

**CITY OF TEMPE  
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 11/13/2012**

**Agenda Item:**

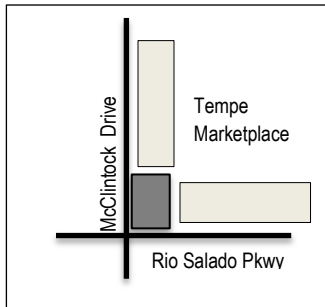
**ACTION:** Request approval for a Development Plan Review for PORTILLO'S RESTAURANT, located at 65 S. McClintock Drive. The applicant is Rich Pozzi of Portillo's.

**FISCAL IMPACT:** While this Development Plan Review request does not directly impact revenue, the development will result in collection of the standard development fees, calculated to the approved fee structure at the time of permit issuance.

**RECOMMENDATION:** Staff recommends approval

**BACKGROUND INFORMATION:** PORTILLO'S RESTAURANT (PL120042) is proposing a new 9,758 s.f. restaurant including a second story mezzanine and a double drive-through. The site is located on the southwest corner of Tempe Marketplace, at the north east corner of McClintock Drive and Rio Salado Parkway. The applicant received Development Plan Review approval for a previous design; however, due to input from the Commission, Property Owner and Development Team, the design concept for the project has changed, requiring review of a new design. The request includes the following:

DPR12209 Development Plan Review including site plan, building elevations and landscape plan



Property Owner	David Malin, Vestar of Tempe Opportunity, LLC
Applicant	Rich Pozzi, Portillo's of AZ, LLC
Current Zoning District	RCC Regional Commercial Center
Gross/Net Site Area	2.40 acres
Total Building Area	9,758 s.f. (8,219 s.f. 1 <sup>st</sup> floor, 1,539 s.f. mezzanine)
Lot Coverage	13.2%
Building Height	35'
Building Setbacks	
Landscape Area	29,996 s.f. (excludes ROW) – 28%
Vehicle Parking Required/Provided	117 required/123 provided
Bicycle Parking	16
A neighborhood meeting was not required for this application	

**ATTACHMENTS:** Supporting Attachments

**STAFF CONTACT:** Diana Kaminski, Senior Planner (480-858-2391)

Department Director: Lisa Collins, Interim Community Development Director  
 Legal review by: N/A  
 Prepared by: Diana Kaminski, Senior Planner



## **COMMENTS:**

This site is located on the north east corner of McClintock Drive and Rio Salado Parkway, on the back southwest corner of Tempe Marketplace. To the west is Karsten Golf Course, to the south west is the APS power substation, to the south are older industrial businesses. The corner lot has been vacant since development of Tempe Marketplace a decade ago. The site is within the Rio Salado Overlay District in the Regional Commercial Center zoning District. The proposed use conforms to the General Plan and Zoning and Development Plan for this area.

A Planned Area Development was previously approved for the site to define the development standards for the property. The proposed development conforms to the RCC standards for building height, setback, lot coverage and landscape area and does not require amendment to the PAD or any of the entitled standards for the site.

The applicant had previously presented a Development Plan Review to the Commission for this restaurant use, and received entitlements for the design. Based on input from Vestar, the property owner, the development team for Portillo's and the Commission, the applicant has modified the site plan, building footprint and elevations. Due to the significance of change in design concept, staff required the applicant to make a new submittal for processing as a new design, not as a minor modification to the former concept. The RCC district would allow a 75' tall structure, surrounding buildings are 24-35' in height, the proposed building is 35'. The proposed restaurant would include a 8,219 s.f. building footprint with a 1,539 s.f. second story mezzanine at the street front.

The applicant is requesting the Development Review Commission take action on the proposed Development Plan Review for site plan, landscape plan and elevations for a new restaurant pad building.

## **PUBLIC INPUT**

- Neighborhood meeting was not required.
- No input has been received regarding this request.

## **PROJECT ANALYSIS**

### **DEVELOPMENT PLAN REVIEW**

#### **Site Plan**

The site is an odd shaped parcel encumbered by service access driveways on both Rio Salado Parkway and McClintock Drive, and a 24' utility easement serving the existing Tempe Marketplace Development. There are also contractual restrictions in site circulation that heavily dictate the site design. Target is requiring a 30' wide drive aisle from their service lane parallel to Rio Salado Parkway, out to the service lane behind Lane Bryant to the north west. Required turning radius' for this drive aisle further define where the building placement and parking can be located. The site is significantly limited in available building area. The proposed restaurant would have an 8,219 s.f. gross building footprint, pushed to the south west corner of the lot to maximize visibility and hide parking in the rear of the development. Access to the site is available from both Rio Salado Parkway and McClintock, with a double loaded approximately 500-foot long drive through wrapping the approximately 70' wide x 121' long building. The drive through would hold approximately 25 single loaded or 50 double loaded vehicles with a 20' estimated space per vehicle. This model of drive through is unique to Portillo's product and is used in many of the 48 locations located around the U.S. A raised speed table has been added on the west side drive aisle, to elevate and guide pedestrians from the bus stop on McClintock to the front patio entrance on the north side of the building. Another speed table has been added at the south east end of the site, where the 30' drive aisle enters the parking area from Rio Salado Parkway. The building dimensions were shortened and a second story addition added to reduce the building footprint and allow more parking closer to the building. The furthest 6 spaces at the south east end were eliminated to reduce walking distance to the building. The end result is a parking field that has the majority of spaces less than 160 feet from the

building entrance. This is in comparison to the minimum of 80 feet to a potential of more than a 600-foot walking distance within Tempe Marketplace from the primary parking area to any of the big box stores or district area.

### **Building Elevations**

The existing Tempe Marketplace buildings to the north and east of this pad site are 26' high from finished floor (not top of grade). The buildings adjacent to them step up to 30' high. The proposed building is 25' with a taller 29' entry monument at the north end and a 35' second-story mezzanine level on the south end of the building to provide variation to the building elevations and roofline. The buildings to the north and east have no roofline articulation and function as large blank colored canvases behind the proposed detailed elevations of Portillo's. The proposed design merges elements found in Tempe Marketplace, such as the cool grey painted metal used on canopies around the center, the use of brick similar to the King's Fish House, the use of painted concrete panels with colors directly custom mixed from the Tempe Marketplace palette Sherwin Williams paints. The freestanding pad restaurants within Tempe Marketplace have their own unique characteristics, such as Lucille's BBQ. Portillo's is separate from the views within Tempe Marketplace, and provides similar colors and materials within its own unique branding image. The building elevations tie back to older styles in the downtown Tempe area with brick and gooseneck lamps and nostalgically reflect a diner era of an Art Deco building. Materials are both classic and contemporary, melded into a unique design. The colors are warm desert earth tones contrasted with cool grey and steel and aluminum providing a variety of textures for visual interest both up close and at a distance. The building will provide prominence at the corner with the raised mezzanine. Windows to the McClintock street front will activate the area providing glimpses of the activity inside the restaurant and on the patio to the north of the entrance. Shade is provided over windows and the entry and careful consideration of window placement takes energy efficiency and sun glare into account. The primary building material is painted concrete, with gold bands breaking the rust/brick colored primary building color. Brick veneer is used to wrap the south end of the building and a wainscot around the west and east elevations. Brick is also used as detailing around faux windows and as insets to the faux windows on the west elevation. The design provides four-sided architecture, with every side of the building providing visual interest to the patrons and passersby.

### **Landscape Plan**

The landscape palette uses similar materials found throughout Tempe Marketplace. The site is challenged with underground utility infrastructure which restricts the location of trees in some locations. The design relocates existing palm trees from the corner to wrap the site further to the north and east. The corner circular landscape element is broken up by the turning radius of the drive through. Additional shade trees are conditioned to provide shade to the patrons using the drive through. The site uses a combination of

#### Section 6-306 D Approval criteria for Development Plan Review (*in italics*)

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the building is located near the corner of the site to provide maximum visibility at the corner. The proposed form is framed by the Tempe Marketplace back-of-house structures which are 26' tall from finished floor. The new building at the corner is 35' at the street front and steps down to 25' at the north entry end, with a 29' tall entry feature. The placement, form and articulation of the proposed building provides variety at the streetscape that breaks up the uniform 26' boxes of solid color behind the site.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the building has no windows on the south façade and limited glazing on the west elevation to mitigate internal building heat gain. The glazing is low-emission rated for maximum energy efficiency. Overhangs are provided to provide shade over windows and the entryway. Shade trees are located throughout the site to reduce the heat gain within the paved parking area and pedestrian corridors from the existing shopping center and from the bus stop on McClintock. The shaded patio will have a misting system for customer comfort to extend the outdoor dining opportunities.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* the proposed design uses colors from the existing Tempe Marketplace palette to integrate the building into the existing center. The warm gold and rust tones tie in with the use of three warm tones of brick detailing. These colors and materials are contrasted with the use of cool grey used throughout Tempe Marketplace as the standing metal seam roof. The cool toned glass and Art Deco aluminum storefront providing variety and detail as a freestanding restaurant pad surrounded by big box buildings with little detail. The purple and orange toned blocks of building mass to the north and east of the site form a contrasting background to the new building. The brick is a veneer of integral colored clay masonry, not painted faux product subject to chipping and discoloration. The use of brick ties into other buildings within Tempe Marketplace. The colors and materials are complimentary and compatible to the existing commercial center.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* the existing Tempe Marketplace varies in height from 20 feet to 40 feet, with the elements closest to this building being 26 feet from finished floor (this is elevated above grade level). The proposed building and landscape elements vary between 25 to 35 feet in height, with palm trees and other landscape integrated from the existing commercial center into the new site design. The new building is detailed and designed to maximize the pedestrian-level experience, with a large patio up front and unique building material treatments at eye level around the building.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* the building is broken into smaller sections, the Art Deco entryway, a tall monument entry feature, the primary building height being 25 feet, and then a taller 35 foot second story mezzanine that frames the entry and provides prominence at the street corner.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* The use of materials, lighting and landscaping create visual interest and movement through a progression of elevations viewed by both pedestrians and vehicle patrons waiting in the drive-through. The patio cover is a medium grey painted steel trellis with black wrought iron fencing, the entry is cool aluminum finished siding with custom themed signs and lights. The long elevation faces McClintock Drive and is broken up with varied heights, materials and colors. Gold bands of paint break up the field of rust tone, and three colors of brick are used for accents, wainscoting and window trim.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* a shaded pedestrian path is provided from the bus stop on McClintock, as well as from the Tempe Marketplace entry between buildings to the north east. The restaurant also has bike parking near the main entrance.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* the site is designed to provide efficient vehicular circulation while encouraging bike, pedestrian and bus patrons to access the site. Speed tables have been provided to encourage safe, visible pedestrian access from the bus stop across the drive through entrance. Another speed table is located at the south east end of the parking lot, to prevent cut through traffic and reduce speed of vehicles entering from Rio Salado Parkway into the site before reaching the parking aisle.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* the building provides surveillance of McClintock Drive, the parking area to the east and the patio to the north. The landscape is designed to provide visibility into the site from the street fronts, as well as activate the site with shaded dining and pedestrian areas. The operational format of the use provides activity on all sides of the building, unlike the existing back of house of buildings to the north and east. Providing staff outside and interacting with patrons in the drive through provides activity support.

