

CITY OF TEMPE DEVELOPMENT REVIEW COMMISSION

Meeting Date: 12/11/1212 Agenda Item: 2

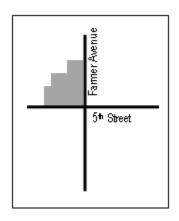
<u>ACTION</u>: Request approval for a Development Plan Review revision for FARMER STUDIOS, located at 464 S. Farmer Avenue. The applicant is Jason Comer, Architekton.

FISCAL IMPACT: There is no fiscal impact on City funds.

RECOMMENDATION: Staff – Approval, subject to conditions

BACKGROUND INFORMATION: FARMER STUDIOS PL110287 is located on the northwest corner of 5th Street and Farmer Avenue. The applicant received a Development Plan Review approval on November 8th 2011 and is currently constructing the 13,000 s.f. new addition to the 13,537 s.f. existing offices. The addition will be a two-story office building over ground level covered parking. The applicant has proposed a change in the elevations, materials and colors and is seeking Development Review Commission approval of the following:

DPR12217 Development Plan Review building elevation modification.



Property Owner Doug Brown, 500 Fifth LLC Applicant Jason Comer, Architekton

Zoning District MU-4 PAD Gross/Net site area 2.06 acres

Total Building area 26,537 s.f. office (existing & new), 13,524 s.f. apartment

(existing)

Lot Coverage 50% Building Height 50 ft

Building Setbacks 8' front yard setback on 5th St, 0' street side setback on

Farmer Ave., 5' existing side yard (west) setback, and 5' rear yard (north) setback, with new development taller than 20' having a 10' setback and required step back

above 30' of building height.

(R-3: 20' front, 10' street side, 10' side, 15' rear min.)

159

Vehicle Parking 101 spaces (122 min. required, 87 min required if in TOD,

153 max allowed surface)

Bicycle Parking 28 spaces (28 minimum required for both residential and

commercial uses)

ATTACHMENTS: Supporting Documents

STAFF CONTACT: Diana Kaminski, Senior Planner (480-858-2391)

Landscape area

Department Director: Lisa Collins, Interim Community Development Director

Legal review by: N/A

Prepared by: Diana Kaminski, Senior Planner

COMMENTS:

This site is located on the north west corner of 5th Street and Farmer Avenue west of Downtown Tempe, south of Tempe Town Lake, and north of University Drive. The site consists of seven lots, six with existing infrastructure. The westernmost five parcels include a group of small single-story apartments built between 1950 and 1978. The eastern corner of the site was built in 2003 as part of a Planned Area Development for a mixed-use project under former Zoning 808 standards. At the time of entitlement of the office building, the property was zoned MG Multi-Use General and development standards were administered by variance. After completion of this building, the property owners acquired the duplexes and four-plexes to the west, with the intention of incorporating these parcels into a future phase of development. The approved Planned Area Development utilizes these residences as the required residential component to the mixed-use designation of the property, by incorporating the sites into the PAD. Phase 1 of the PAD was the existing office building at the corner, phase 2 will be the new addition to the office building currently under construction, and phase 3 will be sometime in the future, when the existing housing will be replaced with new housing compliant with all zoning and building codes at the time of development.

Existing entitlements for this property that will remain in effect are:

Planned Area Development standards: parking reduction from 122 spaces to 101 spaces, a 50 foot building height, eight (8) foot setback on 5th Street, zero (0) foot setback on Farmer Avenue, five (5) foot setback on the west and north for existing buildings, and a ten (10) foot setback for any new development taller than twenty (20) feet, with a required step back above thirty (30) feet of building height. No additional changes were proposed to the residential component of the site.

The applicant is requesting the Development Review Commission take action on the proposed revision to the Development Plan Review to allow material and color modifications to the elevations of the new addition.

PUBLIC INPUT

A neighborhood meeting was not required for this modification.

PROJECT ANALYSIS

DEVELOPMENT PLAN REVIEW

The existing residences have been painted to blend more with the adjacent building. No other changes are being proposed to the R-3 residential properties within the project. At such time that the owners wish to redevelop the site with a new product, a separate Development Plan Review will be required. The proposed project for this process is the addition of office space north of the existing commercial building at the corner of 5th and Farmer. This is a second phase of the project.

Site Plan

The plan provides for no street front changes along 5th Street or Farmer at the pedestrian level, as the new building is a podium structure above the existing site wall. The interior courtyard and parking area will be reconfigured slightly to accommodate the new building addition north of the existing 2 story office building at the south east corner of the site. The new building will run perpendicular to the existing building, maximizing northern light exposure and minimizing the massing along Farmer Avenue. Retention is captured within an amenity courtyard used by tenants.

