

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 01/08/2013
Agenda Item: 3**

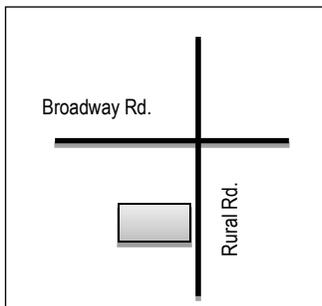
ACTION: Request for approval of a Development Plan Review for an office addition for RISK ASSESSMENT GROUP located at 2100 South Rural Road. The applicant is Bain Architecture.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: RISK ASSESSMENT GROUP (PL120196) consisting of a 1,502 sf. office building addition within an existing 2,153 sf. building on 0.33 acres. The request includes the following:

DPR12091 – Development Plan Review including site plan, building elevations and landscape modifications.



Property Owner	Brad Brigham, CMAN Investments LLC
Applicant	Kevin Bain, Bain Architecture & Planning
Current Zoning District	R/O, Residence/Office District
Net site area	0.33 acres
Total Building area	3,263 sf.
Lot Coverage	23% (35% maximum)
Building Height	18.77 ft. (30 ft. maximum)
Building Setbacks	20' side yard (10' minimum side setback)
Landscape area	n/a (15% minimum required)
Vehicle Parking	17 spaces (10 minimum required)
Bicycle Parking	4 spaces (4 minimum required)

ATTACHMENTS: Development Project File

STAFF CONTACT: Ryan Levesque, Senior Planner (480-858-2393)

Department Director: Lisa Collins, Interim Community Development Director
 Legal review by: N/A
 Prepared by: Ryan Levesque, Senior Planner



COMMENTS:

This site is located southwest of Rural Road and Broadway Road. The current business, Risk Assessment Group, had originally made exterior modifications to the property in 2009. The request before you today consists of a 2,153 sf. addition, removing 392 sf. of the existing building, totaling 3,263 sf. of building area. The development will be constructed with a subgrade and above grade level addition, planned to be used for office and storage space needs for the existing business. The building design is intended to give the appearance of an extended roof elevation, while minimizing the overall height of building so as not to appear as a two-story structure. The request intends to match the existing building design, materials and color. Wainscot stone will be applied on all sides of the building addition's base. The existing landscape for the area will be maintained, along with the addition of a required landscape island at the end of the parking row and extending the existing landscape to align with the new driveway edge.

Section 6-306 D Approval criteria for Development Plan Review:

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape;* The new building addition provides additional articulation in the building form with the elevated levels, providing variation in the building height.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;* The building addition will maintain its original orientation as provided on site.
3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* The materials will match the existing building to provide a seamless addition.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* The site is adjacent to a two-story apartment complex to the south. Landscaping will be maintained with the existing theme.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* The building design provides an articulated base with use of stone wainscot and top with the traditional roof design that exists from the former house.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* The building achieves the same architectural interest that exists in the current building design.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* Not applicable to this request.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* The current access drive will be maintained, providing a minimum 20-foot-wide driveway required for fire access. The site will maintain its current pathway access to the north connecting to the public sidewalk.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* The addition provides appropriate crime prevention measures. Through conditions, laminated glazing is proposed for the lower level windows to prevent unauthorized entry.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* Landscape details will be maintained, providing a new landscape island that will separate parked vehicles from the access drive.

11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located; No additional signs are proposed for this request.*
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects. Existing lighting will be maintained with no additional changes.*

Conclusion

Based on the information provided and the design submitted, staff recommends approval of the requested Development Plan Review. This request project meets the approval criteria for a Development Plan Review and will conform to the conditions proposed.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The materials and colors are approved as presented, matching the existing building colors and stone wainscot. Additions or modifications may be submitted for review during building plan check process.
2. On the south elevation provide laminated safety glazing at the lower level windows.
3. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
4. Provide one additional tree, three in total, in conformance with the required number of street trees.
5. Provide building address numerals on the freestanding sign and near the building entrance.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or available at the Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **FIRE:**
 - Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
 - Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

HISTORY & FACTS:

March 11, 2009 Community Development staff administratively approved exterior building modifications for CMAN INVESTMENTS, located at 2100 South Rural Road.

ZONING AND DEVELOPMENT CODE REFERENCE:

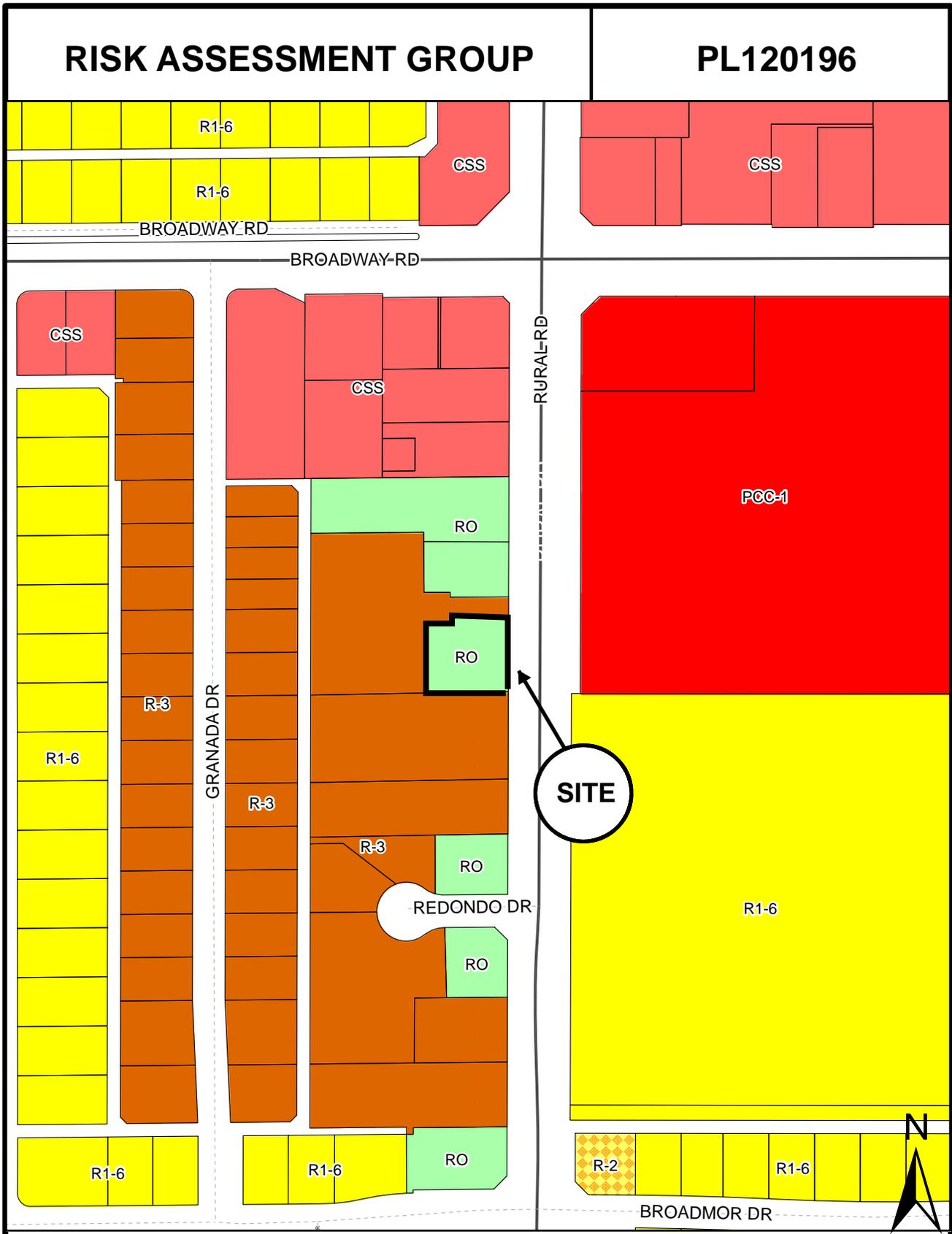
Section 6-306, Development Plan Review



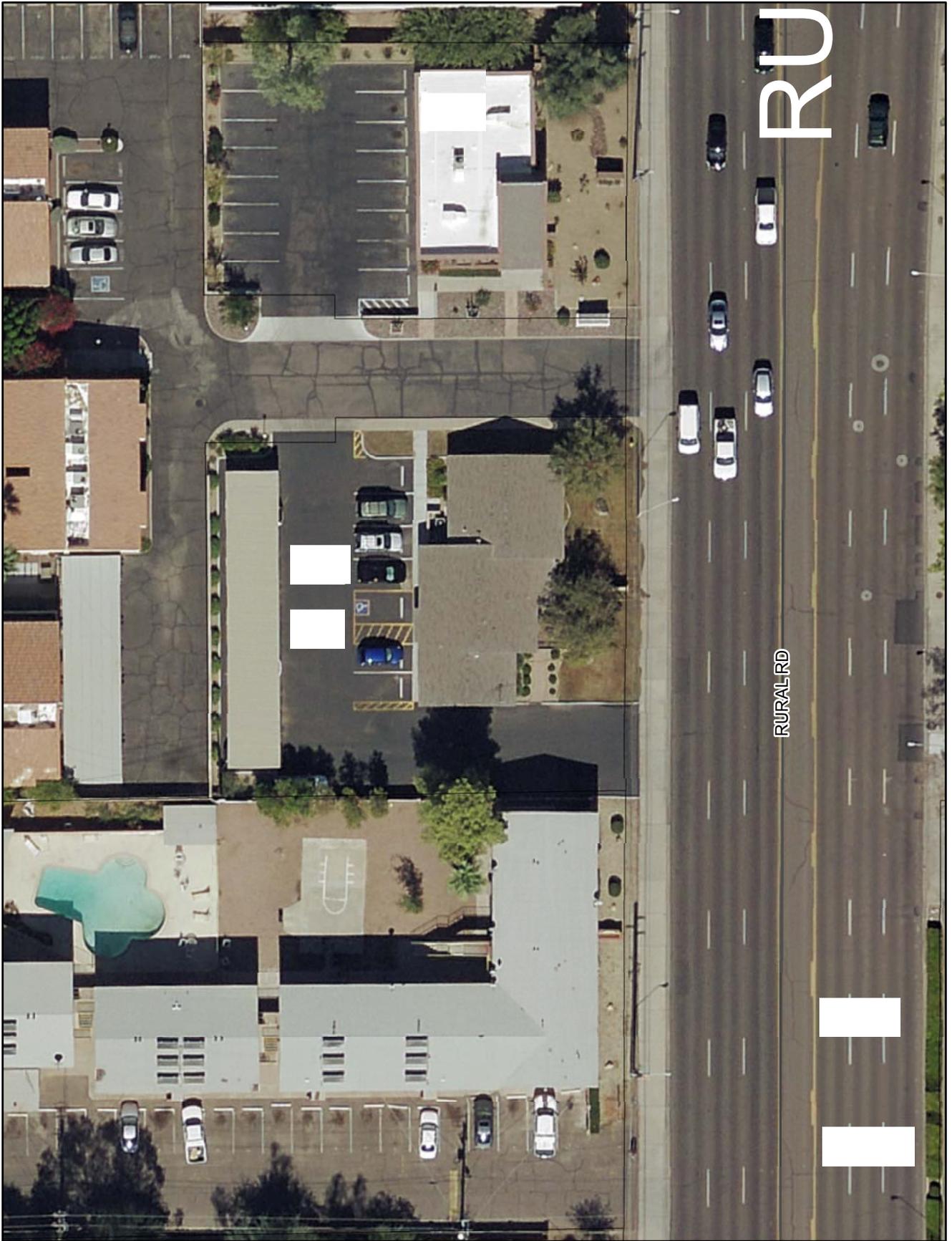
DEVELOPMENT PROJECT FILE
for
RISK ASSESSMENT GROUP

ATTACHMENTS:

1. Location Map
- 2-7. Aerial & Site Photo
- 8-9. Letter of Explanation
10. Project Data
11. Site Plan
- 12-13. Floor Plans
- 14-15. Building Elevations
16. Building Section / Roof Plan
- 17-18. Landscape Plan