10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways*; the proposed landscape design relocates existing palm trees from the hard corner, wrapping them further to the north and east of the site. Shade trees are provided to maximize shade to pedestrians, within the limitations of the existing utility infrastructure onsite. A variety of species of plants are used to create year-round color, texture and visual interest.
11. *Lighting is compatible with the proposed building and use, and does not create negative effects*; lighting is designed to create an active restaurant experience at the street front, code required site lighting is provided and enhanced by decorative lighting elements.

### **Conclusion**

Based on the information provided and the above analysis, staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions.

### **REASONS FOR APPROVAL:**

1. The project meets the General Plan Projected Land Use for this site and implements the goals and objectives of the General Plan.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Development Plan Review.

### **CONDITIONS OF APPROVAL:**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

### **Site Plan**

1. Provide service yard and mechanical yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
2. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls.
3. Provide upgraded paving at each driveway consisting of unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
4. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.

### **Floor Plans**

5. Public Restroom Security:
  - a. Lights in restrooms:
    - 1) Provide 50% night lights
    - 2) Activate by automatic sensors, key or remote control mechanism
  - b. Single user restroom door hardware:
    - 3) Provide a key bypass on the exterior side

### **Building Elevations**

6. The materials and colors are approved as presented:  
Parapet and standing metal seam roof  
North end primary building - Stainless Steel Diner Car Siding and corrugated stainless steel siding and trim

North end trim – Aluminum Diner Car Red  
 North end trim accent– Aluminum Diner Car Black  
 Primary building – Precast painted concrete Sherwin Williams SW2321 Bonfire (medium rust/brown brick)  
 Accent building – Precast painted concrete Sherwin Williams SW2201 Golden Gate (muted gold)  
 Window sill – Limestone/Renaissance Stone  
 Faux windows and accent brick – Copper Mission (medium tan)  
 Wainscot, south end screen wall and accent brick – Inca Smooth (traditional brick red)  
 Faux window trim and south end primary building brick – Vintage Mission (chocolate brown)  
 Trim – painted Sherwin Williams SW6251 Outerspace (dark cool grey)  
 Metal Canopies, Standing Metal Seam Roof , angled steel tube with finial – painted Sherwin Williams SW6487  
 Cloudburst (light cool grey)  
 Window frames – clear anodized aluminum  
 Low-E rated tempered glass  
 Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.

7. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
8. Conceal roof drainage system within the interior of the building.
9. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
10. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
11. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

### **Lighting**

12. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
13. Illuminate building entrances from dusk to dawn to assist with visual surveillance at these locations.

### **Landscape**

14. The plant palette is approved as proposed and specified on the landscape plan, with the exception that additional shade trees be planted to the west and south of the drive through lane for shade. Any additions or modifications may be submitted for review during building plan check process.
15. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
16. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
  - c. Locate valve controller in a vandal resistant housing.

- d. Hardwire power source to controller (a receptacle connection is not allowed).
  - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
  - f. Repair existing irrigation system in the adjacent public right of ways where damaged by work of this project. Provide temporary irrigation to existing landscape in these frontages for period of time that irrigation system is out of repair.
17. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
18. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
19. Trees shall be planted a minimum of 12'-0" from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20'-0" away. Final approval subject to determination by the Public Works, Water Utilities Division.
20. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

### **Signage**

21. Signage shown on the plans was conceptual only, this approval does not include approval of any signage for the project, this must be obtained by separate permit.
22. Provide address signs on the building elevation facing the street to which the property is identified (McClintock) and the north and east elevations.
- a. Conform to the following for building address signs:
    - 1) Provide street number only, not the street name
    - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
    - 3) Self-illuminated or dedicated light source.
    - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
    - 5) Do not affix number or letter to elevation that might be mistaken for the address.
  - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

## CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through [www.tempe.gov/zoning](http://www.tempe.gov/zoning) or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
  - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: [www.tempe.gov/index.aspx?page=2147](http://www.tempe.gov/index.aspx?page=2147) or purchase book from the Public Works Engineering Division.
  - Access to refuse enclosure details and other Building Safety forms at this link: [www.tempe.gov/index.aspx?page=1033](http://www.tempe.gov/index.aspx?page=1033). The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: [www.tempe.gov/modules/showdocument.aspx?documentid=5327](http://www.tempe.gov/modules/showdocument.aspx?documentid=5327). Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **SECURITY REQUIREMENTS :**
  - Design building entrances to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage to opportunity for ambush opportunity. Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
  - Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
  - Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- **FIRE:** Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.



- ENGINEERING:
  - Underground utilities except high-voltage transmission line unless project inserts a structure under transmission line.
  - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
  - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
  - Verify location of easements, or property restrictions, to ensure no conflicts with site layout or foundation design.
  - 100 year onsite retention required, coordinate design with requirements of the Engineering Department.
  
- REFUSE:
  - Enclosure is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
  - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to enclosure is adequate.
  - Gates for refuse enclosure are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
  
- DRIVEWAYS:
  - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
  - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed [www.tempe.gov/index.aspx?page=801](http://www.tempe.gov/index.aspx?page=801) . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
  
- PARKING SPACES:
  - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
  - At parking areas, provide demarcated accessible aisle for disabled parking.
  - Distribute bike parking areas nearest to main entrance. Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
  
- LIGHTING:
  - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
  - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
  
- LANDSCAPE:
  - Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at [www.azda.gov/ESD/nativeplants.htm](http://www.azda.gov/ESD/nativeplants.htm) . Follow the link to "applications to move a native plant" to "notice of intent to clear land".
  
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

## HISTORY & FACTS:

- July 10, 1997 City Council authorized the Public Works Director to enter into Development Agreements with property owners in the County Island guaranteeing I-2 Zoning in exchange agreement to annexation.
- September 24, 1998 City Council authorized staff to proceed with the annexation at a public hearing.
- October 14, 1999 City Council annexed the County Island.
- September 13, 2001 City Council approved the Development Disposition Agreement (DDA) with property owners and the McClintock - Rio Salado Parkway Redevelopment Area.
- June 23, 2004 City Council approved the request by Tempe Marketplace for a zoning change from AG, Agricultural, I-2, General Industrial, I-3, Heavy Industrial to RCC, Regional Commercial Center on 128.2 net acres and a Preliminary Planned Area Development consisting of 1,304,625 s.f. for retail, restaurant and office on 148 net acres, and a Final Planned Area Development for Phase I, consisting of 862,366 s.f. on 128.2 net acres.
- February 21, 2006 Redevelopment Review Commission recommended approval for the request by Tempe Marketplace for an Amended Planned Area Development (P.A.D.), consisting of 1,284,429 s.f. of building on 119.47 net acres, located at 2080 East Rio Salado Parkway in the RCC, Regional Commercial Center. (#RRC06002 / SPD-2006.18)
- March 7, 2006 Redevelopment Review Commission recommended approval for the request by Tempe Marketplace for an Amended Planned Area Development (P.A.D.), consisting of 1,284,429 s.f. of building on 119.47 net acres, including Lot 1, consisting of 29,545 s.f. on 1.7 net acres, located at 2080 East Rio Salado Parkway in the RCC, Regional Commercial Center. (#RRC06006 / SPD-2006.21) (6-0 vote) Redevelopment Review Commission also recommended approval for the request by Tempe Marketplace for a Preliminary and Final Subdivision Plat consisting of twenty-four (24) lots, and one (1) tract on 119.47 net acres, located at 2080 East Rio Salado Parkway, in the RCC, Regional Commercial Center District. (RRC05043 / SBD-2005.102) (6-0 vote)
- March 23, 2006 City Council approved the request by Tempe Marketplace for a Preliminary and Final Subdivision Plat consisting of twenty-four (24) lots, and one (1) tract on 119.47 net acres, located at 2080 East Rio Salado Parkway, in the RCC, Regional Commercial Center District. (RRC05043 / SBD-2005.102)
- April 6, 2006 City Council approved the request by Tempe Marketplace for an Amended Planned Area Development (P.A.D.), consisting of 1,284,429 s.f. of building on 119.47 net acres, including Lot 1, consisting of 29,545 s.f. on 1.7 net acres, located at 2080 East Rio Salado Parkway in the RCC, Regional Commercial Center. (SPD-2006.21)
- August 22, 2006 Development Review Commission approved a request by Tempe Marketplace–Corner Office Building for approval of a Development Plan, including site plan, landscape plan, and building elevations for a 34' tall, two-story office building on Lot 1, located at 155 South McClintock Drive.
- April 10, 2007 Development Review Commission approved a request for a hotel at Tempe Marketplace (PL60718) (Vestar Development, property owner; Manjula Vaz, applicant) for an eight (8) story, 140 room Hilton Homewood Suites Hotel, totaling +/-105,300 s.f. in building area on +/-2.36 acres, located at 65 South McClintock Drive in the RCC, Regional Commercial Center District with PAD, including DPR07022 for a Development Plan Review including site plan, building elevations

and landscape plan. This request was made prior to the development of the remainder of Tempe Marketplace, while the lots to the north and east were vacant.

2007-2008

Tempe Marketplace Lot 20 developed with buildings to the north and east of Lot 1, leaving the vacant lot with easements and utility infrastructure serving the new development. The site has remained vacant since.