Building Elevations

The existing building is largely comprised of natural grey concrete masonry units, with large spans of steel tracks and glass, providing moveable sun screens to the space. The new addition was proposed to be a warm contrast to this structure, using rust patina finished corrugated metal siding sealed to prevent color staining on the wall and sidewalk below. The applicant is proposing to remove the corrugated metal panels and the painted green stucco finished cement board panels. Orange paint is proposed at key pedestrian points to guide visitors into the project with visual cues. Guard rails would also be painted the same orange color, providing contrast to the neutral grey tones of the building. The existing CMU site wall is proposed to be faced with zinc panels, providing a grey metal finish in lieu of the originally proposed rust patina metal finish. Window locations have also changed, to accommodate operable sliding panels of translucent polycarbonate material in lieu of the proposed metal louvers previously providing sun control. The new design modifies the elevation to slightly lower the parapet height, with the exception of the portion providing screening to the mechanical equipment. This provides more variation in the

building proportions in elevation view. The north side of the addition has large spans of glass to allow natural light into the space. There are no windows on the west elevation, and no proposed changes to what was previously approved. It is anticipated that this façade would eventually face the third phase of the development in the future.

Landscape Plan

The existing street front landscape is to remain. The parking lot will retain as many mature trees as possible; the new plant material will include Desert Museum Palo Verdes, Bougainvillea, and Aloes. The landscape is very low maintenance and low water use. The parking area has the look and potential function as an outdoor courtyard/patio when not in use for parking. The landscape was previously approved and has no proposed changes with this request.

Section 6-306 D Approval criteria for Development Plan Review (in italics)

- 1. Placement, form, and articulation of buildings and structures provide variety in the streetscape: the new building addition will be closer to the street than the existing building, providing a projection out towards Farmer on the second floor. The building orientation is perpendicular to the existing structure, and uses different materials to highlight the massing and dimension of the building from the street front.
- 2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort: windows on the new building are oriented to the north, with minimal slot openings on the south side, to prevent heat gain inside. The parking area will be partially shaded by the new podium building above ground floor parking. The existing parking lot is decomposed granite with shade trees shading most of the parking area to remain. The courtyard of the existing development will be made smaller by the new building, with the grass retention area remaining as an amenity space for the employees. The walkway between the buildings is a covered breezeway.
- 3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings: the existing concrete masonry building with exposed structural steel is complimented by the proposed zinc panels and the translucent polycarbonate sliding operable window screens. Materials are low maintenance and left in their natural form.
- 4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings: existing buildings in the area range from 15' tall to 50' tall; the landscape is low-water use. The existing 5th Street side will remain at the current scale and landscape, the massing of the new building is primarily seen on the Farmer Avenue elevation and is the narrow end of the building.
- 5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street leve: the combined use of materials and floor levels from the existing and new addition provide a variety of masses, materials and depths, with patterns of windows and doors that complement and articulate the overall building mass and rhythm.
- 6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions: the street level along Farmer will not be significantly changed, the building is a podium structure above existing parking, which is screened by an 8' CMU wall. Above the wall, the building will jut out to the property line. The building will provide shade to the sidewalk and matches the existing grey CMU building. The use of bright orange as a contrast functions as a visual cue for visitors to lead them through the project.

- 7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage: by proximity, the property is within walking distance of light rail at 3rd Street and Mill Avenue, and 5th Street and College Avenue; it is not within the TOD due to the existing PAD. The existing building has 8 outdoor secured bike parking spaces, and an additional 16 custom bike spaces indoors, the tenants have a long history of support and use of alternative modes of transportation, including residing in the apartments next door and walking to work.
- 8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses: all vehicular circulation is contained on site and limited to one driveway entrance to the property, minimizing conflicts with pedestrians.
- 9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance: the office complex is a secured compound, with clearly defined territorial boundaries, surveillance may occur from windows, if they are not screened with transparent or opaque materials. Windows on the new building will have exterior louvers, allowing reflective light in, and limited views out. All required lighting levels will be met.
- 10. Landscape accents and provides delineation from parking, buildings, driveways and pathways: Landscape at the street front is limited, all on-site landscape is behind walls, but clearly delineates pathways and parking areas. Landscape is used heavily in the parking area to increase shade.
- 11. Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects.