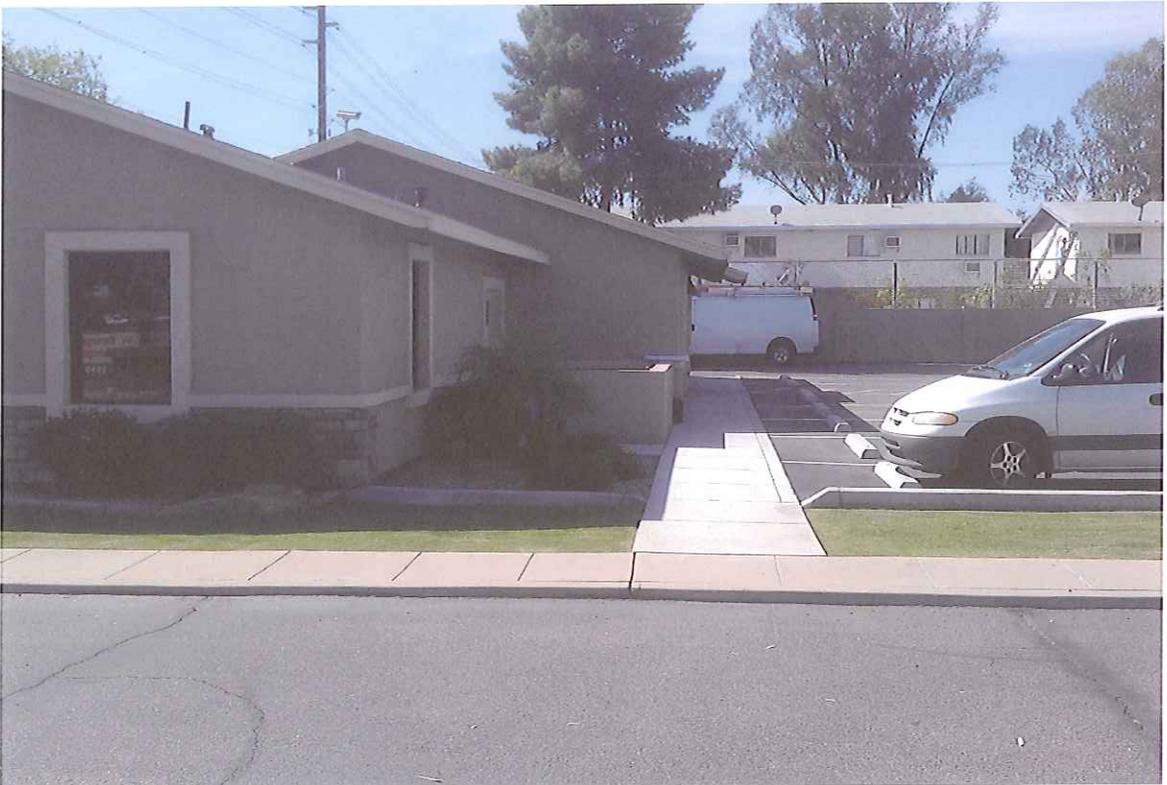


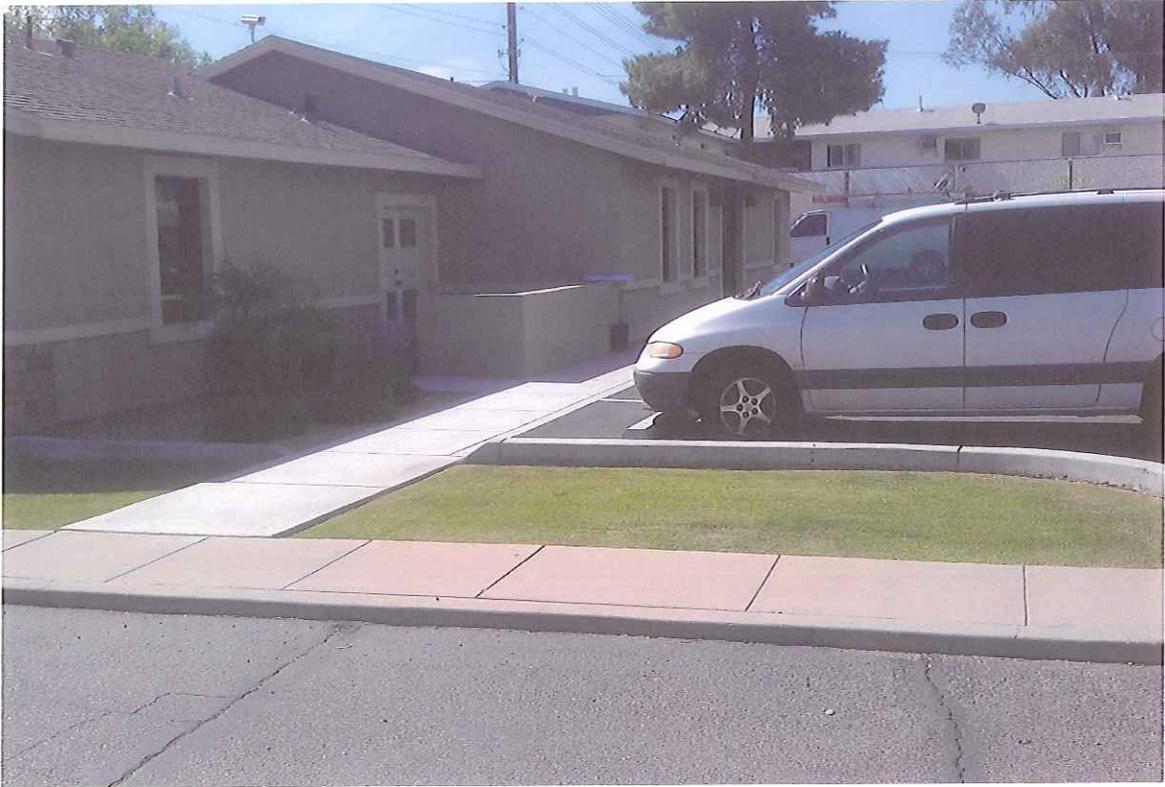
Location Map



RISK ASSESSMENT (PL120196)











May 31, 2012

Development Plan Review
City of Tempe
Development Services Department
31 East 5th Street, Garden Level
Tempe, Arizona 85281

Subject: Letter of Explanation

Project: Risk Assessment Group, Inc. - Office Addition
2100 South Rural Road
Tempe, Arizona 85282

This project consists of the addition of a partial subgrade and above grade addition to an existing single level office building. The additional area will provide office space as well as storage and records retrieval space for the existing facility which provides private investigation/employment screening services for off-site clients.

The following criteria have been considered in the planning of this addition:

1. The placement, form and articulation of the addition 'provides a variation' in form and building height to the existing structure.
2. The building orientation and earth sheltering of the lower level of the addition as well as extension of the existing covered patio will provide shade for energy conservation and comfort of the building occupants.
3. The building materials of the addition will match the existing structure and finish, which are of a superior quality in appearance and are easily maintained.
4. The building addition and landscape elements are scaled in proportion to the existing structure and surroundings.
5. By placing a portion of the lower level of the addition partially below grade the overall building height is reduced at the 2 level addition. The single level portion of the addition continues the existing roof line of the original structure and blends the addition with the existing building creating a well defined base and top and will enhance the pedestrian experience at the street level.
6. Special treatment of the windows, stone wainscot and color scheme add interest and visibility at the street level. Window placement, in particular is set, not only to introduce light at the interior to create a pleasant workspace, but also to establish a visual rhythm and reinforce the residential theme of the original building.