July 24, 2012

Development Review Commission heard and approved a Development Plan Review for Portillo's Restaurant, to be located on 2.4 net acres of vacant land adjacent to the Tempe Marketplace development.

**ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review

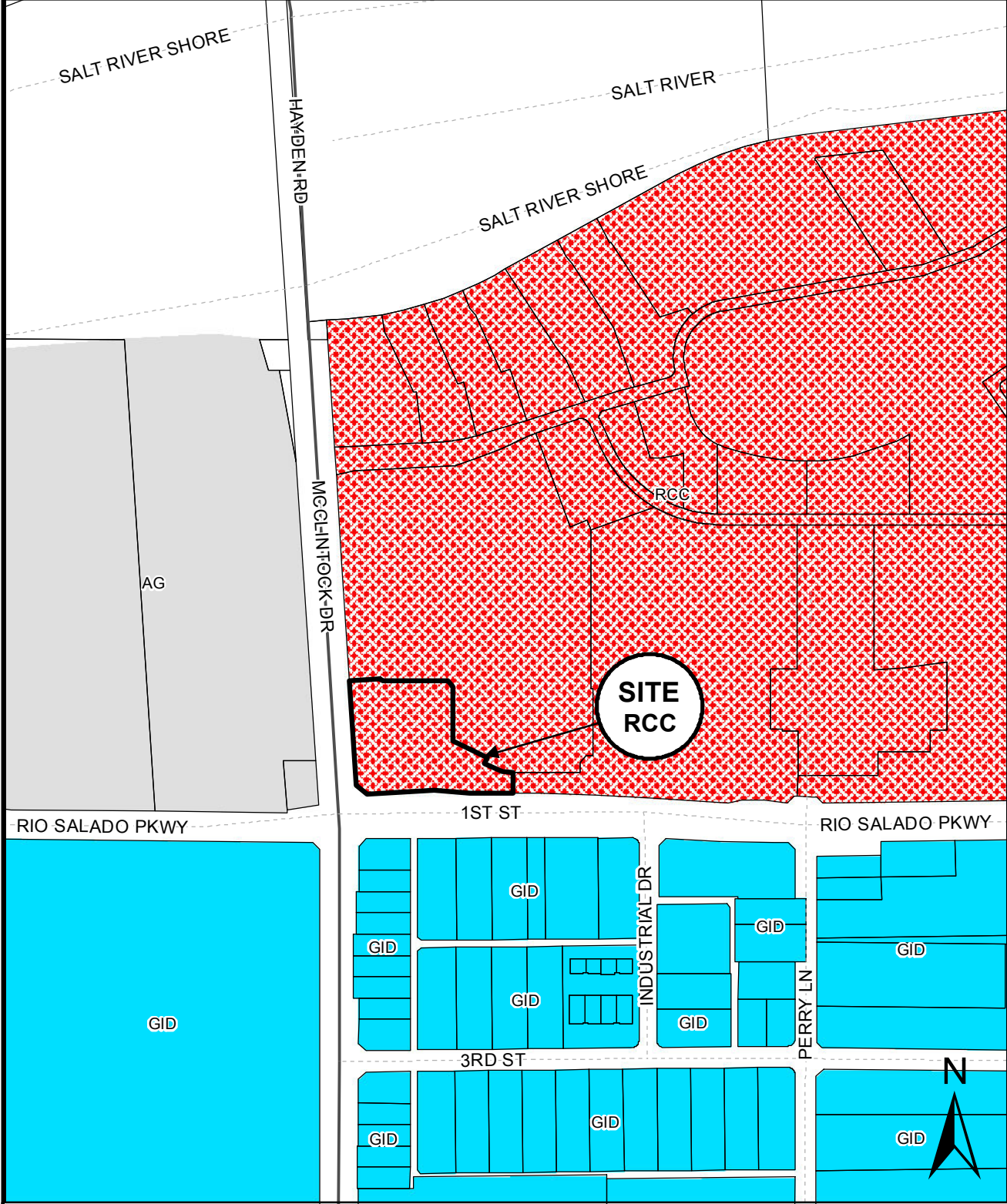


**DEVELOPMENT PROJECT FILE**  
for  
**PORTILLO'S RESTAURANT**

**ATTACHMENTS:**

1. Location Map
2. Aerial Photo
- 3-5. Letter of Explanation
6. Site Plan
- 7-8. Floor Plan
- 9-11. Elevations
- 12-14. Colored Elevations
15. Sections
16. Landscape Plan
17. Grading Plan

**PORTILLO'S RESTAURANT** **PL120042**



**Location Map**



**PORTILLO'S RESTAURANT (PL120042)**



## LETTER OF EXPLANATION

The Portillo Restaurant Group is the largest privately-owned restaurant company in the Midwest. Beginning in Illinois in 1963, Portillo's has expanded to Southern California in 2005 and to Indiana in 2006. Combined, the concepts have nearly 4,000 employees with a total of 47 restaurants, and a catering and shipping division and a shopping center. This was all accomplished without franchising or investors.

The proposed Portillo's Restaurant for Tempe will be located in the Tempe Marketplace Mall at the northeast corner of South McClintock Drive and East Rio Salado Parkway. The proposed structure is a single story pre-cast building, with a mezzanine. Area of the first floor will be 8,219 gross S.F. +/- and mezzanine level will be 1,539 S.F. +/- The building is located in the back corner of the existing Marketplace.

The building is situated parallel with McClintock Drive, facing it with its predominant façade and maximizing visibility of pedestrian areas. Our restaurant will include an outdoor seating area to the north for customers who wish to dine alfresco in nice weather, with an outdoor trellis for shading. We are placing sun-shading eaves over west facing glass to shield customers and employees from the hot sun and we are minimizing solar heat gain by using low-e insulated, tinted glass and interior shades. Insulated pre-cast walls further help with energy savings.

This building is a variation of a Portillo's design standard that combines multiple façades into one building composition. The front portion of the building has a retro-diner feature in stainless steel with black and red aluminum trim. The main entry of the building is on the north elevation of this. The center & rear sections of the building are a different yet complimentary style. The center section is made of pre-cast walls with a grey standing seam metal roof. The rear section of the building raises up to enclose the mezzanine storage area of the building and has a corner tower feature. Then the southern end of the building drops down again with brick walls and with the same metal standing seam shed roof enclosing cooler & utility areas of the building. The corner tower feature with it's precast walls and metal cornice faces the intersection and anchors the property. Here is where the main building signage is located and features Portillo's design standard signage.

The center & rear sections of the building use textures such as full & thin brick veneers with stone sills at the pedestrian level. The corner element starts with the same brick foundation, then continues up with smooth decorative pre-cast walls with multiple horizontal banding reveals, and finishes with an aluminum wrapped cornice. By breaking up the building with these textures and elements, and by varying parapet elevations, we are reducing its perceived height and massing to provide a more human scale. The use of a false brick window insets at the tower element and drive-thru side of the building add visual interest and rhythm to the elevations. All of the materials used here match and/or compliment materials used on adjacent buildings. This building is harmonious with the surrounding Tempe Marketplace architecture, yet stands out with it's own strong identity.



Colors chosen for the walls are rich earthy shades. Colors chosen for the brick and wall textures on the pre-cast panels are close in color to nearby buildings. Colors included three (3) full and thin brick veneer types Mission Copper, Inca Smooth and Mission Village. We have pre-cast wall colors of Bonfire, and Golden Gate. Additional trim colors include a deep grey blue, "Outerspace", used on the metal cornice trim and doors, and a greyish blue green, "Cloud Burst", used as a accent color. This color can be seen on the front trellis, the drive-thru side's false wood doors, and posts on the west sides sunshade. This color is also to be picked up in the background color of the corner tower signage. All of these colors were directly coordinated with the landlord's architect to be coordinate with the existing Tempe Marketplace architecture.

The property contains existing underground utilities including water, sanitary sewer, storm drain, gas and power that serve the Tempe Marketplace shopping center as well as the proposed development. Some existing improvements such as SRP power and fire hydrants will require relocation or abandonment as a result of the proposed site layout. The location of existing public utilities will also affect the site landscape improvements as trees will not be allowed within easement areas. Easements for public on-site utilities that require relocation will have to be modified. All proposed on-site utility improvements will be placed underground.

Pathways will be clear and well lit, and accessibility will be provided in conformance with the Americans with Disabilities Act (ADA). The project sited is located adjacent to an existing bus shelter located on the east side of McClintock Drive. A proposed concrete sidewalk connection approximately 25' north of the bus shelter provides convenient access and support of potential transit patronage.

Vehicular circulation is a critical component of Portillo's operations. Customers will be able to access the property from Rio Salado Parkway and McClintock Drive at existing driveway locations that are also shared with the Tempe Marketplace shopping center. Drive aisles and customer parking have been provided to the east of the proposed building. Careful consideration is given to the drive thru component of every Portillo's site design. This element is critical to the restaurant operations and provides customers with a high level of service that is a trademark throughout the Midwest.

Concrete sidewalks and crosswalks have been provided to accommodate pedestrian access from McClintock Drive and the Tempe Marketplace shopping center. The sidewalks are a minimum of 6' wide and are designed to route pedestrians through the parking areas to the outdoor dining area and main entrance to the restaurant located on the north side of the building. Contrasting materials at crosswalk locations provide a clear separation between pedestrian and bicycle traffic from vehicular traffic. Trees will provide shade for pedestrians walking on sidewalks located within landscaped areas. Bicycle parking will be provided near the main entry of the restaurant consistent with the City of Tempe Pedestrian and Bicycle Facility Guidelines and zoning ordinance.

The plans appropriately integrate crime prevention principals such as territoriality, natural surveillance, access control, activity support, and maintenance.





**Jensen & Jensen**

architects • engineers • planners

As a component of the Tempe Marketplace improvements, significant landscape improvements were completed along the Rio Salado Parkway and McClintock Drive street frontages including a monument feature on the northeast corner of the intersection. The proposed project will modify the existing landscape feature and will relocate plant material within the proposed development and frontage areas to the extent possible. Landscape areas have been designed throughout the Tempe Marketplace shopping center.

