

**CITY OF TEMPE
DEVELOPMENT REVIEW COMMISSION**

**Meeting Date: 11/13/2012
Agenda Item: 4**

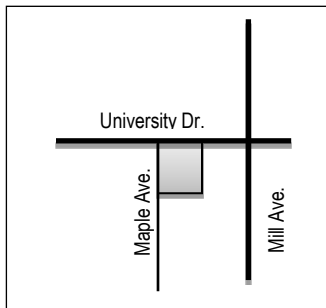
ACTION: Request for a Planned Area Development Overlay and Development Plan Review consisting of replacing the existing restaurant/drive-thru with a new 4,027 sf. restaurant/drive-thru building with 1,300 sf. of outdoor dining for CHICK-FIL-A (PL120217), located at 25 West University Drive. The applicant is Kerr Project Services Inc.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Staff recommends approval

BACKGROUND INFORMATION: CHICK-FIL-A (PL120217) The applicant held a neighborhood meeting on October 25, 2012. This request would demolish the existing Burger King building and construct a new restaurant drive-through. The request includes the following:

- PAD12013 Planned Area Development Overlay to modify development standards in the minimum required vehicle parking from 60 to 41 spaces; and in the required minimum street side parking setback from 20 to 7 feet.
- DPR12171 Development Plan Review including site plan, building elevations, and landscape plan



Property Owner	Chick-fil-A, Inc. (lessee)
Applicant	Deborah Kerr, Kerr Project
Current Zoning District	CC, City Center District
Site Area	0.63 acres
Total Building Area	4,027 sf.
Lot Coverage	14 % (No Standard)
Building Height	22'-6" (Max. 50')
Building Setbacks	10' north, 39' west, 138' south, and 25' east side
Landscape area	18% (No Standard)
Vehicle Parking	41 spaces (60 min. standard, 75 max.)

ATTACHMENTS: Development Project File

STAFF CONTACT: Ryan Levesque, Senior Planner (480-858-2393)

Department Director: Lisa Collins, Interim Community Development Director
 Legal review by: N/A
 Prepared by: Ryan Levesque, Senior Planner



COMMENTS:

This site is located at the southeast corner of University Drive and Maple Avenue, one block west of Mill Avenue. The site is located in the Maple-Ash Neighborhood directly south of the site. Immediately adjacent to east of the site is the CVS Pharmacy store.

This request includes the following:

1. Planned Area Development Overlay to modify development standards for minimum required vehicle parking and the minimum required street side parking setback.
2. Development Plan Review, demolishing the existing Burger King site for a new 4,027 sf. Chick-fil-A restaurant with 1,000 sf. of outdoor dining space.

PUBLIC INPUT

On October 25, 2012, the applicant held a neighborhood meeting at 6 p.m. at the Westside Multi-Generational Center. There were six (6) residents in attendance at the meeting, as well as City staff and four members of the project team. Design representatives were available to respond to resident questions or comments regarding the development, including discussion on vehicle access points, traffic, refuse service, treatment of south portion of the site (preferred visibility from the alley), landscape and building design. Refer to the neighborhood meeting summary in the attachments provided by the applicant. The meeting concluded at 7:30 p.m.

Request for Street Closures

Staff has received comments regarding recommendations from property owners within the area to consider street closures as either a part of the request or to review this topic for further consideration. Steve Tseffos, an owner/representative of multiple properties in the area, contacted staff and recommended closure or partial closure of Maple Avenue just beyond the public alley. This was the main issue discussed at the neighborhood meeting to Chick-fil-A representatives, which garnered support by other residents in attendance at the meeting. The discussion resulted recommendations from residents to consider a partial closure (restricting access into the neighborhood) at Maple Avenue and also 9th Street just beyond the alley. Resident comments focused on traffic generated from cut-through traffic and the proposed/future commercial intensification as a way to address protection of the existing residential neighborhood from further impacts. Staff advised the applicant and residents in attendance that the City would look into this request, through advisement of the City of Tempe Traffic Engineering Division.

Back in 2007, the City had conducted an analysis of the Maple-Ash and Mitchell Park Neighborhoods in addressing traffic calming scenarios. At the time, a road closure proposal was considered for Maple Avenue, including other closures, traffic circles, stop signs and chicanes. At the conclusion of the process, City Council directed staff to seek resident consensus on the concepts, but ultimately the adjacent property owners directly affected were not in support of the street closure concept. The conclusion of the process resulted in constructing traffic circles and chicanes that are in the neighborhood today. At this time, City staff does not recommend considering a partial street closure as a part of this request, unless further directed by City Council. The issue of partial street closures has a bigger impact than just a couple of streets and would require further analysis of the greater neighborhood and allocated CIP funding that is currently not available for such a project. If the Commission or Council feel traffic issues may be raised as a result of this development, staff would suggest conditioning the applicant to provide a traffic analysis on the amount of "cut-through" traffic that may be generated from this development. The City Traffic Engineer and staff could then provide further review and feedback on any warranted measures.