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review modification. This request meets the required criteria and will conform to the conditions.

REASONS FOR APPROVAL:

- 1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
- 2. The project will meet the development standards required under the Zoning and Development Code.
- 3. The proposed project meets the approval criteria for a Development Plan Review.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

CONDITIONS OF APPROVAL Site Plan

- 1. A building permit shall be obtained on or before December 11, 2014 or the Development Plan Review approval for this request expires.
- 2. No changes proposed to sidewalks or right of way.
- 3. Provide service yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of exterior building mechanical equipment, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment. This condition does not apply to utility required transformer boxes located on site.
- 4. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
- 5. Existing driveways to remain, no changes proposed. If changes are made, provide upgraded paving at each driveway consisting of unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
- 6. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
- 7. Shade canopies for parking areas are existing, if modifications are made to these:
 - a. Provide an 8" fascia for the canopy structure.
 - b. Maximum 75% light reflectance value shall also apply to the top of the canopy.
 - c. Conceal lighting conduit in the folds of the canopy structure and finish conduit to match.

Floor Plans

- 8. Exit Security: Provide visual surveillance by means of fire-rated glazing assemblies from office stair towers into adjacent circulation spaces. In instances where an elevator or stair exit in the office or garage is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.
- 9. Parking:
 - a. Minimize interior partitions to inhibit hiding behind these features.
 - b. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking area.
 - c. Minimum required parking dimensions of new parking spaces shall be clear of any obstructions.
 - d. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.

Building Elevations

- 10. The materials and colors are approved as presented:
 - a. Roof flat parapet
 - b. Smooth-faced CMU Grey
 - c. Exposed Structural Steel weathered finish clear sealed
 - d. Zinc Panels VM Zinc, Quartz Zinc Grey

- e. Stucco Smooth Finish Dunn Edwards DE6376 Looking Glass Grey
- f. Stucco Accent Dunn Edwards DEA116 Instant Orange
- g. Perforated Steel Railing Dunn Edwards DEA116 Instant Orange
- h. Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.
- 11. Sealed patina finish shall be maintained to prevent rust staining on wall, sidewalk, and landscape elements along street front.
- 12. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
- 13. Conceal roof drainage system within the interior of the building.
- 14. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
- 15. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard concealed from public view.
- 16. Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these locations.

Lighting

- 17. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
- 18. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape (all conditions are from prior approval, no changes to plans)

- 19. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.
- 20. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
- 21. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Design irrigation so existing plants on site and in frontages are irrigated as part of the reconfigured system at construction completion. Provide temporary irrigation to existing landscape for period of time that irrigation system is out of repair. Repair existing irrigation system on site or in the adjacent public right of ways where damaged by work of this project.

- 22. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
- 23. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite with plastic.

Signage

- 24. Provide one address sign on the elevation facing the street to which the property is addressed and each elevation not facing the street side yard. Conform to the following for building address signs:
 - a. Provide street number only, not the street name
 - b. Compose of 12" high, individual mount, metal reverse pan channel characters.
 - c. Self-illuminated or dedicated light source.
 - d. Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - e. Do not affix number or letter to elevation that might be mistaken for the address.
- 25. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the Zoning and Development Code (ZDC) are not listed as a condition of approval, but will
 apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals,
 become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community
 Development.
- SITE PLAN REVIEW: Verify all comments by the Public Works Department, Community Development Department, and
 Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should
 be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior
 to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by
 planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works
 Construction, at this link: www.tempe.gov/index.aspx?page=2147 or purchase book from the Public Works
 Engineering Division.
- Access to refuse enclosure details an all other Building Safety forms at this link: <u>www.tempe.gov/index.aspx?page=1033</u>. The enclosure details are under Civil Engineering & Right of Way.
- BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and
 design columns or corners to discourage to opportunity for ambush opportunity. Maintain distances of 20'-0" or greater
 between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
 - Provide method of override access for Police Department to controlled access or gated common areas.
 - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

FIRE:

Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance

- from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

ENGINEERING:

- For the subject property being modified by the DPR, underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements or property restrictions, to ensure no conflicts with the site layout or foundation design.
- 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
- Encroachment Permits must be obtained from the Engineering Department prior to submittal of construction documents for building permit.
- REFUSE: Submit to Solid Waste Division a plan for refuse removal including entry and exit route. Gates must be open from 6:00am to 4:30pm on collection days.