7. The existing building and the addition provide access to employees utilizing a variety of transportation options, as well as providing convenient, hidden parking for employees and customers.
8. Ingress and egress to the vehicular areas are designed to minimize conflicts with pedestrian access and street/sidewalk circulation.
9. The existing structure, due to the sensitive nature of the services provided by the Owner, is provided with a sophisticated security and surveillance system. All refuse and discarded information/material is removed daily by a privately contracted collector to avoid attracting potential criminal interest in an on-site dumpster/enclosure. The drive to South of the addition will not only provide emergency vehicle access but also provides a natural surveillance opportunity to further deter criminal activity and access.
10. The existing landscaping provides 'clear definition' and delineation between vehicular areas and the building and walkways. New landscaping continues this theme and will help to soften the scale of the addition from the parking of this building as well as the apartment neighbors to the West.
11. The existing building identification sign is ground level, tasteful, and proportionally sensitive to the streetscape and landscaping. No addition signage is anticipated with this addition.
12. All lighting will be compatible with the existing building. No additional exterior lighting is anticipated with this addition other than low level security lighting as necessary for security surveillance equipment.

PROJECT DATA

Project Information

Project Address: 2100 South Rural Road
Tempe, Arizona 85282

APN No. 133-25-045-C

Legal Description:

Parcel No. 133-25-045-C, Lot No. 33, Sunset Villa Subdivision, Section 27, Township 1N Range 4E, Maricopa County, Arizona, Book 73, Page 15 M.C.R. Sunset Vista MCR 73-15 Lot 33 & also S2 Olsen Dr. Adjacent & Parallel to Lot 33 as abandoned by City P/D 10009-00 4 & Ex P/D 7527-753 & except any part lying within Joshua Sq. & Also except 5 feet as described per 88-586525. Deed Number 041407269.

Zoning: R/O Residential/Office

Occupancy: B

Construction Type: V-B Sprinklered

Building Areas:

Existing Building	2,153 s.f.	
Area to be Removed	392 s.f.	
Gross Existing	1,761 s.f.	
New Main Level	386 s.f.	(Includes Stairways)
New Lower Level	558 s.f.	
New Upper Level	558 s.f.	
Gross New Area Total	1,502 s.f.	
Gross Total Area (enclosed)	3,263 s.f.	
Covered Patio	224 s.f.	
Total Covered Area	3,487 s.f.	

Allowable Area:
Per IBC Chapter 5 (Table 503) 9,000 s.f. (2 stories)

Occupant Load Calculations:

	Area	Occupancy	Allowance per Occupant	Occupant Load
Gross Existing	1,761	B	100 s.f.	18
Gross New Area	1,502	B	100 s.f.	16
Total				34 occupants

Exits Required:

Area Served	Occupant Load	Exits Required	Exits Provided
B	33	1	1

Plumbing Fixtures Required: (Per Chapter 29, 2009 IBC Section 2902.1)

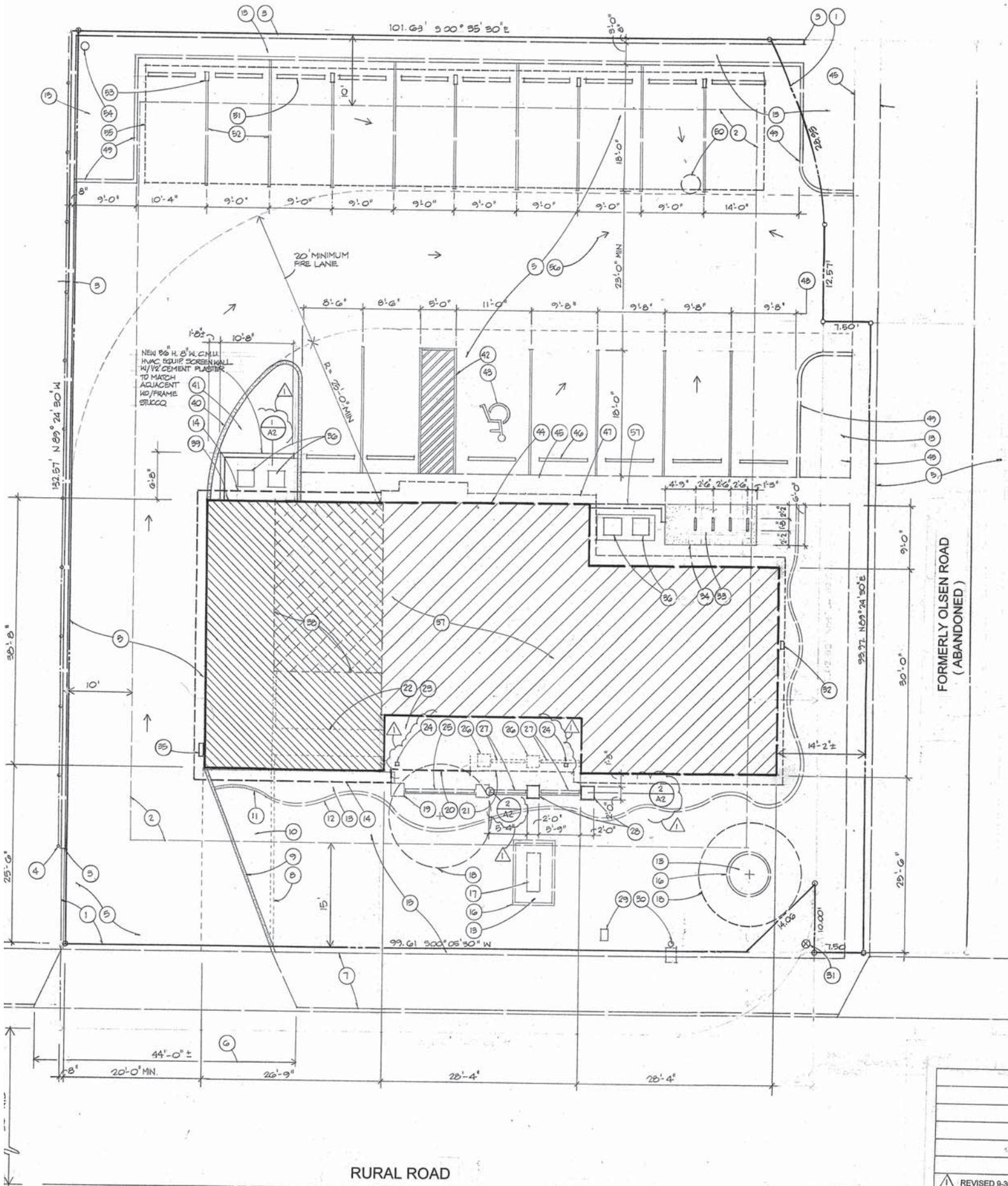
Occupancy	Occupant Load	Water Closets Required		Lavatories Required		Drinking Fountains Required	Service Sink*
		Male	Female	Male	Female		
B	33	1	1	1	1	1	1
Total Required		1	1	1	1	1	1
Total Provided		1	1	1	1	1	1

*Note: existing shower/mop sink

Parking Required:

Occupancy	Area of Use	Area/Space	Spaces Required
B	3046 s.f.	300 s.f.	
Spaces Required			10 spaces
Spaces Provided	ATTACHMENT 10		17 spaces

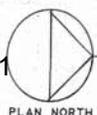
Area of use includes all portions of the building excluding exterior walls.