PROJECT ANALYSIS

Maple Ash Character Study Review

In 2009, the City of Tempe conducted an outreach project in the Maple Ash Neighborhood for the purpose of working with property owners to identify characteristics of the area that should be considered in future development. Noted below are the priority areas consistently identified as important to neighborhood stakeholders and is intended to ensure that new development addresses these priority areas.

General Guidelines to consider:

Land Use - Developments to comply with allowed uses per Part 3 of the Zoning and Development Code for the underlying or proposed zoning district. *Restaurants are a permitted use in the CC, City Center District. The drive-through is allowed because of the current legal non-conforming allowance of the current drive-through for Burger King. The redevelopment of the site would not invalidate such use.*

Building Design and Placement - Development to be designed to consider character of area; Consider placement of buildings from sidewalk based on surrounding streetscape; Address elements that appeal to the pedestrian level. *The existing commercial building is less compatible with the character of the area than the proposed development. The new development provides a greater buffer from the residential properties to the south. The development has direct access along University Drive for pedestrians and bicyclists, and an enhanced outdoor dining experience with architectural shading and nearby trees. Elements of the existing sidewalk along University Drive will be maintained as well as Maple Avenue, consisting of original "WPA" stamps in preserved sidewalk areas, to remain by condition.*

Access and Circulation - Pedestrian linkages are important; Consider designing sidewalks and pedestrian paths in context with existing or surrounding pathways; Consider utilization of alleys in projects. *The project site will have a direct sidewalk connection at both Maple Avenue and University Drive. The project will also provide access through the public alley, primarily for refuse vehicle circulation from other commercial sites. Based a prior decision with the CVS Pharmacy site, a portion of the western public alley connection will be closed to vehicle traffic.*

Landscape - Consider existing landscape character of area in design of projects; If not utilizing flood irrigation; consider designing projects with a dense landscape plan with a variety of low water use desert tolerant plants. *This site is currently not utilizing flood irrigation. This project will salvage mature trees, as determined by an arborist, consisting of existing palm trees along Maple Avenue and a couple of the eucalyptus trees adjacent to the alley. Other areas of the project will be required to provide low-water use plants.*

Lighting - Lighting is important for security; Consider designing lights to provide ample illumination for security but also maintain character of single family residential; Consider the design of lighting plans which utilize fixtures that limit the emission of light pollution from one property to another property. *This project is required to conform to commercial standard lighting requirements. Additional measures will be included to ensure light trespass is limited through use of light shields in the parking area.*

PLANNED AREA DEVELOPMENT

The applicant is requesting a Planned Area Development Overlay to modify two specific development standards, reducing the minimum required vehicle parking and the minimum parking setback from the street side.

The request for vehicle parking proposes to reduce the minimum required vehicle parking from 60 to 41 spaces. Currently the site has approximately 34 parking spaces for the Burger King site. In 2010, a use permit request was granted to allow commercial parking on the site, which was justified by the lack of demand from customer use. The new Chick-fil-A development, although larger in size, will have 8 additional spaces (41 total), accounting for a 17% increase in parking. In addition, the Chick-fil-A restaurant will maintain the use of a drive-through window which reduces the demand for parking. Staff is in support of the parking reduction as proposed.

The request proposes to reduce the minimum required street side parking setback from 20' to 7'. If the parking setback was accommodated, the vehicle parking would be further reduced, providing only 35 parking spaces (a loss of 6 additional spaces). As proposed, the area will provide a typical parking island dimension on site. Parking setbacks are measured from the property line. The total landscape measurement from the street sidewalk varies from the driveway apron, but is predominantly greater than 20 feet.

Section 6-305 D. Approval criteria for P.A.D.:

1. The development standards listed above, as established as part of the PAD Overlay District, will be in conformance with the development of this site. These standards will provide an enhance site design that minimize the amount of parking demand while accommodating a dense landscape environment.

2. The conditions are reasonable to ensure conformance with the provisions of the Zoning and Development Code.

DEVELOPMENT PLAN REVIEW

The project site proposes a development that fronts University Drive and has direct pedestrian access along the University street frontage. Parking for the site is all accessed off of two driveways on Maple Avenue, while the building entrance is located on the north side of the building. The site will maintain use of the drive-through, providing similar circulation access along the east exit, but eliminate one of the current driveways provided on University.