DRIVEWAYS:

- Construct new driveways in public right of way in conformance with Standard Detail T-320.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for
 adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb.
 Consult "Corner Sight Distance" leaflet, available from Traffic Engineering if needed. Do not locate site furnishings,
 screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision
 triangle.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578.
 Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

LIGHTING:

- Design site lighting in accordance with ZDC Part 4 Chapter 8 Lighting and ZDC Appendix E Photometric Plan.
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the
Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected"
trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State
of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department.
Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm. Follow the link to
"applications to move a native plant" to "notice of intent to clear land".

• SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

November 26, 1894	Residential parcels were part of the original town site.
Between 1938-1948	Single-Family Residential zoning changed to Multi-Family zoning designation.
June 7-October 8, 1962	Construction of four-plex apartment located at 408 W. 5th Street
February 4, 1965	Sewer connection made to four-plex located at 408 and 420 W. 5th Street.
November 14, 1969	One-story 10-unit apartment complex at 420 W. 5th Street altered to add apartment in former storage room.
August 2, 1972	Existing single-family home converted into a duplex at 418 W. 5th Street
May 16, 1978	Final inspection of duplex constructed at 428 W. 5th Street
1965-1985	Single family, duplex and apartment dwellings located on Farmer Avenue parcels were built, modified and/or removed in 30 year history of the sites.
May 25, 2983	Board of Adjustment approved a variance to waive the required 6' cmu wall and 15 gal. trees 15' on center along a common multi-family property line.
June 22, 1983	Board of Adjustment approved a variance for Victoria & Camelot Aparments to reduce the required sideyard setback on north and south property lines from 7' to 4'6" to accommodate required staircase projection encroaching in setback on 416 and 420 S. Farmer Avenue.
November 9, 1999	Planning Commission held first public hearing for General Plan Amendment from Residential >8 du/ac to Mixed Use and a Zoning Map Amendment to change from R-3 Multi-Family to MG Zoning. Six Commissioners were in opposition and four in support of the proposed change. Residents in neighborhood expressed concerns about encroaching commercial development and intensification of the area, others expressed support for new development and revitalization.
April 12, 2000	Rio Salado Advisory Commission reviewed project and expressed concern with lack of useable open space and landscaping, lack of amenities for employees and architectural character not in context with residential area.
April 25, 2000	Planning Commission approved by 6-0 vote on consent agenda the General Plan Land Use amendment from Residential > than 8 du/ac to Mixed-Use, and a Zoning Amendment from R-3 to MG.
May 17, 2000	Design Review Board approved the site plan, elevations and floorplans for the building at 420 (464) S. Farmer Avenue.

June 15, 2000

City Council approved a General Plan 2020 Amendment, a Zoning Map Amendment, a Planned Area Development for Phase I of the Riverside Mixed Use Development: a three-story building with 10,985 s.f. of retail, 11,551 s.f. of office and 15, 750 s.f. of residential. Phase II would consist of another three-story building with similar uses, bringing the total building area to 79,701 s.f. on 2.04 net acres. Use Permits were also approved for outdoor dining in the MG district, and to allow vehicle and bicycle parking to be parked by peak demand. The following variances were granted:

- 1. Reduce minimum required front yard setback from 25' to 19' and street side yard setback from 25' to 10' (to 5' for staircase, lobby and covered walkway).
- 2. Waive required landscape strip and on-site street trees along 5th Street and Farmer Avenue to accommodate sidewalk area.
- 3. Reduce minimum required width of landscape buffer between R-3 and MG from 15' to 0' 7', 8' and 9' along west property line at certain locations and from 15' to 8' along the north property line and from 15' to 5' along the south property line.
- Reduce the minimum required landscape percentage on site from 15% to 12% at buildout.
- 5. Allow stabilized decomposed granite in lieu of the required asphalt paving material in the parking lot.
- 6. Waive required landscape islands at the ends of rows of parking and after every 15 stalls and provide substandard landscape islands (width, area and plant material) at the ends of rows of parking in certain locations of the parking lot.

October 5, 20000

City Council approved a Final Planned Area Development for Phase I consisting of 38,655 s.f. of building.

April 3, 2002

Design Review Board approved building elevations, site plan and landscape plan for a 10,260 sf office building at 464 S. Farmer Avenue.