FORMERLY OLSEN ROAD
(ABANDONED)

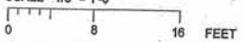
RURAL ROAD

ATTACHMENT 11



SITE PLAN

SCALE 1/8" = 1'-0"



REVISI 9-34

Project No. 1219
Risk Assessment Group, Inc. - Office Addition

ABBREVIATIONS:
 FF Finished Floor
 WF Window Head
 TP Top of Pane
 TP Top of Frame
 PF Pitch Line
 RV Top of Vent

EXTERIOR ELEVATIONS - Reference Notes

1. New windows to match existing. See Window Schedule. Floor Plans for additional information.
2. Existing windows which have replaceable polyurethane frames to match existing exterior finish, texture and color.
3. Built up stucco reveal to match existing.
4. New landscape and trim to match existing.
5. Roof pitch to match existing. (V2, field verify).
6. Existing design roofing to match existing. See Roof Plan for additional information.
7. Line of gable end beyond.
8. New fascia to match existing.
9. New slope siding roof and heads to match existing.
10. New patio beams. See Structural.
11. New patio columns. See Structural.
12. New stone surround to match existing.
13. Existing stone/brick patio plan to remain.
14. Existing stucco patio support columns. To be removed, and replaced with new beam and columns. See Structural.
15. New stone/brick patio to match existing. See Site Plan for additional information.
16. Existing beam includes existing improvements to remain.
17. Existing brick/stone surround.
18. New electrical service entrance.
19. New bicycle parking rack. (4 spaces).
20. Flush control joint at new to existing stucco finish.
21. Line of floor/ceiling structure at interior of new addition.
22. Line of steps to upper level at interior of new addition.
23. Line of lower level finish floor.
24. Lower level finish floor.
25. Lower level finish floor.
26. Elevations indicated are existing. Field verify.
27. Existing with vent. See Reference Note 25.
28. Laminated safety glass at all lower level windows. Typical.

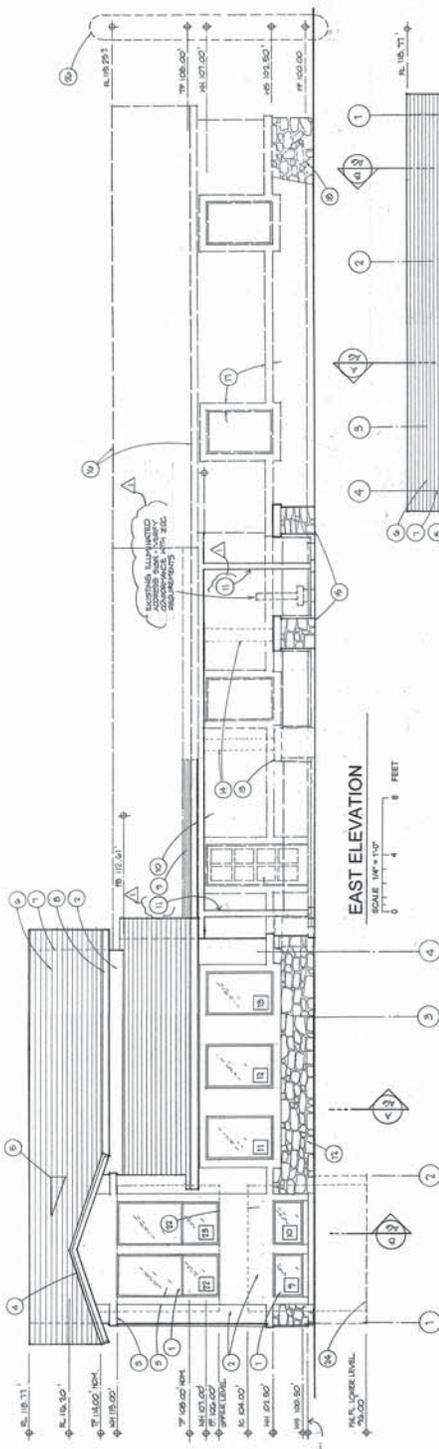


Rain Architecture
 2018 E. 1st Ave., Suite 1000
 Phoenix, AZ 85004
 Phone: 602.498.1247 • Fax: 602.498.1248

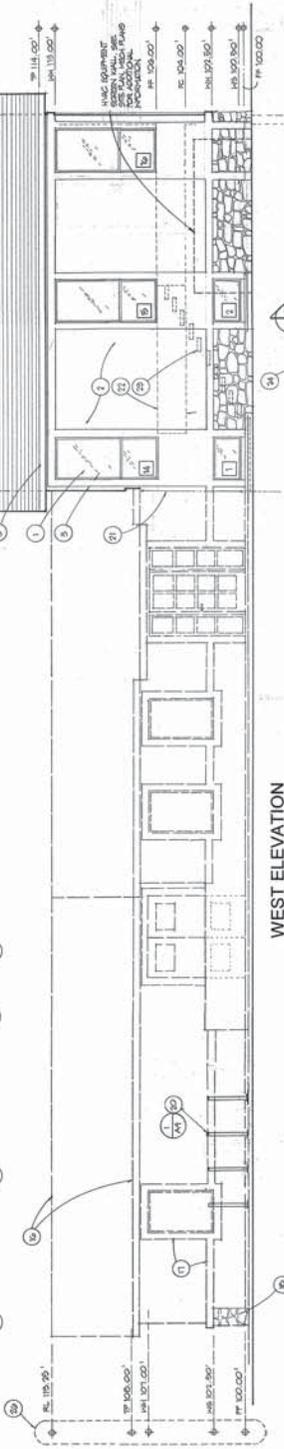
RISK ASSESSMENT GROUP INC.
 OFFICE ADDITION
 2100 SOUTH RURAL ROAD
 TEMPE, ARIZONA

Project No. 1219
 Date: 8/18/24
 Sheet No.