Lighting has been designed to be compatible with the proposed building and adjoining shopping center and does not create negative effects.

APP.	DATE	DESCRIPTION	NO.

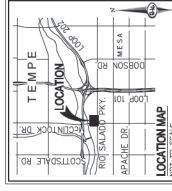
**PORTILLO'S RESTAURANT GROUP**  
**PORTILLO'S RESTAURANT - 65 S. MCCLINTOCK**  
**PRELIMINARY SITE PLAN**

TEMP, ARIZONA  
DATE: 11/05/2012  
DRAWN BY: BC  
CHECKED BY: DM  
PROJECT NO.: PRG1202.001

**SP-1**  
SHEET 1 OF 1

**PORTILLO'S DESIGN STANDARDS COMPARISON WITH APPROVED P.A.D. STANDARDS**

MARKETPLACE	RESTAURANT
MIN DRIVE WIDTH = 20'	MIN DRIVE WIDTH = 22'
STANDARD PARKING SPACE = 9' X 18' (10' LENGTH AT LANDSCAPE AREAS)	PROPOSED = 8.5' X 18' (10' LENGTH AT LANDSCAPE AREAS)
SIDEWALKS - MIN. 6' WIDE, 8' FOOT AT HEAD-IN	SIDEWALKS - MIN. 5' WIDE FOR ACCESS TO ADA ACCESSIBLE PARKING - 11' X 18' WITH 5' AISLE (10' LENGTH AT LANDSCAPE AREAS)
ADA ACCESSIBLE PARKING - 11' X 18' WITH 5' AISLE (10' LENGTH AT LANDSCAPE AREAS)	ADA ACCESSIBLE SPACES - 8.5' X 18' WITH 5' AISLE
* CONFORMS TO CITY OF TEMPE DEVELOPMENT CODE	
** CONFORMS TO AMERICAN DISABILITY ACT FOR ACCESS	



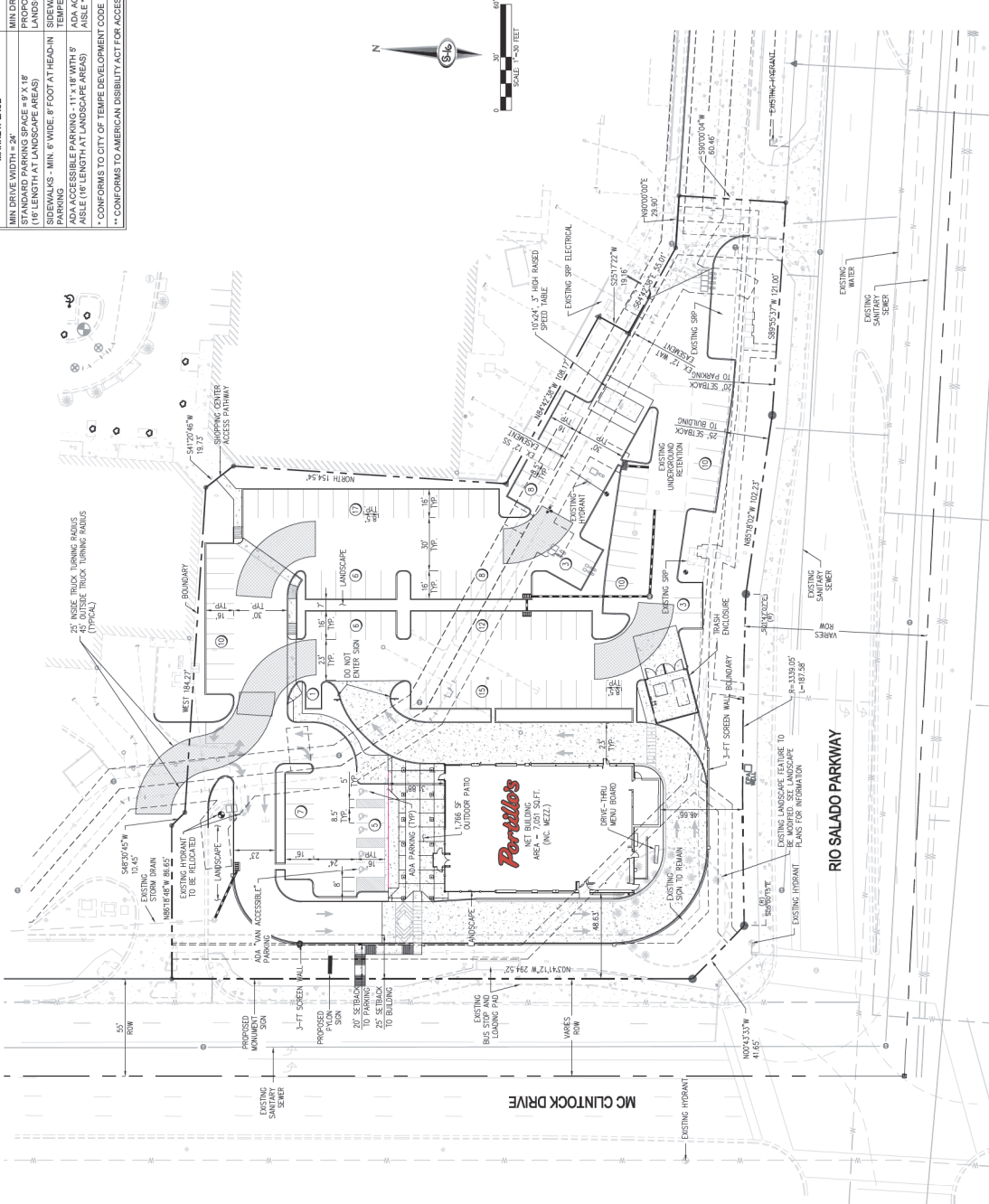
**OWNER/DEVELOPER**  
PORTILLO'S RESTAURANT GROUP  
2300 SPRING HAVEN, SUITE 3000  
PHOENIX, AZ 85028  
PH: 602-984-3773  
FAX: 602-984-3773  
CON: 602-984-3773

**CIVIL ENGINEER**  
SLATER HANIFAN GROUP  
1801 NORTH TATUM BLVD., SUITE 124  
PHOENIX, AZ 85028  
PH: 602-987-2664  
FAX: 602-987-2664  
CONTACT: PATRICK LORRY

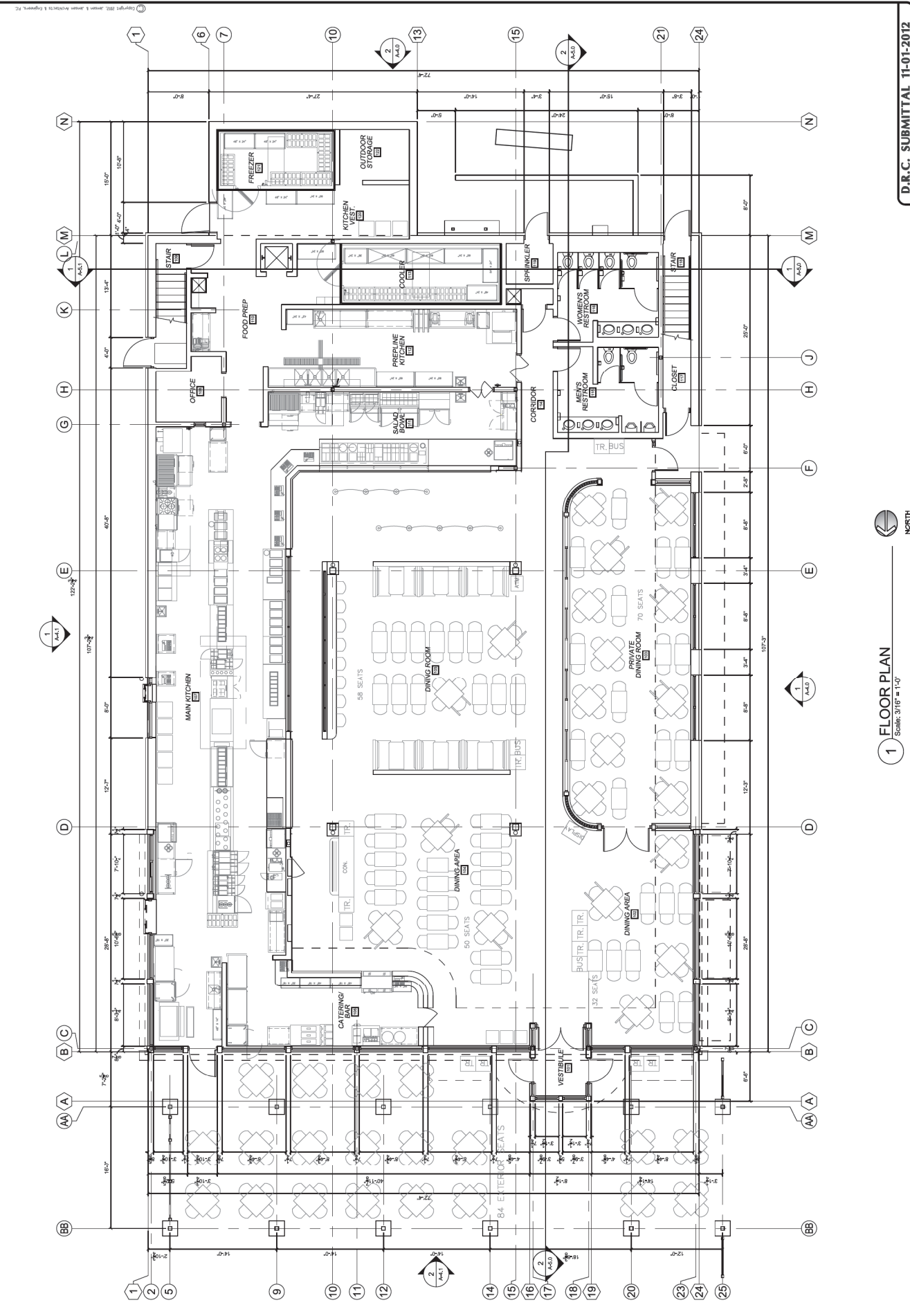
**LEGAL DESCRIPTION**  
USE THE LEGAL DESCRIPTION PROVIDED ACCORDING TO BOOK 869 OF MAPS, PAGE 20, RECORDS OF MARICOPA COUNTY, ARIZONA