April 25, 2002

City Council approved a Preliminary and Final Planned Area Development for 10,260 s.f. office building with 8 variances on 1.05 net acres on 464 S. Farmer Avenue. The variances are as follows:

- 1. Reduce the minimum required front yard building setback from 25' to 0' along 5th street
- 2. Reduce the minimum required street side yard building setback from 25' to 0' along Farmer Avenue
- 3. Reduce the minimum required landscaping area along the street and front yards from 15' to 0'
- 4. Reduce the minimum required number of trees along the street frontage from the one tree for every 25 linear feet to four trees along Farmer Avenue and two along 5th Street (for only the 1.05 acre site addressed as 464 S. Farmer)
- 5. Waive the pavement and six inch raised curb required for parking areas and provide crushed rock with stabilizing grid
- 6. Waive the required landscape islands and required tree and groundcovers in the parking area at the end of parking rows and allow tree wells and trees in locations shown on the site plan and landscape plan, respectively.
- Reduce the minimum required driveway distance from the property line from 20 feet to 8 feet
- 8. Reduce the minimum width required for the landscape strip along the north and west property lines from six feet to three feet, and allow a landscape hedge in lieu of required trees.

August 8, 2002

City Council approved an Amended Subdivision Plat to combine four existing lots into one lot on 1.05 net acres.

December 24, 2002	Development Services Department Design Review Staff approved request to add two parking canopies to the site.
January 7, 2003	Hearing Officer approved a variance to reduce the required off-street parking from 54 spaces to 52 spaces.
January 20, 2005	City Council approved the new Zoning and Development Code, eliminating MG zoning and implementing the MU zoning classification with a Planned Area Development process for determining development standards. The existing office property was designated MU-4 and the existing residential properties remained R-3.
November 8, 2011	Development Review Commission approved DPR11160 – Development Plan Review including site plan, building elevations, and landscape plan.
November 17, 2011	City Council introduced and held the first public hearing for PAD11012 (Ordinance No. 2011.51) – Planned Area Development Overlay for development standards to allow a parking reduction from 122 spaces to 101 spaces, a 50 foot building height, 8' setback on 5 th Street, 0' setback on Farmer Avenue, 5' setback on the west and north for existing buildings, and a 10' setback for any new development taller than 20', with a required step back above 30' of building height and a landscape area reduction from 25% to 15%.
December 1, 2011	City Council held the second and final public hearing for the above request and approved the Planned Area Development standards for this site.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review



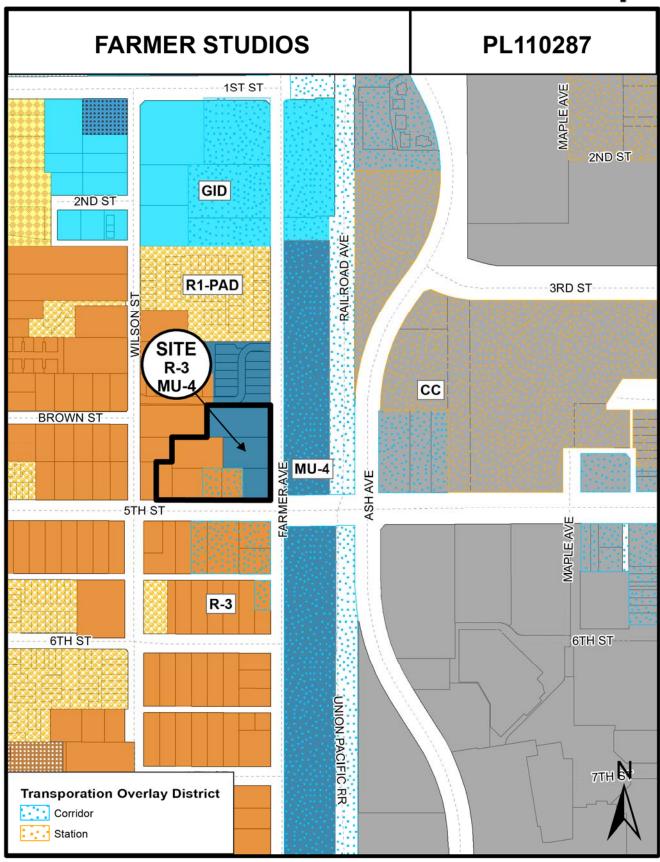
DEVELOPMENT PROJECT FILE

for **FARMER STUDIOS**

ATTACHMENTS:

- 1. Location Map
- 2. Aerial Photo
- 3. Letter of Explanation
- 4. Site Plan
- 5. Floor Plan
- 6. Elevations (new proposed)
- 7. South and East Elevations (formerly approved on 11/8/11)
- 8. North and West Elevations (formerly approved on 11/8/11)
- 9. Color Elevations (new proposed)
- 10. South and East Color Elevations (formerly approved on 11/8/11)
- 11. North and West Color Elevations (formerly approved on 11/8/11)
- 12. Materials Sample Board (new proposed)
- 13. Materials Sample Board (formerly approved on 11/8/11)