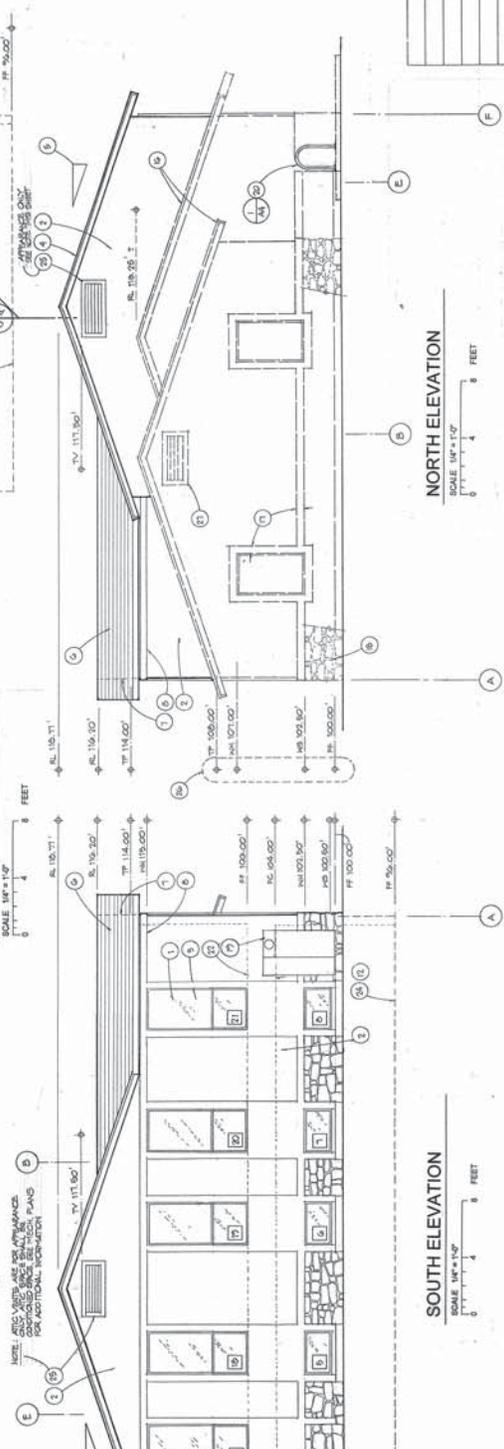
REVISIONS



EAST ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET



WEST ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET



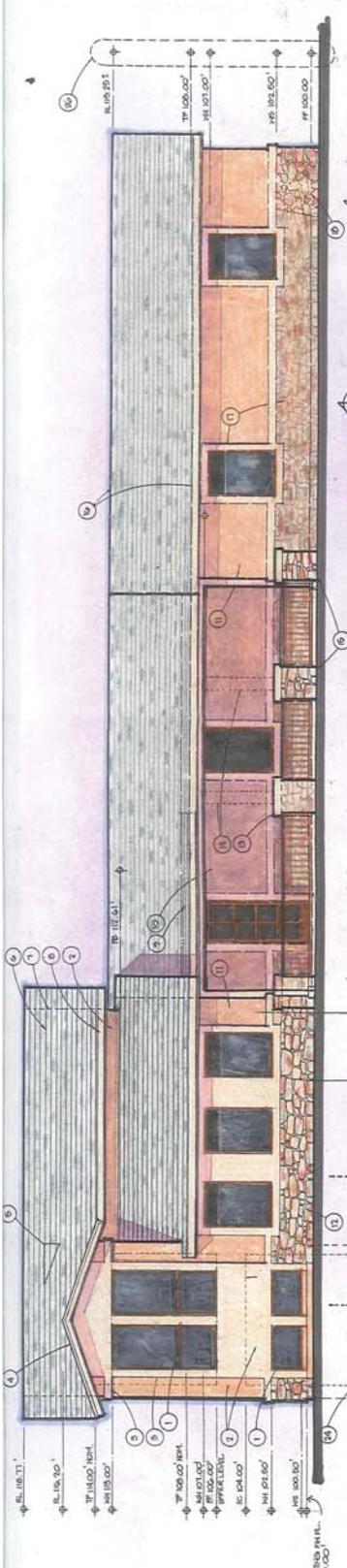
NORTH ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET

SOUTH ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET

Project No. 1219
 Risk Assessment Group, Inc. - Office Addition

ABBREVIATIONS:
 FF Finished Floor
 WH Window Head
 FC Finished Ceiling
 RL Ridge Line
 RT Top of Roof
 RT Top of Wall

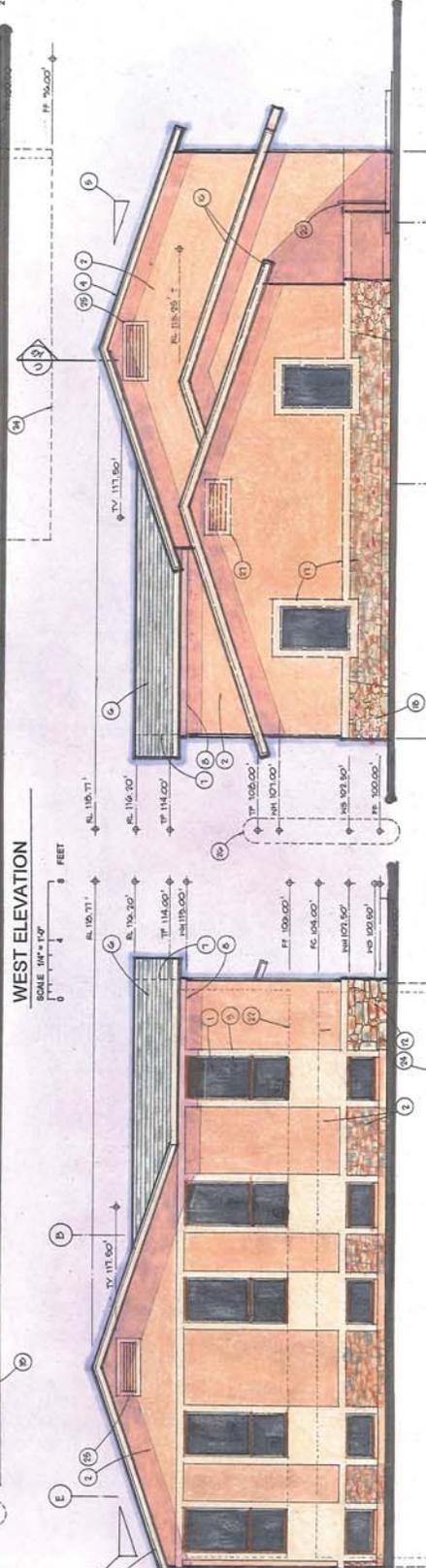
Exterior Elevations - Reference Mark
 1. New finish to match existing. See Window Schedule, Floor Plans for additional information.
 2. Single coat synthetic stucco with over expanded polystyreneboard to match existing exterior finish, texture and color.
 3. Built up stucco to match existing.
 4. New basepaint and trim to match existing.
 5. Roof pitch to match existing. 4/12, 6/12, 8/12, 10/12.
 6. New finish to match existing. See Floor Plan for additional information. Single roofing to match existing.
 7. Use of gables and bays.
 8. New finish to match existing.
 9. New low-slope patio roof and finish to match existing.
 10. New patio beam. See Structural.
 11. New gable beam. See Structural.
 12. New stone veneer to match existing.
 13. Existing stonehonor patio pier to remain.
 14. Existing stonehonor patio pier to remain.
 15. New stonehonor patio pier to remain. To be removed, and replaced with new beam and columns. See Structural.
 16. Dashed lines indicate existing improvements to remain.
 17. Existing brick to stucco reveal.
 18. Existing stone veneer.
 19. New electrical service entrance.
 20. New electrical service entrance.
 21. Flush control joint at new to existing stucco finish.
 22. Line of floorhonor structure at finish of new addition.
 23. Line of steps to upper level at interior of new addition.
 24. Line of lower level finish floor.
 25. Existing concrete vent with stucco reveal at perimeter to match existing North
 26. Elevations indicated are existing. Field verify.
 27. Existing site vent. See Reference Note 25.