**SITE DATA**

ADDRESS	65 SOUTH MC CLINTOCK DR
PROPOSED USE	RESTAURANT
NET AREA	2,410
GROSS AREA	2,410
LAND USE	VULNAT
PROJECTED DENSITY	N/A
EXISTING ZONING	PAD
PROPOSED ZONING	PAD
CITY DISTRICT	YES OR NO
GROSS BUILDING AREA	8,500 SQ FT
GROSS BUILDING FLOOR AREA	8,500 SQ FT
NET BUILDING AREA	7,050 SQ FT
OUTDOOR DINING AREA	1,786 SQ FT
LOT COVERAGE	8.3%
BUILDING HEIGHT	3'
STORIES	2
TYPE OF CONSTRUCTION	YES OR NO
ADAPTIVE LIFTING SYSTEM (ELEVATOR)	YES OR NO
RESIDENTIAL DENSITY	N/A
EMERGENCY	118
MOTOR VEHICLE REQUIRED	118
MOTOR VEHICLE PROVIDED	121
ADA ACCESSIBLE REQUIRED	5
ADA ACCESSIBLE PROVIDED	5
VAH ACCESSIBLE PROVIDED	16
BIKE ACCESSIBLE PROVIDED	16
LANDSCAPE AREA	13,967 SQ FT
INTERIOR (WITHIN SETBACK)	12,479 SQ FT
EXTERIOR (BOW TO SETBACK)	26,446 SQ FT
TOTAL	26,446 SQ FT

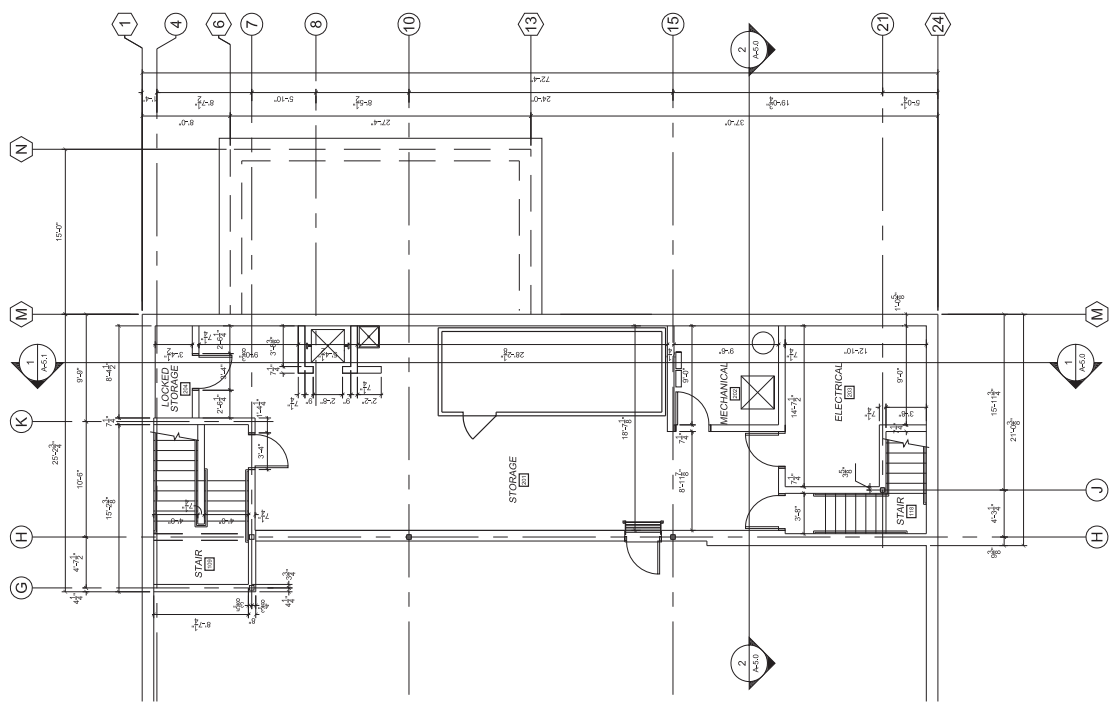


NO.	DATE	DESCRIPTION



**1 FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

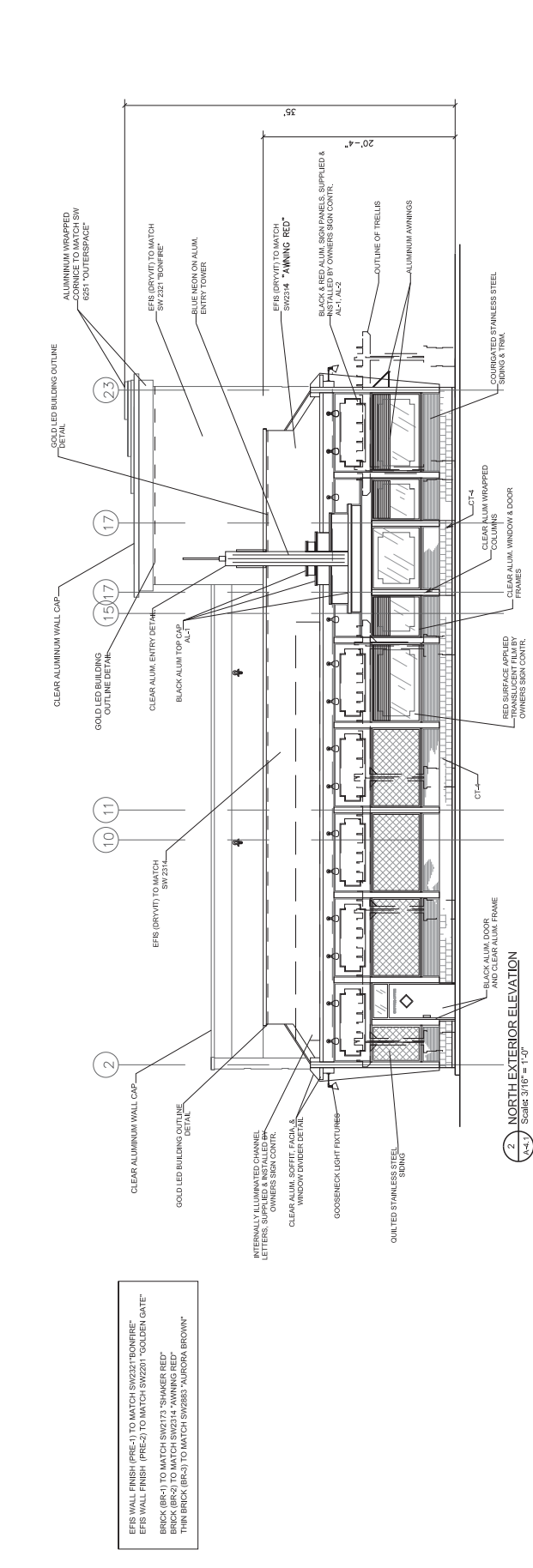
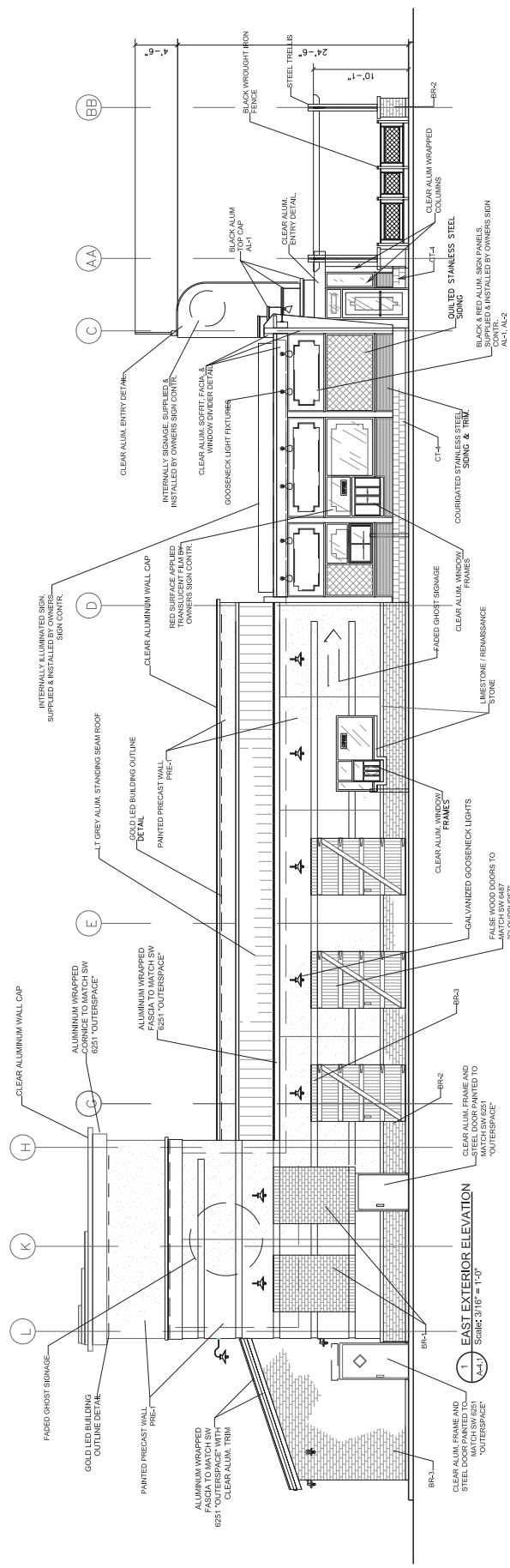
D.R.C. SUBMITTAL 11-01-2012