T Tempe



Location Map



FARMER STUDIO (PL110287)

ARCHITEKTON

November 12, 2012

Ms. Diana Kaminski, Senior Planner City of Tempe, Planning Division 31 East 5th Street Tempe, Arizona 85281

Ms. Kaminski,

Thank you for considering this submittal for a revised materials board and elevations for Farmer Studios II, case PL110287 / PAD11012 / DPR11160. The Development Plan Review and Rezoning for this project was originally approved by the Development Review Commission and City Council last year, and the building is currently under construction.

We are seeking to modify the elevations of the proposed building to incorporate operable shade screens that will allow the building's users to better control the amount of daylighting in the interior spaces. The previously approved façade design had a "second skin" of corrugated, perforated metal that was arranged in a segmented pattern of vertical panels with an irregular rhythm of tall, narrow windows. The revised fenestration pattern and the elimination of the outer metal skin will allow us to install moveable exterior shade panels on all perimeter windows. These operable screens, made up of translucent polycarbonate panels framed in a metal track, will form an ever changing rhythm as the individual shades are rolled open or closed.

The changes proposed in this request include:

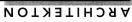
- The primary building color has been changed from a rusted, corrugated metal finish to a neutral, medium gray. The cement board panels and green stucco have been eliminated. Orange has been introduced at the pedestrian entrance along Farmer Avenue and at portions of the elevator shaft to signify entry and guide visitors into the project. Guard rails on the exit stairs along Farmer are constructed of perforated steel in the same orange color.
- The existing CMU site wall along Farmer Avenue is now clad in zinc panels to form a stronger visual base to the project and form a backdrop for the landscape along the sidewalk.
- Window placement has been redesigned to accommodate operable sliding panels of translucent polycarbonate.
- The parapet height has been lowered except where it screens mechanical equipment in order to enhance the proportions of the elevations. There are no proposed changes to the overall height square footage, or to the development standards.

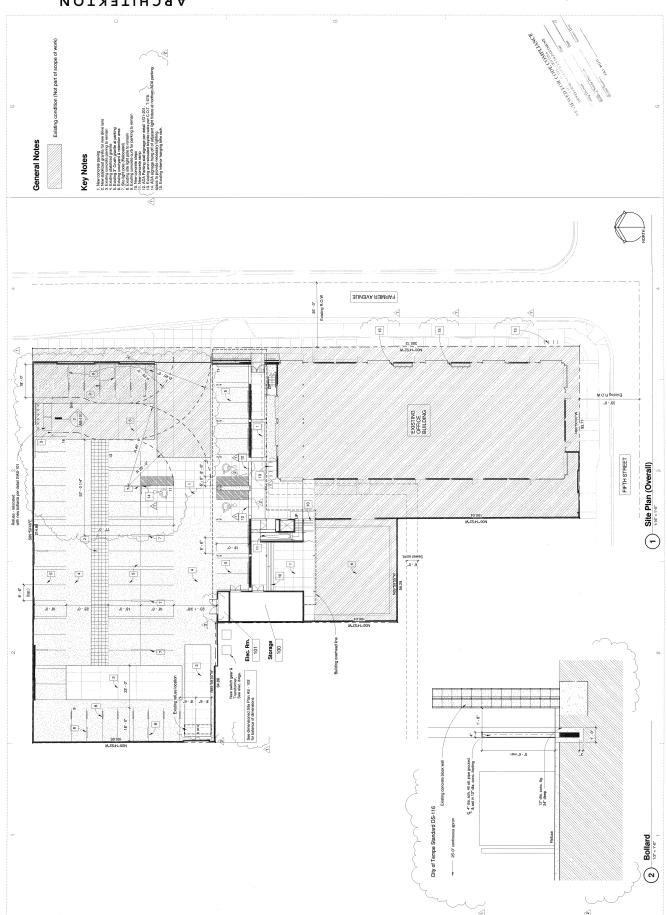
We appreciate your consideration of this request. We feel it will enhance the Farmer Studios II project by creating a more dynamic facade that is responsive to our climate and attuned to the pedestrian experience..

