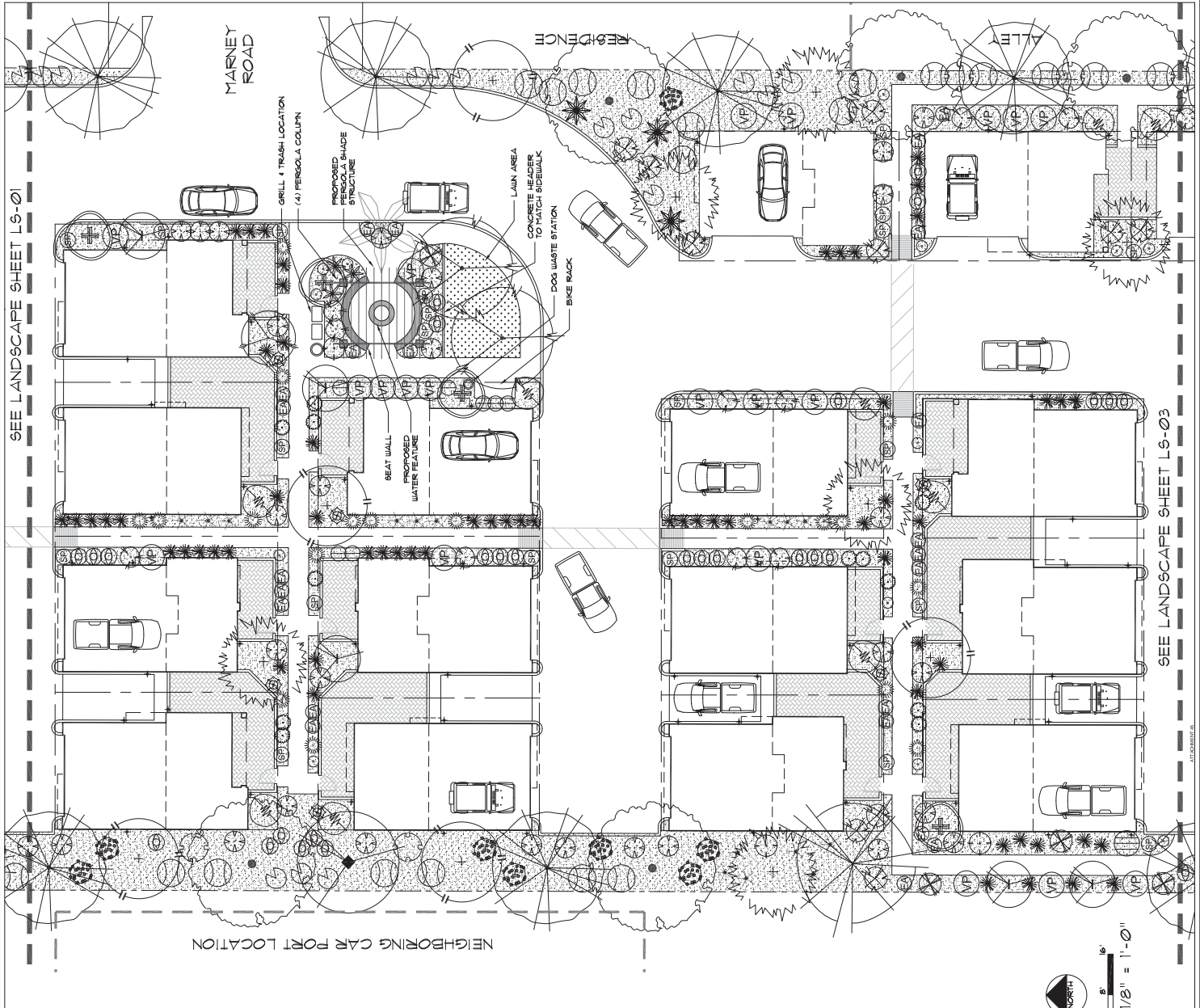
VALERIE DRIVE

Scale: 1/8" = 1'-0"

SEE LANDSCAPE SHEET LS-02



PROJECT:	1102 East Weber Drive
DATE:	07/01/2015
DESIGNED BY:	MTH Design Group
DATE:	07/01/2015
PROJECT NO.:	15012
SCALE:	1/8" = 1'-0"
SHEET NO.:	LS-03
TOTAL SHEETS:	03
DATE:	07/01/2015
BY:	MTH Design Group
CHECKED BY:	MTH Design Group



**SITE PLANT SCHEDULE**

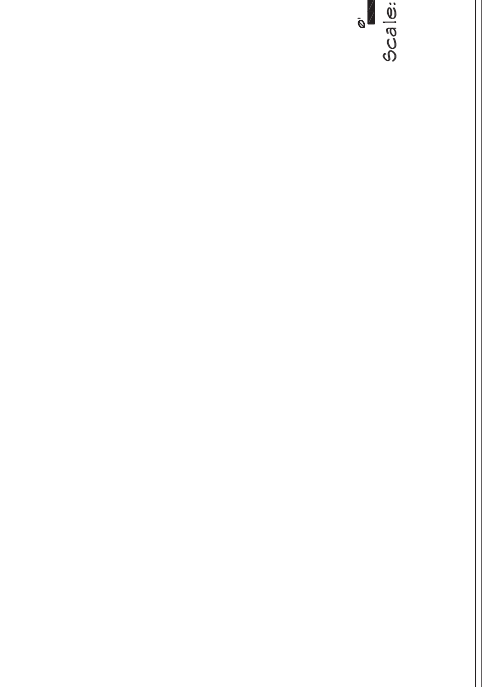
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENTS
(Symbol)	<i>Acacia craspedocarpa</i>	LEATHER-LEAF ACACIA	15 GAL.	-	PER PLAN
(Symbol)	<i>Acacia farnesiana</i>	SWEET ACACIA	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Cassia florida</i>	BIRD OF PARADISE	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Furcraea x 'Desert Muse'</i>	HYBRID PALO VERDE	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Pinus eldarica</i>	ARGHUN PINE	24" BOX, 2 CAL.	-	PER PLAN
(Symbol)	<i>Pinus leucocarpa</i>	MASCIG TREE	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Pinus strobus</i>	TEXAS EBONY	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Phoenix island date</i>	CANARY ISLAND DATE	18"-21" SELECTIONS	-	PER PLAN
(Symbol)	<i>Phoenix roebelenii</i>	HYBRID PERSQUITE	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Sophora secundiflora</i>	TEXAS MOUNTAIN LAUREL	24" BOX, 15 CAL.	-	PER PLAN
(Symbol)	<i>Ulmus parvifolia</i>	CHINESE ELM	24" BOX, 15 CAL.	-	PER PLAN