**1 MEZZANINE FLOOR PLAN**  
 Scale: 3/16" = 1'-0"  
 NORTH

**D.R.C. SUBMITAL 11-01-2012**

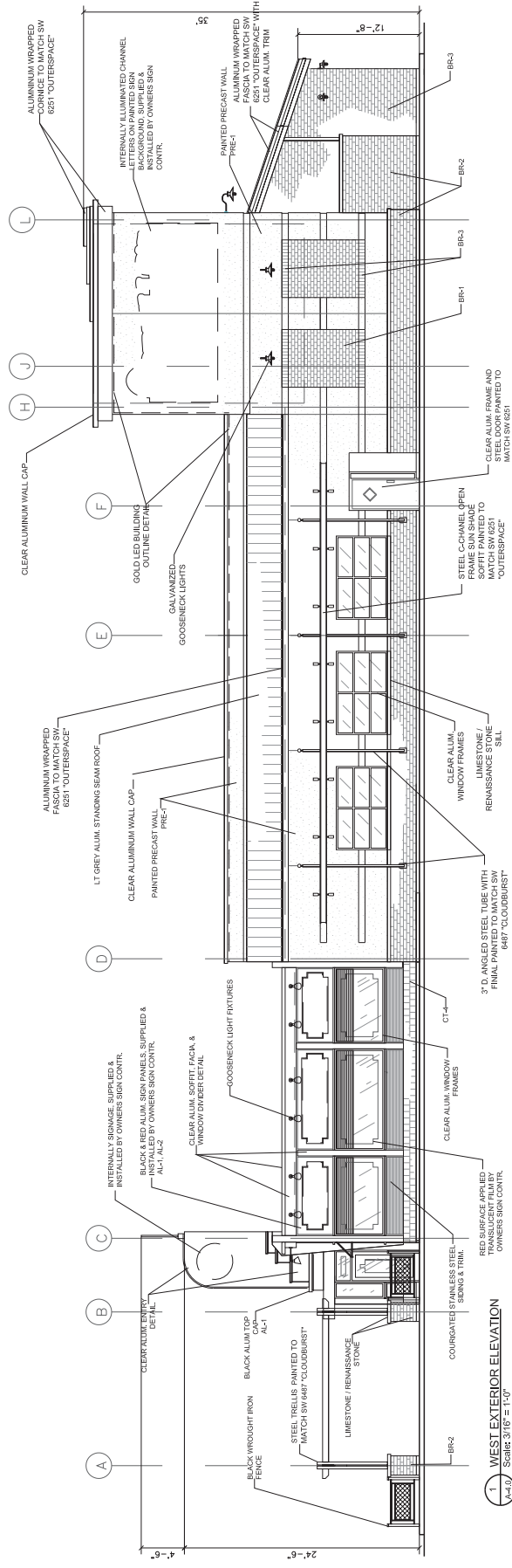
NO.	DATE	DESCRIPTION



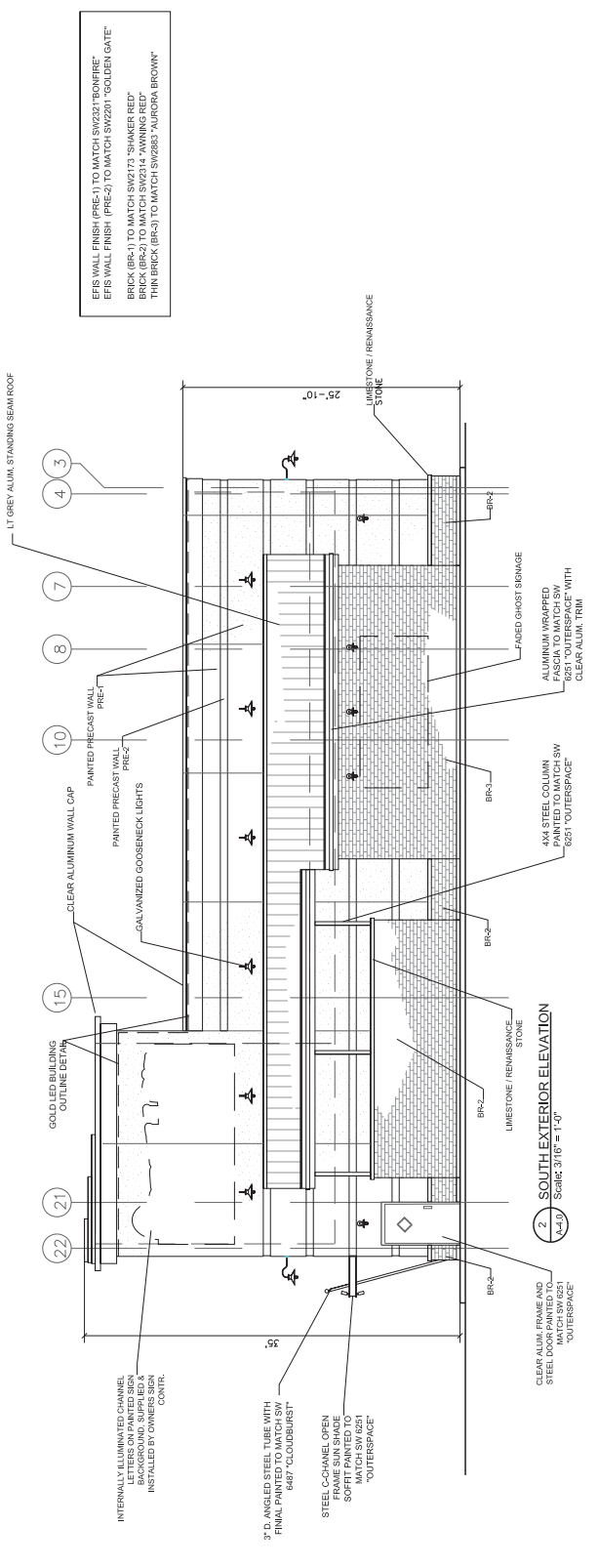
EFB WALL FINISH (PRE-1) TO MATCH SW2221 "BONFERE"  
 EFB WALL FINISH (PRE-2) TO MATCH SW2201 "GOLDEN GATE"  
 BRICK (BR-1) TO MATCH SW2174 "SHAKER RED"  
 BRICK (BR-2) TO MATCH SW2314 "AWNING RED"  
 THIN BRICK (BR-3) TO MATCH SW2283 "AURORA BROWN"

**D.R.C. SUBMITTAL 11-01-2012**

NO.	DATE	DESCRIPTION



**1 WEST EXTERIOR ELEVATION**  
 Scale: 3/16" = 1'-0"



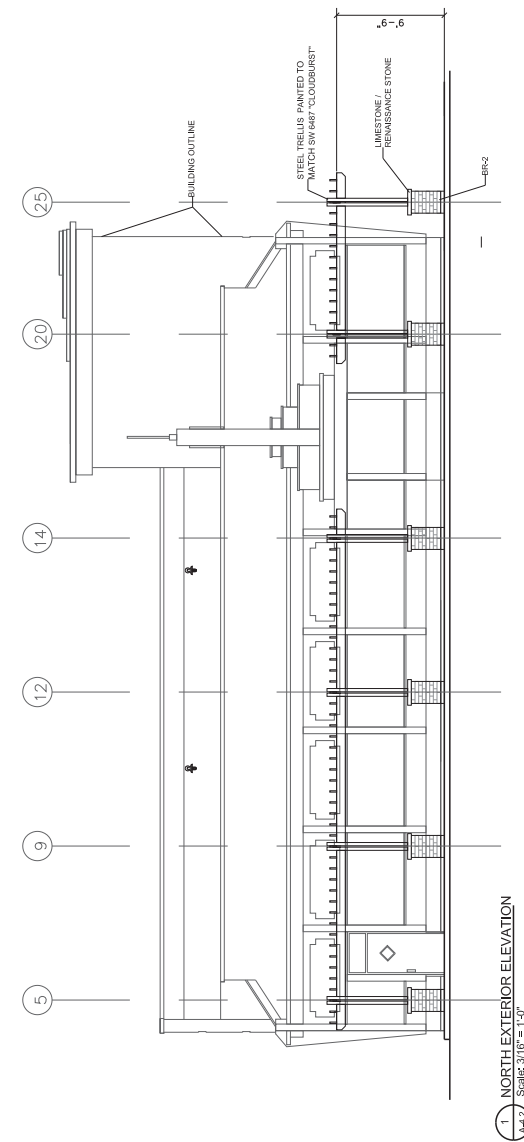
**2 SOUTH EXTERIOR ELEVATION**  
 Scale: 3/16" = 1'-0"

EPF WALL FINISH (BRK-1) TO MATCH SW2173 'SHAKER RED'  
 EPF WALL FINISH (BRK-2) TO MATCH SW2201 'GOLDEN GATE'  
 BRICK (BR-1) TO MATCH SW2173 'SHAKER RED'  
 BRICK (BR-2) TO MATCH SW2201 'GOLDEN GATE'  
 THIN BRICK (BR-3) TO MATCH SW2285 'NORFOLK BROWN'

**D.R.C. SUBMITTAL 11-01-2012**

NO.	DATE	DESCRIPTION

DATE PLOTTED	
DATE PRINTED	
DATE CHECKED	
DATE APPROVED	



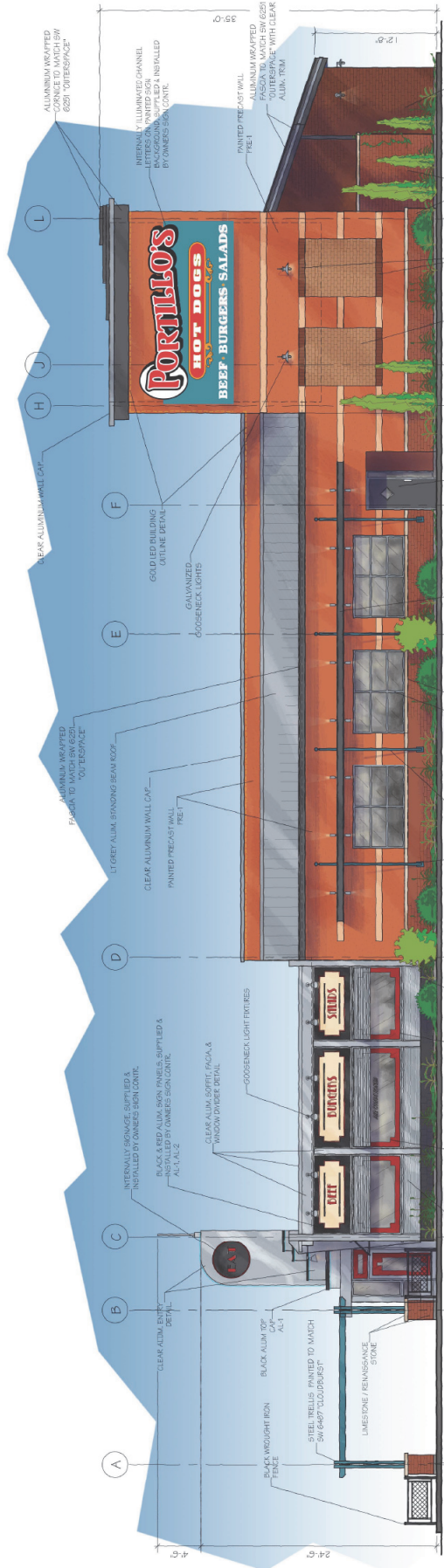
**1 NORTH EXTERIOR ELEVATION**  
 A-4.2 Scale: 3/16" = 1'-0"