Respectfully submitted,

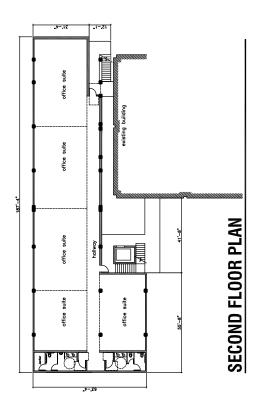
Jason Comer, LEED-AP ARCHITEKTON Applicant

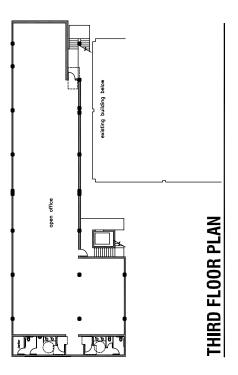
Date 5.14.2012 7.09.2012

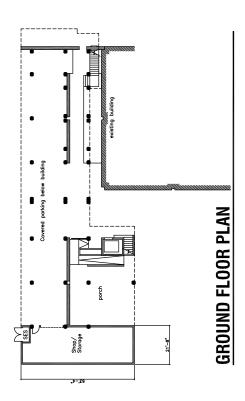




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Existing Building

15. Farmer Ave., Eude 101 Tempe, AZ 85281 T. 480.894.4037 F. 480.894.4038

02 4

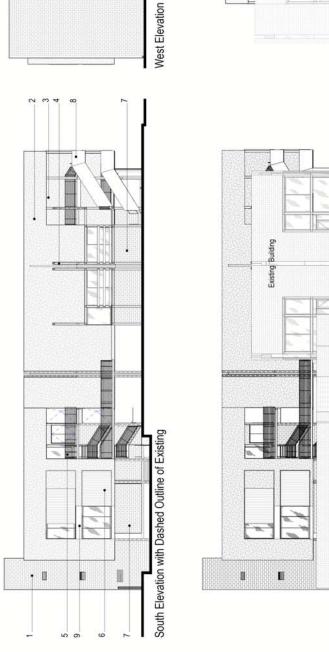
Existing Building

East Elevation with Existing



East Elevation with Dashed Outline of Existing

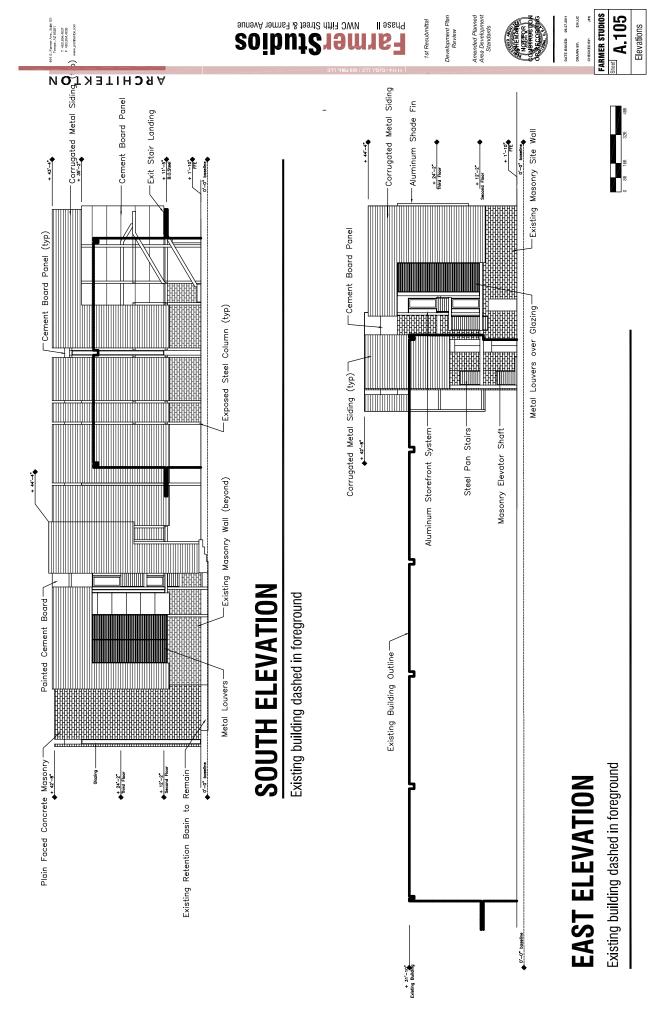
9. Zinc panel



Ш 1 North Elevation

- New CMU
 DE 6376 "Looking Glass" LRV=23%
 EIFS: DEA 117 "Instant Orange" LRV=48%
 Exposed structure rusted steel
- Wire guardrail
 Operable transluscent polycarbonate shade screen
 Existing CMU
 Perforated metal panels painted with DEA 117 "Instant Orange" LRV=48%