**PROPOSED PLANTS**

(Symbol)	<i>Agave americana</i>	CENTURY PLANT	5 GAL.	-	PER PLAN
(Symbol)	<i>Agave bovicornuta</i>	COUS HORN AGAVE	5 GAL.	-	PER PLAN
(Symbol)	<i>Carissa macrocarpa</i>	Bowwood Beauty	5 GAL.	-	PER PLAN
(Symbol)	<i>Cassia artemisioides</i>	FEATHERY CASBIA	5 GAL.	-	PER PLAN
(Symbol)	<i>Convolvulus crearon</i>	BUSH HORNINGS GLORY	5 GAL.	-	PER PLAN
(Symbol)	<i>Cyrtus rotundifolius</i>	BAGO PALM	5 GAL.	-	PER PLAN
(Symbol)	<i>Dioscorea oppositifolia</i>	TOOTHLESS SPOON	5 GAL.	-	PER PLAN
(Symbol)	<i>Dioscorea villosa</i>	HORSEBEE BUSH	5 GAL.	-	PER PLAN
(Symbol)	<i>Echinocactus grusonii</i>	GOLDEN BARRREL	5 GAL.	-	PER PLAN
(Symbol)	<i>Eremophila maculata</i>	VALENTINE BFF	5 GAL.	-	PER PLAN
(Symbol)	<i>Euphorbia antisyriatica</i>	CANDELLA	5 GAL.	-	PER PLAN
(Symbol)	<i>Fouquieria splendens</i>	BAREROOT	8-10 CANE	-	PER PLAN
(Symbol)	<i>Hesperaloe parviflora</i>	RED YUCCA	5 GAL.	-	PER PLAN
(Symbol)	<i>Jatropha gossypifolia</i>	CHUPAROSA	5 GAL.	-	PER PLAN
(Symbol)	<i>Lantana speciosa</i>	LANTANA	5 GAL.	-	PER PLAN
(Symbol)	<i>Lantana montevidensis</i>	TRAILING LANTANA	5 GAL.	-	PER PLAN
(Symbol)	<i>Leucopogon longianthus 'Rio Bravo'</i>	LARKSPUR'S SAGE	5 GAL.	-	PER PLAN
(Symbol)	<i>Muhlenbergia capillaris</i>	REGAL HIBT	5 GAL.	-	PER PLAN
(Symbol)	<i>Nerium oleander 'Petalis Pink'</i>	DWARF OLEANDER	5 GAL.	-	PER PLAN
(Symbol)	<i>Pedicularis nasocarpa</i>	SLIPPER PLANT	5 GAL.	-	PER PLAN
(Symbol)	<i>Philadelphus 'Western's Dwarf'</i>	DWARF PITTOSPOURUM	5 GAL.	-	PER PLAN
(Symbol)	<i>Philadelphus 'Variegatus'</i>	VARIEGATED PITTOSPOURUM	5 GAL.	-	PER PLAN
(Symbol)	<i>Rapanea indica</i>	INDIAN HAWTHORNE	5 GAL.	-	PER PLAN
(Symbol)	<i>Rosa 'Rosa Indica'</i>	TRAILING ROSEMARY	5 GAL.	-	PER PLAN
(Symbol)	<i>Simmondsia chinensis</i>	JOJOBA	5 GAL.	-	PER PLAN

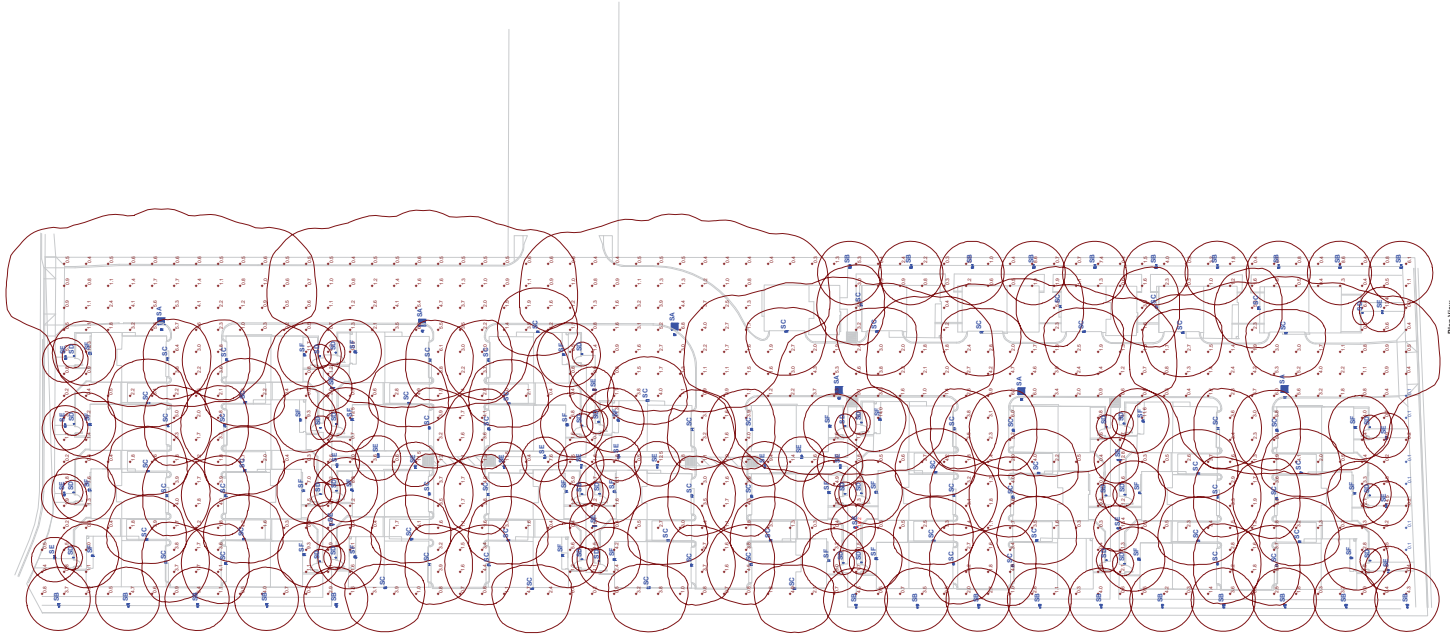
**MISCELLANEOUS LEGEND**

SYMBOL	DESCRIPTION	QUANTITY	COMMENTS
(Symbol)	PRIVATE RESIDENCE COURTYARDS - PLANS TO BE DEVELOPED	33	PER PLAN
(Symbol)	PROPOSED GRANITE LANDSCAPE AREA - ROCK SIZE 4 COLOR TBD.	-	PER PLAN
(Symbol)	LAWN / TURF AREA - MIDRISK BERRIDA SOIL UNLESS NOTED	-	PER PLAN