EPS WALL FINISH (PRE-1) TO MATCH SW22175 'SHAKER'  
 EPS WALL FINISH (PRE-5) TO MATCH SW2687 'CLODBURST'  
 BRICK (BR-1) TO MATCH SW2173 'SHAKER RED'  
 BRICK (BR-2) TO MATCH SW2214 'XWING RED'  
 THIN BRICK (BR-3) TO MATCH SW2685 'AUSTRIA BROWN'

NO.	DATE	DESCRIPTION
10-8-12	10/8/12	CONCEPT CHANGE
10-9-12	10/9/12	CONCEPT CHANGE

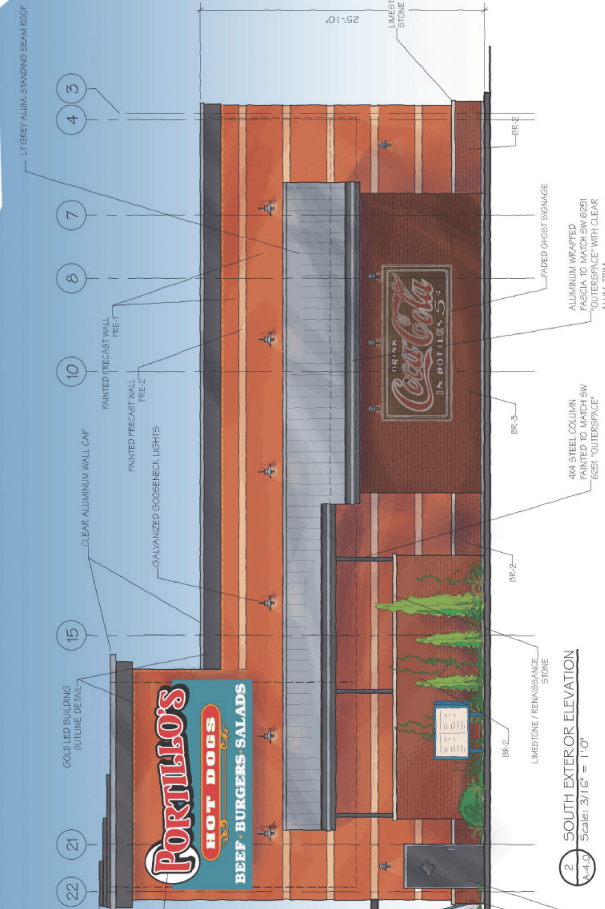
DATE	11/01/12
SCALE	3/16" = 1'-0"

PROJECT	A-4.0
DATE	11-01-2012



**1 WEST EXTERIOR ELEVATION**  
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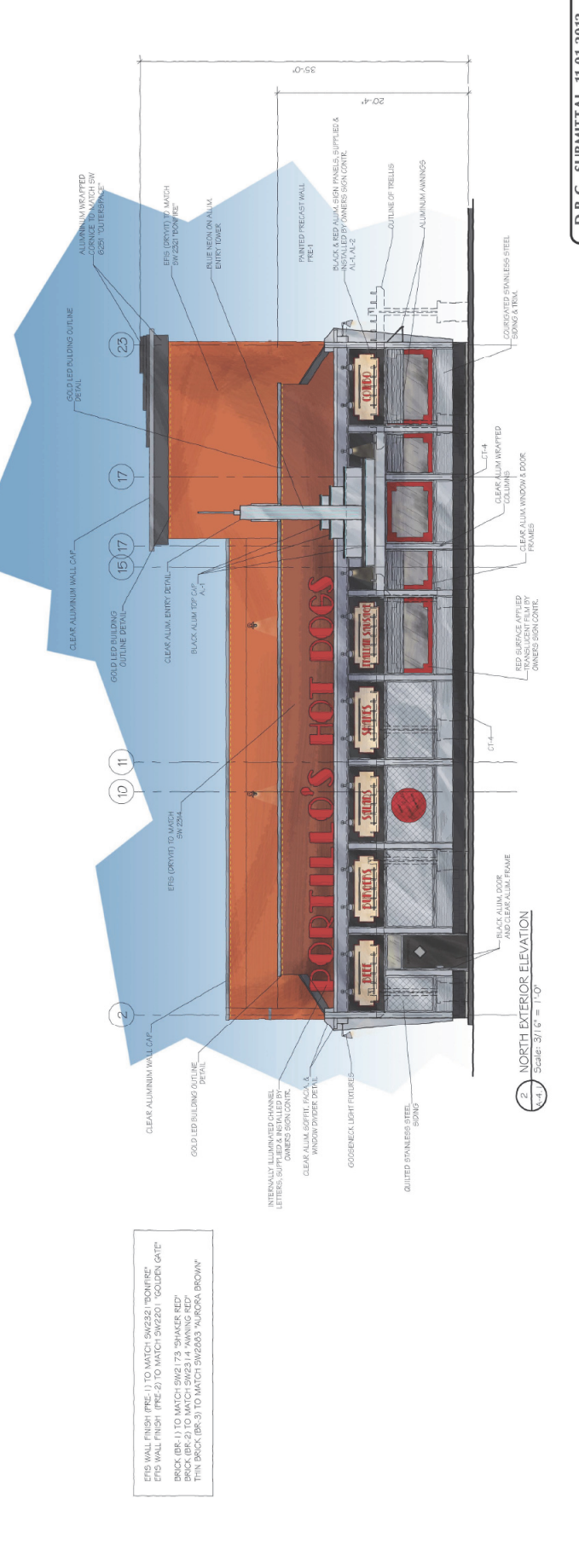
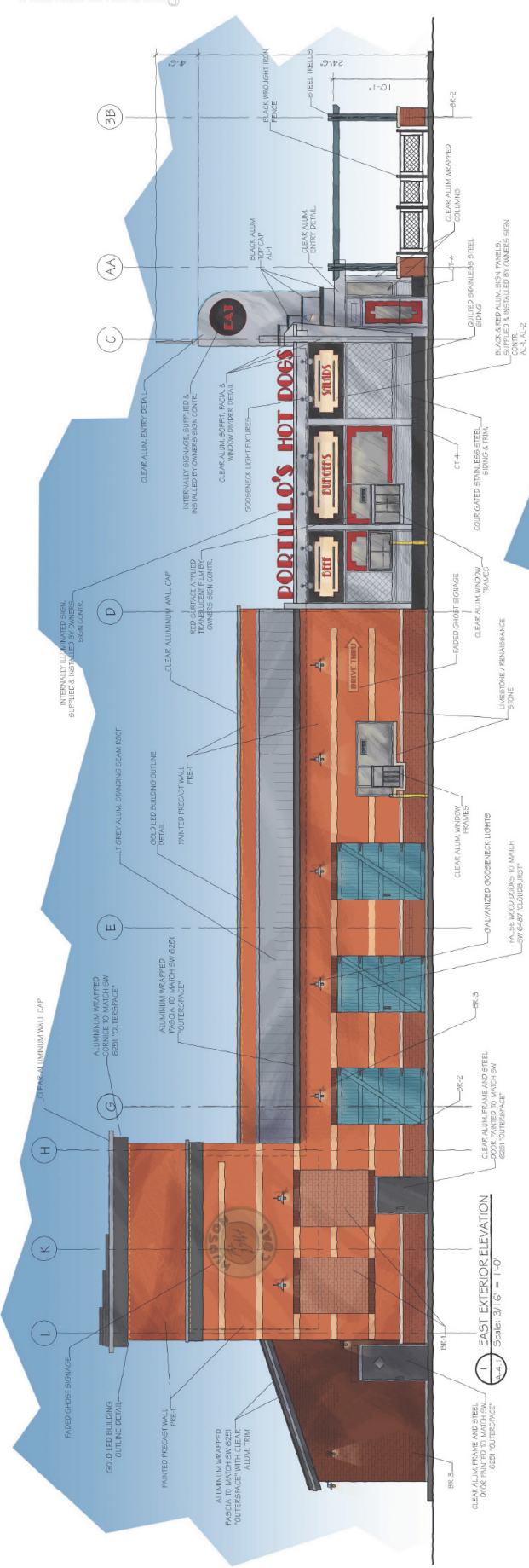
INTERIALLY ILLUMINATED CHANCE LETTERS ON PAINTED SIGN BACKGROUND, SUPPLIED & INSTALLED BY OWNERS SIGN CONTRACTOR.  
 2" O.D. ANGLED STEEL TUBE WITH FINALLY PAINTED TO MATCH SIGN.  
 3" O.D. ANGLED STEEL TUBE WITH FINALLY PAINTED TO MATCH SIGN.