South Elevation with Existing

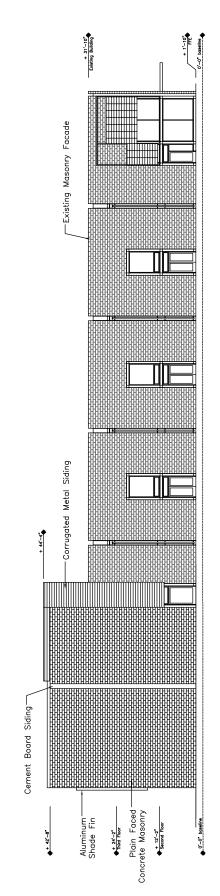


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-Metal Doors -Cement Board Panel Exposed Steel Column (typ) Cement Board Panel (typ) Existing Masonry Wall (beyond) Aluminum Curtain Wall System (typ) Corrugated Metal Siding (typ) Existing Masonry Site Wall 0.-0" baseline + 43'-4"

NORTH ELEVATION



WEST ELEVATION

Existing building shown in background

A.100 FARMER STUDIOS Color Elevations

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S. Farner Ave., Subb 1 Temps, AZ 85281 T. 480 894 4037 F. 480.894 4638



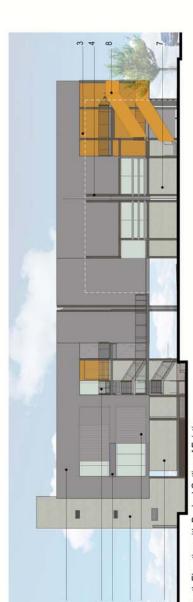
West Elevation



East Elevation with Existing



East Elevation with Dashed Outline of Existing



South Elevation with Dashed Outline of Existing



South Elevation with Existing



North Elevation

1. New CMU

2. DE 6376 "Looking Glass" LRV=23%
3. EIFS: DEA 117 "Instant Orange" LRV=48%
4. Exposed structure - rusted steel

Wire guardrail
 Operable transluscent polycarbonate shade screen
 Existing CMU
 Perforated metal panels painted with DEA 117 "Instant Orange" LRV=48%

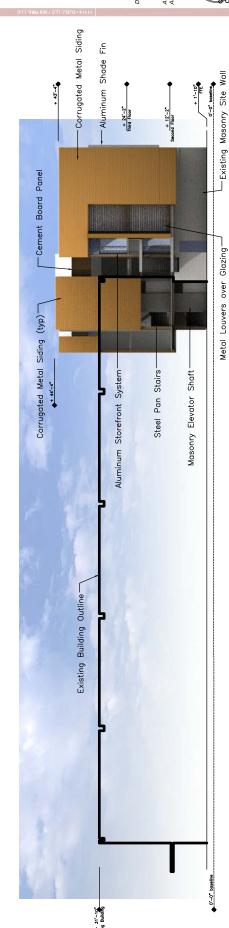
9. Zinc panel

02 4



SOUTH ELEVATION

Existing building dashed in foreground



EAST ELEVATION

Existing building dashed in foreground

Development Plan Review 1st Resubmittal

Amended Planned Area Development Standards

CANEWAYER ONSTRUCTION OF ECOSMINE

DATE ISSUED: 09.27.2011



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NORTH ELEVATION



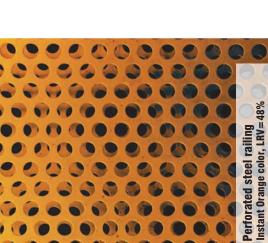
WEST ELEVATION

Existing building shown in background



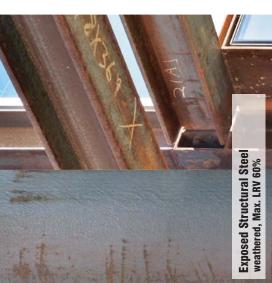
Accent Stucco Color DEA116 "Instant Orange," LRV=48%











existing building, while the floating mass of the new building is treated in a medium gray stucco. An orange accent color is used at the pedestrain entrance and circulation core, with zinc panels along the parking lot site wall. A translucent polycarbonate shade screen panel will be used at permieter window locations. The overall palette of the project is designed to create a complementary massing that references the materiality of the existing Farmer Studios. Structural steel and masonry are exposed as in the

Primary Stucco Color DE 6376 "Looking Glass," LRV=23%



FARMER STUDIOS II MATERIALS AND COLOR BOARD