STATISTICS					
Dimension	Symbol	Avg	Max	Min	Max/Min
Footcandle	+	2.43	162.76	0.176	923.61
Footcandle					923.61

LUMINAIRE SCHEDULE					
Symbol	Code	Category	Manufacturer	Description	Notes
■	SA	0	CONCEPT	TRIPLE END AERATED PNEUMATIC PANEL	61.5" x 61.5" x 1000
■	SB	2A	CONCEPT	PANORAMIC LED DOWNLIGHT	70" LED 277V 8W/4W 801 300
■	SC	7A	TRIPLE END	PANORAMIC LED DOWNLIGHT	70" LED 277V 8W/4W 801 300
■	SD	5A	CONCEPT	TRIPLE END AERATED PNEUMATIC PANEL	61.5" x 61.5" x 1000
■	SE	2B	CONCEPT	PANORAMIC LED DOWNLIGHT	70" LED 277V 8W/4W 801 300
■	SF	3A	CONCEPT	PANORAMIC LED DOWNLIGHT	70" LED 277V 8W/4W 801 300

## “The Newport” 1102 E Weber Project Neighborhood Meeting Summary

While most neighbors seemed slightly disgruntled to have had their busy weekday inconvenienced for a builder, the topics covered were all very much useful, insightful and overall productive for all parties. The community seemed to have many supporters of the project with some minor hesitations in capacity and stature. After hearing all sides it seemed that many community issues might be easily resolved with some additions and modifications to the development at 1102 E Weber.

One of the issues that arose was the access off of Marny; neighbors were very concerned of the traffic going to Miller as most cars would use this as a shortcut. The community was assured that a gate would be in place at the Marny junction and would either be manual or electric and serve for fire, police, emergency and refuse.

The density of the site was a large concern of the neighbors, while almost everyone agreed that they genuinely liked the design and aesthetics of the structures, they agreed that there were too many units on the 2.29 acres. This concern was addressed in two parts.

One, the proposed density offered a transition from the apartments to the West and the single-family homes to the South and East of the property. The density was originally higher at 57 units total and was decreased by 17 units in order to better accommodate the neighborhood. The increased density to allow 40 units was explained as a key factor in the appeal and value for these homes. It was explained that keeping the density as is would not allow the project to be a viable venture and would not provide the increased value in the surrounding homes.

The second explanation for the high density was that of building a community within a community and the type of young families and professionals that it will attract due to the units sustainable appeal. The site seeks to accommodate new Tempe residents relocating due to the estimated surge in the working population. With this increase of neighbors are the added benefits of increasing attendance at Laird Elementary School securing it to remain open and receive necessary funding, increasing the use of the Multigenerational Center and the positive economic impacts on the value of the surrounding homes in the neighborhood.

Height was also a considerable concern of the community. Neighbors were concerned with privacy for themselves, new residence and views being obstructed. While the units are being proposed at 4 feet taller than zoning permits, the units have taller 10 foot ceilings. The taller ceilings add to the appeal of the loft-like design and are crucial in accomplishing the appropriate upscale appeal of the properties. As for the privacy issue, it was explained that the design was heavily influenced by ways to keep everyone's privacy at the highest level possible. Slot windows will be used on the units that abut the neighborhood and other units. These windows are raised and used in bathrooms and stairwells and none of the units have major windows facing the outside community. The privacy concern was extensively addressed by the architect and the window designs offer privacy, light and safety.

The 6 units on the Southeast side of the property were asked to be decreased to two stories or patio homes in order to not obstruct neighbors views. It was explained that all of the units have garages on the first floor so reducing the levels in some of the units would not be conducive to the project and would not offer enough space to attain the sales price sought out by the development to increase the overall value of the neighborhood.



After reviewing the backyards of the Southeast neighbors, the homeowners and renters that hold the most concern for their own properties privacy with the 6 units along the alley, we noticed that the areas effected were rather desolate or misused (see Exhibit).

The amount of parking spaces per unit was a concern and the required 2.5 parking spaces was discussed in detail. The side-by-side garage plans were shown as well as the additional parking spaces on the site plan. If additional parking is needed a process to ask permission to use the community center parking lot was brought to the neighbors attention and seemed like an acceptable resolution. Weather in Arizona typically deters people from parking on streets when parking spaces are provided. It was suggested that most people will use their garages and spaces near their own homes.

The alleyways in conjunction with the effect on the yards were brought up. After much deliberation and confusion, the specific neighbor really wanted to put a wall exactly where a wall was going to be built on the East side of the property. This brought up a concern with the wall extending to the driveway on Valarie and pedestrians and motorists possibly not being able to see each other. A vision triangle was suggested with the wall tapering down for visibility issues specifically on the Valarie side.

The pedestrian traffic was a large concern as most students heading North to school do cut through the alleyway. The concern was that they would now use the development to walk through and the dangers that come with the residence cars and the pedestrians in a single concentrated area.

Suggestions from the community for this issue were extremely helpful. They wanted the addition of a speed hump or traffic table on Valarie to slow down cars and give a designated crossing space on the street. After requesting the appropriate information from Cathy Hollow, Sr. Civil Engineer with the City of Tempe, we were informed that according to the last survey performed, Valarie does not meet the speed and traffic volume required to install speed humps or traffic tables. A small raised pedestrian table is being considered in order to provide some variation between street and pedestrian walkway.

In order to provide a safe environment on the property, a walkway or specific path might be created for pedestrians to get from Weber to Valarie in a safe non-obstructive manner. Also, possibly working with the Orbit Bus System to create a stop on Weber between Harold and Rose was a valid suggestion given by the community. We have been in contact with Eric Iwerson, Tempe Transit Division in regards to the details in providing the stop with a structure, bench, sign and schedule to promote the use of the system for children going to school and for the community to increase ease of use of the Orbit System. This would help commuters and assist in the promotion of the concept of the new homes; community and sustainability.