**2 SOUTH EXTERIOR ELEVATION**  
 Scale: 3/16" = 1'-0"



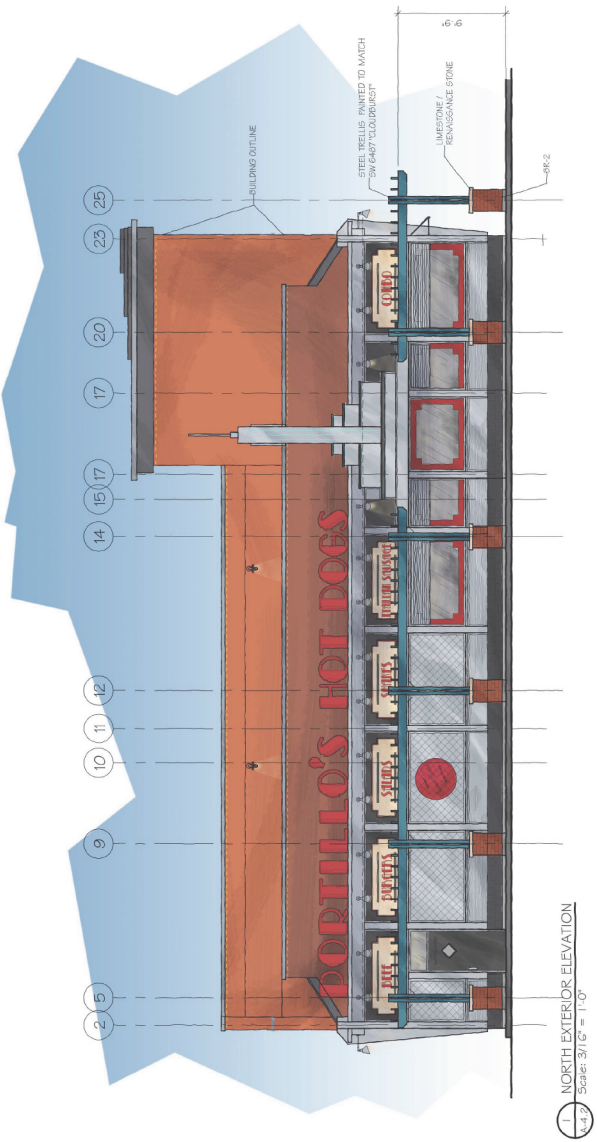
NO.	DATE	DESCRIPTION
10-12	10-12-12	CONCEPT CHANGE
10-13	10-12-12	CONCEPT CHANGE



EPS WALL FINISH (PRE-1) TO MATCH SW62351 'IRON FIRE'  
 EPS WALL FINISH (PRE-5) TO MATCH SW6201 'GOLDEN GATE'  
 BRICK (BR-1) TO MATCH SW2179 'SHAKER RED'  
 BRICK (BR-2) TO MATCH SW6203 'MUSGRA BROWN'  
 TRIM BRICK (BR-3) TO MATCH SW6203 'MUSGRA BROWN'

no.	date	description
10-12		CONCEPT CHANGE
10-13		CONCEPT CHANGE

DATE	BY	CHKD BY
10/10/12		



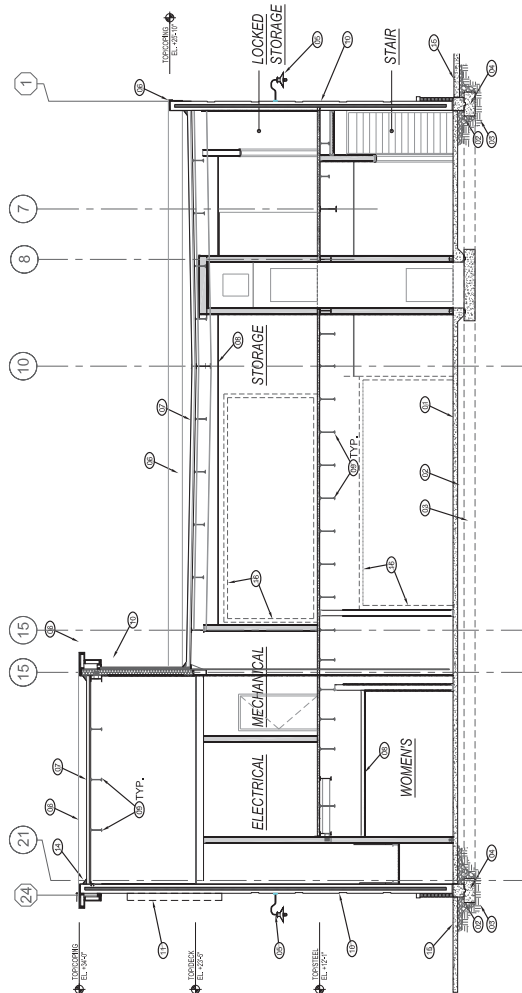
EFIS WALL FINISH (PRE-1) TO MATCH SW2321 'BONFIRE'  
 EFIS WALL FINISH (PRE-2) TO MATCH SW2201 'GOLDEN GATE'  
 BRICK (BK-1) TO MATCH SW2173 'SPARKER RED'  
 BRICK (BK-2) TO MATCH SW2314 'WAVING RED'  
 THIN BRICK (BK-3) TO MATCH SW2303 'AURORA BROWN'

NO.	DATE	DESCRIPTION

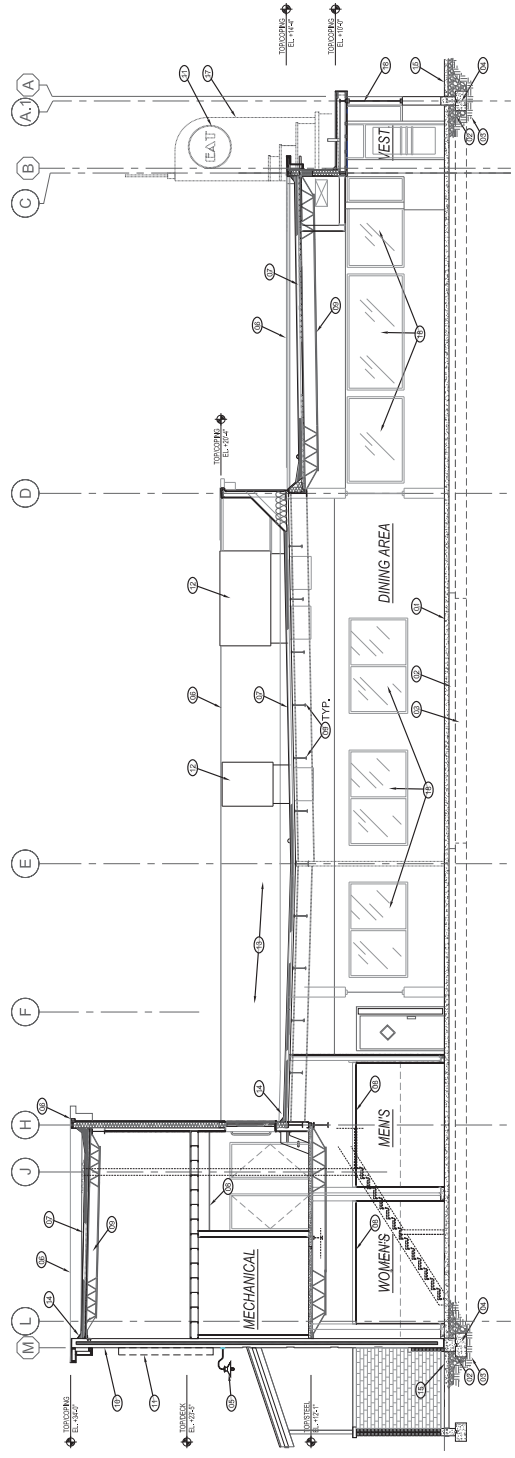
DATE PLOTTED	
DATE REVISED	
DATE PLANNED	

**KEYNOTES**

- 1) TYPICAL FLOOR SLAB CONSTRUCTION - SEE SHEET S-1.0; SEE SHEET F-2.0 FOR FLOOR FINISHES.
- 2) COMPACTED FILL MATERIAL.
- 3) UNDISTURBED SOIL.
- 4) FOUNDATION WALLS AND FOOTINGS - SEE STRUCTURAL DRAWINGS FOR SIZES AND REINFORCEMENT.
- 5) GROUND SLOPE - SEE ELEVATIONS.
- 6) GROUND LEVEL FINISHES - SEE ELECTRICAL DRAWINGS AND EXTERIOR ELEVATIONS.
- 7) TYPICAL PREFINISHED METAL COPING. SEE ELEVATIONS FOR COLOR.
- 8) TYPICAL ROOF CONSTRUCTION - SEE SHEET F-3.0.
- 9) FOR CEILING TYPE AND FINISH SEE SHEET F-2.0.
- 10) BRACED JOISTS - SEE STRUCTURAL DRAWINGS FOR SIZES.
- 11) 1" INSULATED CONC. PRE-CAST PANELS.
- 12) LIGHTS TO BE PROVIDED AND INSTALLED BY OWNER'S SIGN CONTRACTOR.
- 13) H.V.A.C. EQUIPMENT ON ROOF - REFER TO MECHANICAL DRAWINGS.
- 14) RAIN COOPING MEMBRANE FULLY ADHERED UP PARAPET WALLS.
- 15) CONTINUOUS GANT STRIP.
- 16) EXTERIOR PAVING - SEE CIVIL DRAWINGS FOR TYPE AND EXTENT.
- 17) COOLER/FREEZER PANELS.
- 18) ARCHITECTURAL FEATURE - PROVIDED AND INSTALLED BY OWNER'S SIGN CONTRACTOR.
- 19) SIGNAGE - SEE SIGN CONTRACTOR FOR SIZES, COLORS, CLEAR GLASS INSULATING GLASS UNIT SET IN ANODIZED ALUMINUM.
- 20) PFD "SOLARBLUE" SOLARBAN 60 (2) GLASS BELOW + STONEFRONT OR APPROVED EQUAL FINISH TO BE CLEAR ANODIZED ALUMINUM.



**2 BUILDING SECTION**  
 Scale: 3/16" = 1'-0"



**1 BUILDING SECTION**  
 Scale: 3/16" = 1'-0"



APP.	DATE	BY	DATE	DESCRIPTION	NO.

**PORTILLO'S RESTAURANT - 65 S. MCCLINTOCK**  
 PRELIMINARY GRADING AND DRAINAGE PLAN

PORTILLO'S RESTAURANT GROUP

DATE: 11/05/2012  
 DRAFTER: BC  
 DESIGNER: FL  
 CHECKED: DM  
 PROJECT NO. PRG1202.001



**GD-1**  
 SHEET 1 OF 1

- DRAINAGE NOTES**
- ① EXISTING UNDERGROUND RETENTION NETWORK B
  - ② 42" LF 12" DIA. U/S
  - ③ VALVE PROVIDED - 12"X24" CF
  - ④ EXISTING DRYWELL
  - ⑤ PROPOSED CATCH BASIN