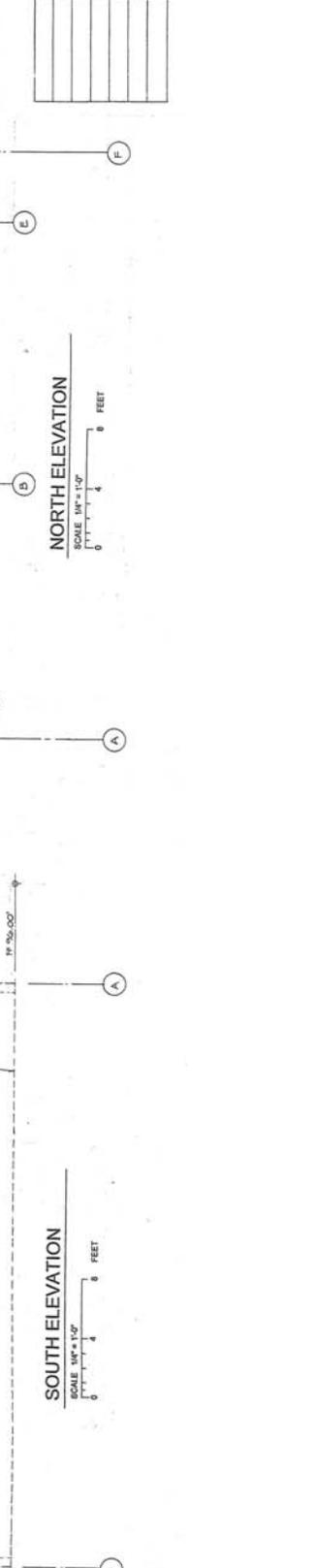
EAST ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET



WEST ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET



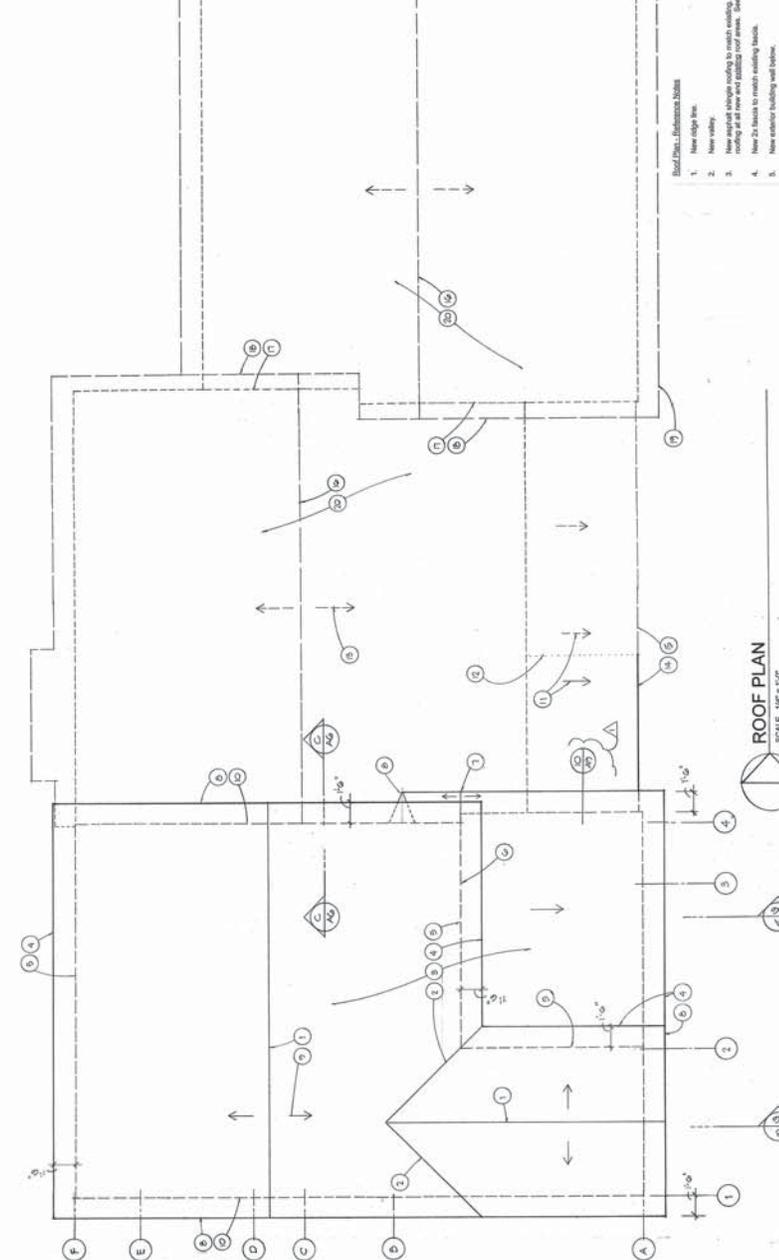
NORTH ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET



SOUTH ELEVATION
 SCALE 1/4" = 1'-0"
 0 4 8 FEET

Bain Architecture
 ARCHITECTS / PLANNERS
 2018 E. 15th Ave. • Mesa, Arizona 85204
 (480) 944-2247 • www.bainarchitecture.com

RISK ASSESSMENT GROUP INC.
 OFFICE ADDITION
 2100 SOUTH BIRDA ROAD
 Project No. 1219



ROOF PLAN
SCALE 1/4" = 1'-0"
PLAN NORTH

1. New ridge line.
2. New valley.
3. New exterior building wall below existing roofline. Alternate new exterior building wall at all over and existing roof areas. See Reference Note 20.1.
4. New 2x beams to match existing truss.
5. New exterior building wall below.
6. Pitch break at new building wall.
7. Ridge and return pitch to existing roof below.
8. Saddle at new to existing roof intersection.
9. Solid arrow indicates downward slope of new roof. To match existing 4:12 pitch, verify in field.
10. New gable end.
11. New low slope patio roof to match existing.
12. Join line of new low slope patio roof to existing.
13. Dashed arrow indicates downward slope of existing roof. 4:12 pitch, verify in field.
14. New patio truss to retain existing.
15. Existing patio truss.
16. Existing roof edge line.
17. Existing gable end.
18. Existing pergolas to match existing.
19. Existing truss.
20. Existing asphalt shingle roofing.