The stark difference between old a new was a valid concern of the community. A neighbor brought up the idea to offer painting and landscape modifications to the existing homes that wanted to be a part of the transition. This would show good faith to the community that the development is attempting to increase the value of the surrounding homes while making the neighborhood look more cohesive. The community present for the most part agreed that they liked the idea of easing the transition. A letter has been sent out to community requesting some feedback on who would be interested in the painting and landscape transition opportunities. American West Development Company hopes that most or all of the neighbors within 300 feet of the property will take advantage of the opportunity to refresh and update the exterior of their homes.

In summation, the neighborhood meeting was a great success. Many people seemed satisfied that the project will in fact increase the appeal of the neighborhood and that with a few additions and changes, the project can make the neighborhood safer, more accessible and secure a viable future in the City of Tempe. The 1102 E Weber project offers this established neighborhood a new lifecycle by increasing the younger population, updating the housing options and creating a community that is helping to create something together.

### Exhibit

Weber looking northeast towards Rose



Weber looking down on Rose



=====JOSEPH TSIYONI =====

1415 N. Rose Street  
Tempe, Arizona 85281

Tsiyoni@Cox.Net

Phone: (480) 949-0894  
Fax: (480) 949-3838

2/15/2012

Dear Ms. Kaminski:

Regarding the plan for 1022 E. Weber, for American West Home Co., especially request for rezoning for two major changes:

- A. Three stories, at 33'
- B. 40 units instead of 12 (or 18) on the same area.

Please be advised:

1. WE strongly object to the plan and rezoning, and so far, in several minutes today, owner of 6 house expressed objection, i.e. all houses in the Cal-de-Sac each of the house on 1022 E. Weber. These, and other, will contact you soon.

2. We object to high rise because we have been living in a single home area whereby all houses or single- one story houses, and have been there since the area was built. We purchased the house to enjoy the sky and view.

We do not agree to lose that, and to turn our neighborhood to a crowded are, with massive traffic, dozens of vehicles in a small area, noise, and other adverse elements we never experienced.

3. We object to reduction in the value of the houses just excuse a builder wishes to enrich from high rise.

4. We object to create a FORT in the middle of the neighborhood, which is extremely bad, and changes the environment, and turns our area to a mixt of slams and apartments complex type, where people who wish to buy single homes would not wish to live in.

5. We value the blue sky, and threes, and the view at sunset. These cannot be taken from us just because someone wishes to make money. Please consider yourself having that situation, looking at West, and instead of sunset you see a wall!

6. The builder should have conducted a survey to understand the objections, and then to make a reasonable plan. However, most likely the city council has become more lenient on behalf of residence, not by their own homes, but on our behalf, and signals builders they can take advantages and propose plans as they wish.

7. I have explained to you, and verified today by a few neighbors that the postcard for the meeting, although be comply with the requirements, is a poor, one, almost unseen, no one considers that, and only those people like myself who are more careful, read it. A few people told me they remember throwing a postcard to the trash as it look like a cheap advertisement.

This issue will be brought before the city council.

8. It is upsetting that the City of Tempe have not set ordinance preventing such application. It is outrageous to have an elephant structure in the middle of large neighborhood, making it not only ugly, but lowering its style, combining apartments-style, with narrow driveways, dozens of cars getting in and out, and making the environment downgraded.

I can assure you 100% that the City of Scottsdale would never ever even consider such change in zone, and it never had, as far as I was able to verify. This is why Scottsdale looks much nicer, and Tempe if getting to look like a slum. We can't let that happen here in our home.

The area would look like 47 Lane & Dunlap, except this will be 3 stores building, much uglier.

9. I would like to suggest postponing the meeting, and requesting that builder to send a much better, more recognized and explanatory LETTER, not a postcard. so that all can see, recognize, understand and consider

10. While speaking with Ms. Fine, I came up with a spontaneous idea, which can be considered, even before the meeting:

To start at Weber with two single homes like in the entire area, the moving with a few homes behind, parallel to the first three houses on the EAST side of the East Ally (along the houses on the west side of Cal-De-Sac Rose & Weber, that is about 250'. Starting from the, two stories homes, advancing to three parallel to the apartment complex north of Weber.

This may be the best and only compromise, and it should be seriously considered. We cannot, and will not let building three stories monster in front of our homes, stealing our pleasure, leisure and whatever the constitution states.

11. Please also be advised that, not knowing when the Zone allowing 30' has been approved, that that zone can be changed at any time with the proper procedures, so that the developer is not shield against such and other measures which may be taken by the upset residents.

I send this message to the builder verbally on Feb. 17 via Ms. Fine, and I hope that he will be kind enough to understand that this cannot, and will not happen, and to be nice to us, and not make us angry, and let us leave in peace and enjoy our property is the only solution.

However, prior to sending this email, Mr. Rise called me and was significantly aggressive by dictating his view, claiming, in his words, that there will not be profit if single hoes are built, etc. I explained that he put the money, and he should have known that it is not guarantee that his plan would be approved. At one point, being so forcible, dictating his view, and unwilling to hear my view or to be open, then he terminated the conversation, which I believe does not help his cause.

Sincerely,



Joseph Tsiyoni

c.c. [wes@americanwestdevco.com](mailto:wes@americanwestdevco.com)

c.c. [abby@ssigllc.com](mailto:abby@ssigllc.com)



From Joseph Tsiyoni  
1415 N. Rose Street, Tempe 85281

Dear Ms. Kaminski:

Re: Mr. Joseph Risi

I compelled to add to my first email about this builder.

I have spoken with his assistant, Abby, and explain to her in details most of my (our) concerns.

It appears that Mr. Risi, who initiated a telephone call on Friday evening was determine to 'shot me off' by dictating that he has been a builder improving neighborhood, and that none of his plan was ever denied. He made a statement that he will not build even one single home, and all must be three-story homes.

When I suggested to consider a compromise even before the meeting, he aggressively denied that, said there will be no changes, and then terminated the call by hanging up the phone.

It is clear that the City of Tempe is used as a city whereby such rezoning can easily earn the support of the City council, and I am extremely disappointed that this is the image of our city, the City Council, and the Zoning department.

Just "hire a layer, make a plan, and hot the road" to get approved.

Obviously changes have been made in some plans, such as the commercially project you mentioned, but to initiate such aggressive plan in the middle of a single-home neighborhood, whereby the builder is determined to ignore any idea or objection, believing he can easily win the Council vote is outrageous.

Mr. Risi also mentioned that he can easily build 18 units without any problem, while you and I discussed that:

1. The current zone if for 12 units,"with possibility for 18";
2. The current zone allows 30'
3. That I claim that it has never applied for 30' single homes, and despite the historic zone decision, which I believe can and should be changed, there is not a single home in this area
4. I add that that is with the exception of commercial area, such as N. of Curry on miller, the apartment complex north of Weber, etc.

I WAS MORE CONCERN ABOUT ONE PART OF MY DISCUSSION WITH MR. RISI:

(ALTHOUGH THE TELEPHONE CALL WAS VERY SHORT, AND HE WAS EXTREMELY IMPATIENT AND FORCIBLE":

Mr. Rich said the land was expansive, and he cannot build single homes for that price. I replied that that was his mistake by spending too much money on a small parcel, and in order to make money, he needs to build high on "our expense". (I told you the same).

This means to me everything: That a businessman who wants to enrich 9and that is his prerogative), DID NOT GAMBLE ON City's approval, but "goes for sure" to receive city

approval. That is troubling to citizens, as it is great deal of audacity from one hand, and failure of the City of Tempe by having such image.

If I am not mistaken, a good example to what Mr. Risi's plan is the single homes, two stories, with narrow ally, on Dunlap and 47<sup>th</sup> Lane, going North. Except that here Mr. Risi wants higher, and higher.

#### HOW A "MONSTER" WILL BE BUILD IN THE MIDDLE OF THE NEIGHBORHOOD IF APPROVED

If you can picture that area, please picture it in the middle of our neighborhood, and you are 'killing us".

Finally, Mr. Risi claimed he is a savior for many neighborhood, as his construction "increase the value" of the areas where be built. He added derogatory comments about the quality of this neighborhood.

However, one thing he did not mention is true:

Being in such location, there are many rented properties. Problem is that in many houses, many people live together, against the city ordinance. Unfortunately, the city only checks that when there is a specific complained. Thus, you can see fleet OF CARS PARKED BY EACH HOSE.

In closing, Mr. Risi decline my suggestion to start with a few single homes on Weber, and proceed with 2 and three story home north of that, parallel to the apartment complex.

I hoe you can use this letter to approach the city council so that they should know what and how builders feel about getting planes approved,.

Sincerely,

Joseph Tsiyoni



JOSEPH RISI  
480-275-8562  
805-636-9805

Abby: 602-309-1332

AMERICAN WEST DEVELOPMENT COMPANY  
2/28 Multi Generation Center 1555 N. Bridalwreath St, Tempe AZ 85281  
6 pm

a. from Low density to Mid-high

1. From R1-6 to R1-PAD

3. From 12 homes (actually 12) to high increase, reduce building elevation

4. 40 3-story detached homes, 33'+ 1535 – 1659 sq. ft., 2 car garage

AFTER:

4/9: development review 6 pm

5/9; City Council 1<sup>st</sup> hearing: 7:30 pm

5/30: City Council: 7:30 pm,  
31 E. 5<sup>th</sup> Street

**Kaminski, Diana**

---

**From:** Patricia Carroll <patcarrollaz@gmail.com>  
**Sent:** Sunday, February 24, 2013 9:39 PM  
**To:** Kaminski, Diana  
**Subject:** The Sky View at Tempe Project 1102 E. Weber - I contest & agree w/J.Tsiyoni  
**Attachments:** 0-builder zoning.docx

RE: The Sky View at Tempe Project - 1102 E. Weber

Ms. Kaminski:

I agree with Joseph and contest as stated in Joseph Tsiyoni's (2) letters...attached. I own a single family home located at 1404 N. Rose Street. My home is directly east of 1102 E. Weber. I strongly object to the plan and rezoning.

Patricia Carroll  
1404 N. Rose Street  
Tempe, AZ 85281

## Kaminski, Diana

---

**From:** Cindy Williamson <dcwilliamson@cox.net>  
**Sent:** Monday, February 25, 2013 9:44 AM  
**To:** Kaminski, Diana  
**Subject:** Sky View Project in Tempe

RE: The Sky View at Tempe Project - 1102 E. Weber

Dear Ms. Kaminski:

My husband and I own 2 properties located at 1410 & 1414 N Rose Street. These homes are directly east of 1102 E Weber Dr.

We agree with Joseph Tsiyoni in principle and *strongly object to this plan and rezoning*, due to the significant invasion of privacy in our outdoor living space.

Sincerely,

**Cindy Williamson**

David & Cindy Williamson  
253 E Tremaine Drive  
Chandler, AZ 85225

Owners of 1410 & 1414 N Rose St, Tempe

From: Edwin Grobe Phone: \_\_\_\_\_

Address: 1411 N. Scovel, Tempe, AZ 85281  
Tempe, Arizona 85281

Ms. Diana Kaminski  
City of Tempe Planner  
480-858-32391  
diana\_kaminski@tempe.gov

Dear Ms. Kaminski:

Regarding the plan for 1102 E. Weber, for American West Home Co., especially request for rezoning for two major changes:

- A. Single homes at Three stories, 33' high
- B. 40 units instead of 12 (or 18) on the same area.

Please be advised:

Agreeing with objections provided by my neighbor Joseph Tsiyoni, I respectfully submit my objection to the project as presented.

I support the arguments submitted, and hope the City will not approve any project which involve more than 12 single homes, one story on the respective lot.

**Kaminski, Diana**

---

**From:** joseph tsiyoni <tsiyoni@cox.net>  
**Sent:** Sunday, March 17, 2013 3:03 PM  
**To:** Kaminski, Diana  
**Subject:** 1022 PROJECT  
**Attachments:** VIEW-AFTER1.jpg; VIEW-AFTER2.jpg; VIEW-AFTER3.jpg; VIEW-AFTER4.jpg; VIEW-NOW1.jpg; VIEW-NOW2.jpg; VIEW-NOW3.jpg; VIEW-NOW4.jpg

[diana\\_kaminski@tempe.gov](mailto:diana_kaminski@tempe.gov)

=====JOSEPH TSIYONI =====  
1415 N. Rose Street Phone: (480) 949-0894  
Tempe, Arizona 85281 [Tsiyoni@Cox.Net](mailto:Tsiyoni@Cox.Net) Fax: (480) 949-3838

3/17/2013

Dear Ms. Kaminski:

Regarding the plan for 1102 E. Weber, for American West Home Co., especially request for rezoning for two major changes:

Attached please find four sets of photos showing the are before and after the building, if the plan is approved. The photos were taken from 1404 N. Rose, and similar applies to the entire are, including my house at the Cal-De Sac.\

I respectfully request to use these photos as evidence of objection to the plan.