PARTIAL BUILDING SECTION C
SCALE 1/4" = 1'-0"

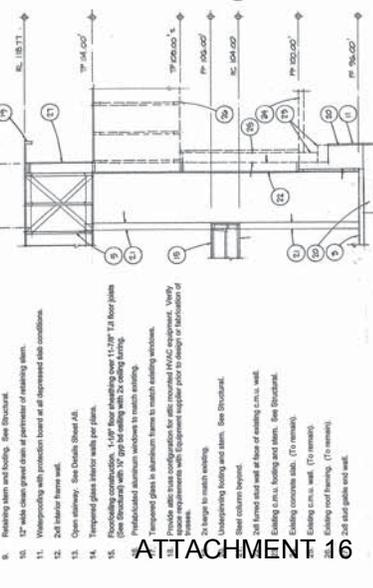


BUILDING SECTION A
SCALE 1/4" = 1'-0"



BUILDING SECTION B
SCALE 1/4" = 1'-0"

- ABBREVIATIONS**
- TP Top of Plate
 - PF Peak of Fin
 - PC Peak of Chalk or Top of Floor Slab/Decking
 - FC Finish Ceiling
 - WC Wet Core
 - WH Window Head
 - WS Window Sill
 - TS Top of Sill/Threshold
 - FB Finish
- BUILDING SECTION A/B/C/D/E**
1. Finish grade or paving.
 2. Exterior stem and footing/grade. See Structural.
 3. Concrete slab over A.B.C. See Structural.
 4. 2x4 exterior frame wall with full brick installation.
 5. Prefabricated wood roof trusses. See Structural.
 6. Spray applied 1/2" foam insulation to underside of roof sheathing as required.
 7. 2x4 needs to match existing.
 8. Field verify existing roof slope. New trusses to match.
 9. Existing stem and footing. See Structural.
 10. 1" x 6" solid stem grand drain or perimeter of existing stem.
 11. Waterproofing with protection board at all depressed slab conditions.
 12. 2x4 interior frame wall.
 13. Open masonry. See Details Sheet A.1.
 14. Tempered glass interior walls per plans.
 15. Floor/ceiling construction, 1-1/2" floor sheathing over 1-1/2" x 4 floor joists (See Structural with 1/2" gap to ceiling with 2x ceiling batten).
 16. Prefabricated aluminum trusses to match existing.
 17. Temporary glass in aluminum frame to match existing sections.
 18. Provide with base configuration for all required HVAC equipment. Verify equipment with Equipment Supplier prior to being fabricated in frame.
 19. 2x batten to match existing.
 20. Underpinning footing and stem. See Structural.
 21. 2x4 framed stud wall at floor of existing c.m.u. wall.
 22. Existing c.m.u. footing and stem. See Structural.
 23. Existing concrete slab. (To remain).
 24. Existing roof framing. (To remain).
 25. 2x4 stud gable end wall.



PARTIAL BUILDING SECTION C
SCALE 1/4" = 1'-0"



BUILDING SECTION A
SCALE 1/4" = 1'-0"



BUILDING SECTION B
SCALE 1/4" = 1'-0"



Bain Architecture
Architects & Planners
1000 N. 19th Avenue, Suite 100
Phoenix, AZ 85016 • Phone: 602.944.8888



RISK ASSESSMENT GROUP INC.
OFFICE: PHOENIX
3100 SOUTH BURNING WOOD
TEMPE, ARIZONA



Project No. 1219
Date: 8-16-12
Sheet No.

REVISIONS

No.	Description

REVISED 8-16-12

LANDSCAPE LEGEND

existing trees

SYMBOL	NAME	QTY/ SIZE
	Existing Evergreen Elm <i>Ulmus parviflora</i>	2 @ VARIES

existing palms

SYMBOL	NAME	QTY/ SIZE
	Existing Pygmy Date Palm <i>Phoenix rostrata</i>	3 @ VARIES

existing shrubs

SYMBOL	NAME	QTY/ SIZE
	Existing Hibiscus <i>Hibiscus rosa sinensis</i>	4 @ VARIES
	Existing Lantana <i>Lantana</i>	13 @ VARIES
	Existing Sage <i>Leucophyllum frutescens</i>	15 @ 5 GAL
	Existing Dwarf Bottlebrush <i>Callistemon viminalis</i>	7 @ VARIES
	Existing gazania <i>gazania</i>	6 @ VARIES
	Existing Twisted Murtle <i>Myrtilus communis 'Boottica'</i>	1 @ VARIES
	Existing Mexican Bird Of Paradise <i>Caesalpinia</i>	3 @ VARIES

new plants

SYMBOL	NAME	QTY/ SIZE
	Pygmy Date Palm <i>Phoenix rostrata</i>	2 @ 15 GAL
	Lantana <i>Lantana camara</i>	6 @ 5 GAL
	Boxwood Beauty <i>Buxus macrocarpa</i>	6 @ 5 GAL
	Twisted Murtle <i>Myrtilus communis 'Boottica'</i>	2 @ 15 GAL

softscape

MATERIAL	QTY/ SIZE	NOTES
NEW LAWN -SOD-	170 SQFT	
BLEND WITH EXISTING LAWN		

irrigation

MATERIAL	QTY/ SIZE	NOTES
USE EXISTING IRRIGATION SYSTEM		
ADJUST SPRINKLERS WHERE NECESSARY		
ADJUST EMITTERS WHERE NECESSARY		

hardscape

MATERIAL	QTY/ SIZE	NOTES
INSTALL NEW CURBING TO MATCH EXISTING ~ 105 L'		
DECOMPOSED GRANITE TO MATCH RE-USE EXISTING		
1 1/2" SCREENED COLOR: APACHE BROWN		

site work/ notes

MATERIAL	QTY/ SIZE	NOTES
CONCRETE REMOVAL ~		
CURBING REMOVAL ~		
COLLECT AND RESPREAD GRANITE		
REMOVE SELECTED PLANTS AND REPLACE WITH NEW IN NEW LOCATIONS ON PLAN		
ADJUST NEW CURBING AND LAWN, SEE PLAN		
RE-USE EXISTING IRRIGATION SYSTEM, ADJUST SPRINKLERS FOR NEW LAWN		
RE-USE EXISTING IRRIGATION SYSTEM, ADJUST EMITTERS AND LINE FOR NEW PLANTS		