I think the city official as well as the city council can clearly see what this monster can do to our life. The entire neighborhood consists of one story single homes, and building this monster in the middle of the area will change our life forever.

In addition, to clarify, I ask to make it clear to the city official and the counsel:

A. The builder plans to invest about \$175,000 for each unit, which means he must sell for at least \$225,000 each unit to make some profit.

B. In the crowded area, if allowed, it is unthinkable to purchase a three story home, with almost zero yards, and no view, and other high rise in front and back for that amount of money.

C. Therefore, it is most likely that the homes will be used for rental, which WILL bring many students and other people, normally 4-8 people in one home. As you can see now. (Needless to say that the city does not enforce the city ordinance of "no more than 3 tenants" in a home for two reasons:  
i. The inspectors claim someone must complain;  
ii. When the inspectors show up for inspection, if any, tenants are told to say they are cousins, and the city automatically accept verbal statement and the inspector leaves the area.

D. Thus, based on current volume of house rented, I anticipate that the proposed are will become a SLAM PROJECT with days and nights parties of young people, and most likely a crime area for drug users, and just people who have no care for others.  
This will turn our lives upside-down.

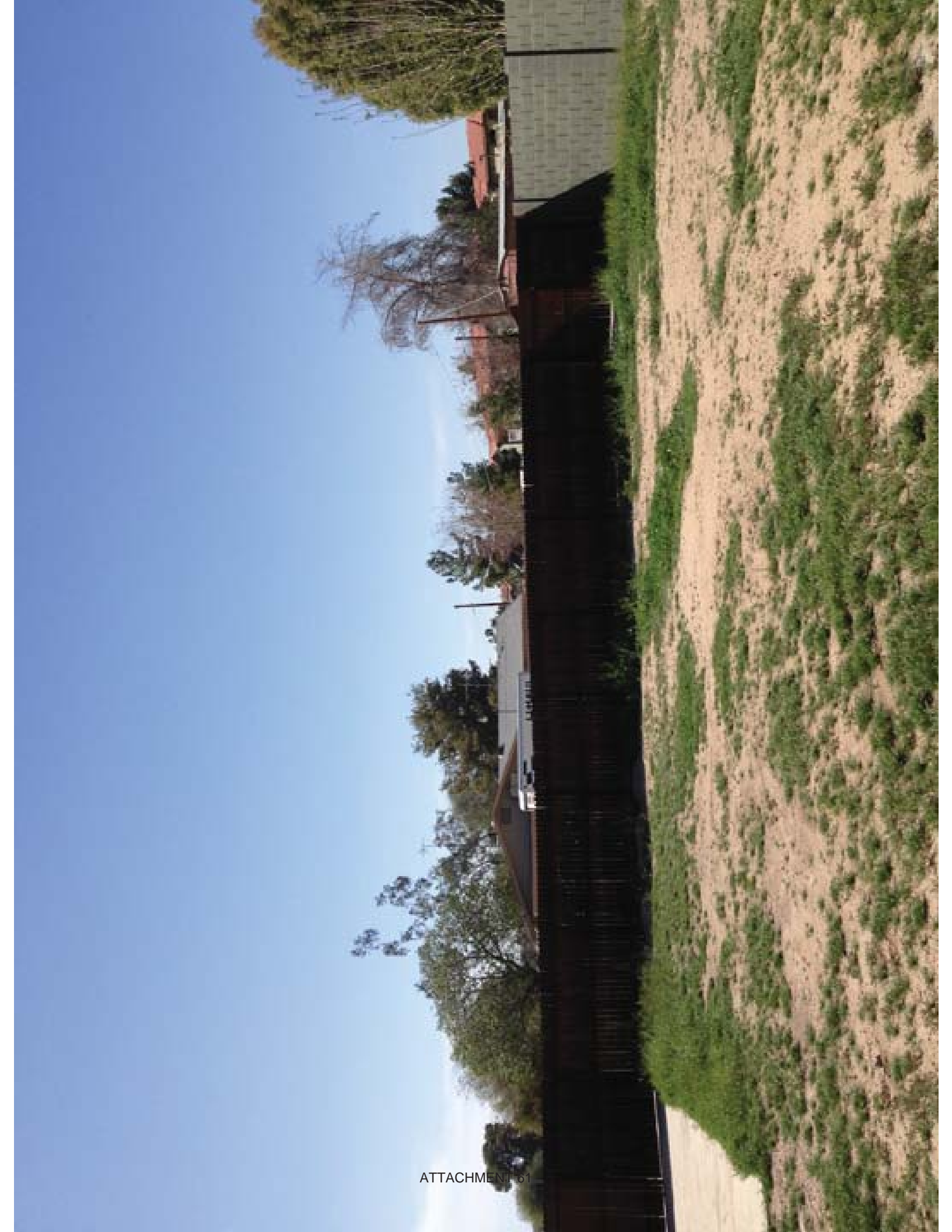
E. I respectfully request that the city official and the city council members VISIT THE AREA, TALK TO US, and see for themselves the damages if the project is approved.

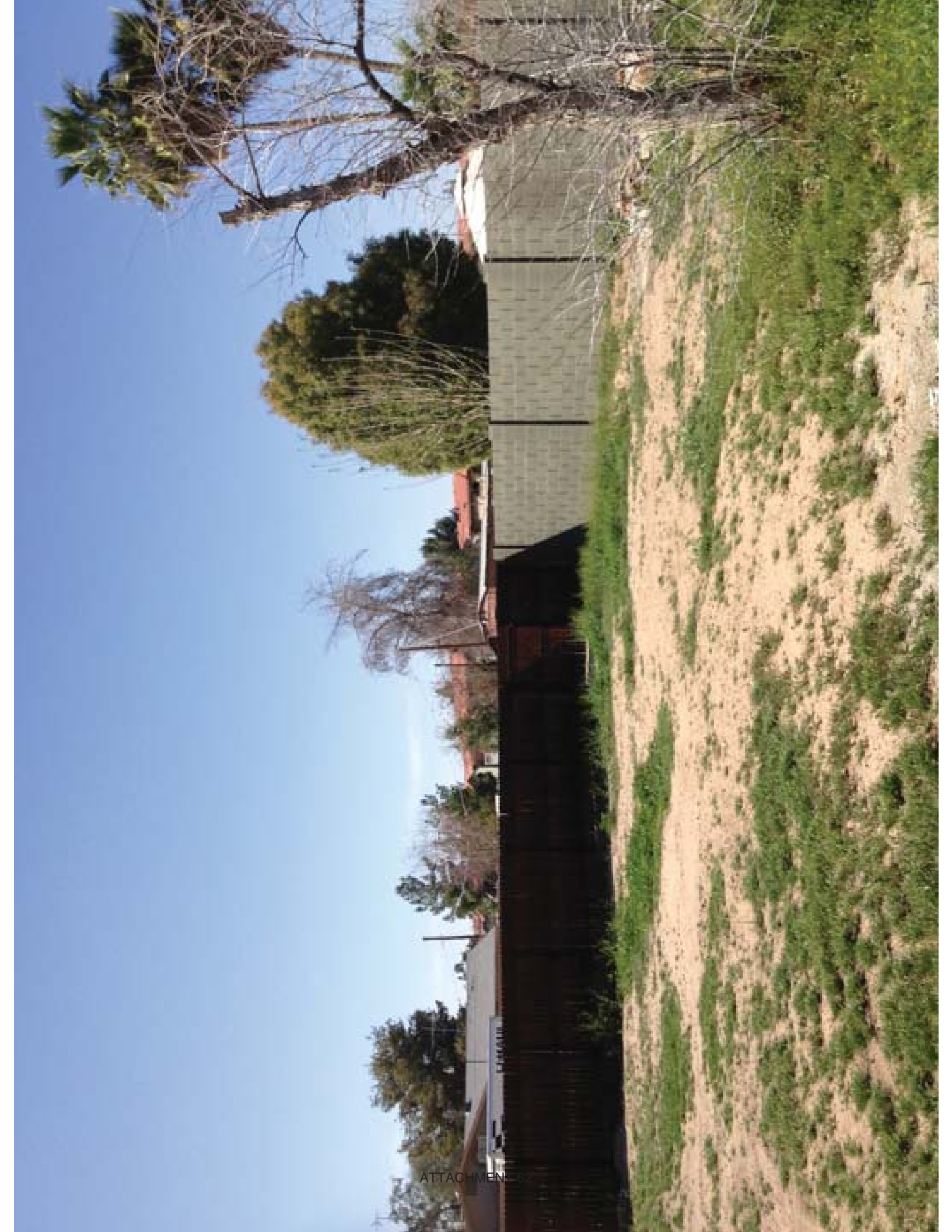
Please kindly confirm this email and the attachments will be used as part of my objection.

Sincerely,

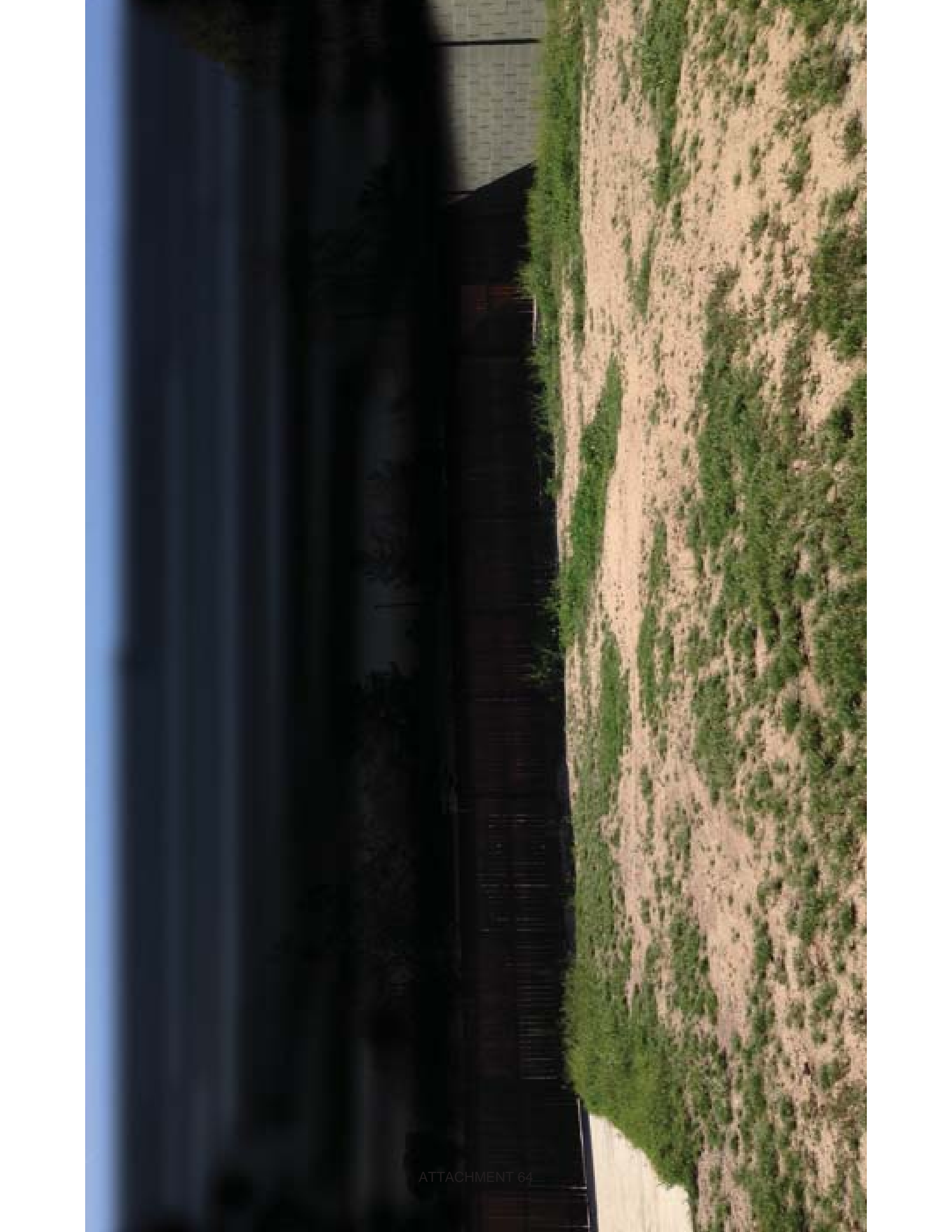
Joseph Tsiyoni

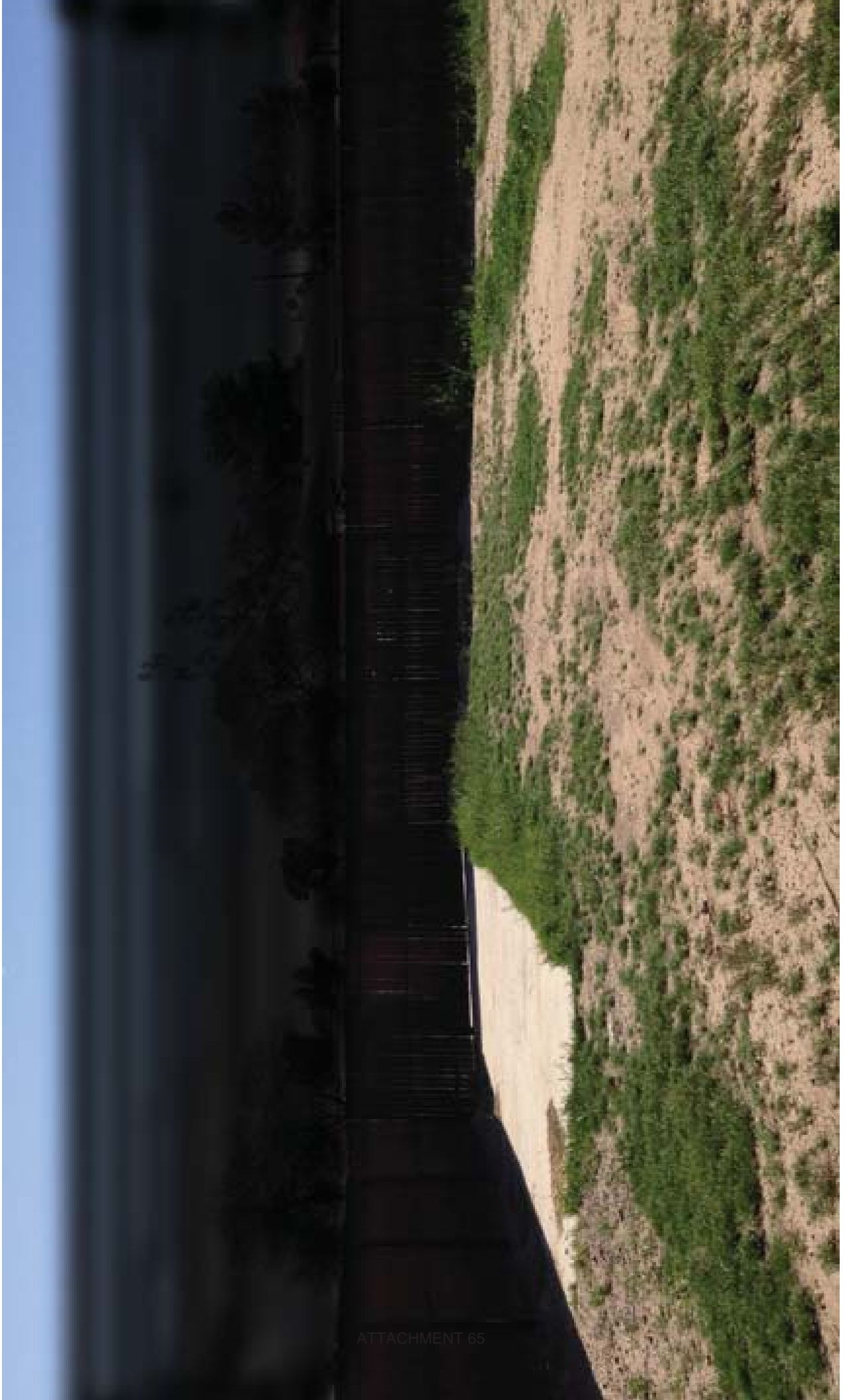














Dear Tempe Resident,

The City of Tempe Planning Department has reviewed the preliminary plans for the project located at 1102 E Weber. The Planning Department is supportive of this project moving forward.

American West Development Company would like to request your support in the positive development of this vacant lot of nearly 60 years. The development of this property will increase surrounding property values, promote sustainable living and positively amplify the aesthetics of the neighborhood.

NAME	ADDRESS
BOB HENDERSON	1048 E. WEBER DR
ISMAEL MORELOS M	1103 E. WEBER DR
Stanley Naylor	1102 E Weber Dr
<del>Craig Dwyer</del>	1117 E Valerie Dr.
Albert Dare SR	1212 N. Harold St.
Darlene Justus *	315 E Starfield
* concerns - pedestrian crossing @ Valerie	
Height of houses closest to homes - make 2 story	
Dog Area (grass)	
Jennie Naylor	1102 E Weber Dr.
Dale Luning - pedestrian Crossing	Sep Ted 480-968-5931

American West Development Co  
PO Box 8270  
Scottsdale, Arizona 85252  
480 275 8562

Resident  
Street Address  
Tempe, Arizona 85381

Dear Neighbors of The Newport located at 1102 E Weber,

Thank you to all of the community members who were able to attend the neighborhood meeting February 28, 2013. I hope that you found the meeting helpful and productive. I realize that there are still many concerns regarding this project and I am diligently working with the city, looking for ways to accommodate the requests made. Among many of the welcomed suggestions given at the meeting, the option to create a cohesive neighborhood transition is something that I am considering.

I would like to confirm who might be interested in participating in this transition within a specific radius of The Newport. If you are interested in the possibility of having your property painted or provided with certain landscape designs, please notify my assistant at [TheNewport@yahoo.com](mailto:TheNewport@yahoo.com) so that we can further plan for the community enhancement The Newport wishes to provide.

Thank you for your consideration.



Joseph Risi

**Subject:** 1102 E Weber Project "The Newport" and the Orbit System  
**Date:** Saturday, March 23, 2013 4:30:22 PM MST  
**From:** Abigail Fine  
**To:** eric\_iwerson@tempe.gov  
**CC:** Joseph Risi, Kaminski, Diana

Hello Eric,

I represent American West Development Company building the homes located at 1102 E Weber, The Newport. During our neighborhood meeting it was brought to our attention that some safety issues have been a concern in the specific neighborhood near the Laird Elementary School.

Residents have shared that many of the students use private property in order to get to school. We are anticipating pedestrian traffic through our development and are considering different solutions. The neighborhood seemed to be in full support of possibly increasing the convenience and visibility and creating an Orbit stop on Weber between Harold and Rose. We would like to find out if the City of Tempe might allow us to offer the neighborhood a shaded structure or bench with signage and a schedule.

Please let me know if this is a reasonable request and what we will need in order to move forward with possibly creating this safety enhancement in partnership with the Orbit System.

Thank you for your consideration.

Abigail Fine