The building design is a new concept to the Chick-fil-A brand, providing a more contemporary look with an urban presence. Only one other project in Arizona has this concept approved, but without the outdoor dining and dense landscape. The project layout will provide a suitable buffer to the downtown environment which encourages walkability while providing adequate buffering from the residential to the south.

Section 6-306 D Approval criteria for Development Plan Review:

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape;
2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort;
3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;
4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;
5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;
6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;
7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;
8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;
9. Plans appropriately integrate *Crime Prevention Through Environmental Design* principles such as territoriality, natural surveillance, access control, activity support, and *maintenance*;
10. *Landscape* accents and provides delineation from *parking, buildings, driveways and pathways*;
11. *Signs* have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the *building* or site on which they are located; and
12. Lighting is compatible with the proposed *building(s)* and adjoining *buildings* and uses, and does not create negative effects.

Conclusion

Based on the information provided and the above analysis, staff recommends approval of the requested Planned Area Development Overlay and Development Plan Review. This request meets the required criteria and will conform to the proposed conditions.

REASONS FOR APPROVAL:

1. The project meets the General Plan goals and objectives.
2. The project will meet objectives identified within the Maple-Ash Character Study as an outer lying contributor.
3. The project will conform to other development standards required under the Zoning and Development Code.
4. The PAD overlay process was specifically created to allow for greater flexibility and unique designs.
5. The proposed project meets the approval criteria for a Planned Area Development Overlay and Development Plan Review.

PAD12013

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. A building permit application shall be made on or before January 10, 2015, or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than February 9, 2013, or the Planned Area Development Overlay approval shall be null and void.
3. The Planned Area Development Overlay shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department prior to issuance of building permits.

DPR12171

CONDITIONS OF APPROVAL:

4. If multiple properties exist on the site, a Subdivision Plat process is required and shall be recorded prior to issuance of building permits.
5. An Encroachment Permit must be obtained from the Engineering Department, consisting of proposed patio and freestanding sign, prior to submittal of construction documents for building permit. The limitations of this encroachment may include requirements described by the encroachment permit agreement.

Site Plan

6. Maintain 8'-0" wide public sidewalk along University Drive and a minimum 6'-0" sidewalk along Maple Avenue, or as required by Traffic Engineering Design Criteria and Standard Details.
7. Preserve existing historic WPA stamped concrete with brick trim in sidewalk areas or in an alternate sidewalk location not in conflict with the driveways. Identify locations on construction plans.
8. Provide a sign facing the drive-through exit, that shall read, "right turn only".
9. Align ADA accessible aisle as close as possible to the pedestrian pathway leading to the building entrance.

10. Provide a typical maximum 16'-0" vehicle parking stall length, including ADA parking spaces, with an additional 2'-0" for vehicle overhang into either the pathway or for additional landscape area where a walkway does not exist.
11. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls.
12. Provide upgraded paving at each driveway consisting of unit paving or decorative concrete. Extend this paving in the driveway to the edge parking stalls and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
13. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
14. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

15. Public Restroom Security:
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by automatic sensors, key or remote control mechanism
 - b. Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

Building Elevations

16. The materials and colors are approved as presented:
 - Stucco #1 – SW7541 – "Grecian Ivory"
 - Stucco #2 – SW7549 – "Studio Taupe"
 - Stucco #3 – SW7664 – "Steely Gray"
 - Aluminum Storefront – Dark Bronze Anodized Plus
 - Steel Panel – Custom Fabricator – SW7020 "Black Fox"
 - Terracotta Cladding – SW7549 – "Studio Taupe"
 - Fabric Awning – Jet blackProvide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. Additions or modifications may be submitted for review during building plan check process.
17. The patio walls facing Maple Avenue and University Drive shall be modified, providing open surveillance from the street, utilizing a similar design from other metal railings along the patio or a modified wrought iron fence.
18. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
19. Conceal roof drainage system within the interior of the building.
20. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
21. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.

22. Upper/lower divided glazing panels in exterior windows at grade level, where lower glass panes are part of a divided pane glass curtain-wall system, shall be permitted only if laminated glazing at these locations is provided.

Lighting

23. The southernmost parking row shall provide house side shields to further restrict light spillover to the residential neighborhood.
24. All parking lot lighting and building entrance lighting shall be lit from dusk to dawn, to assist with visual surveillance at these locations, and activated by automatic photo cell.

Landscape

25. The plant palette is approved as proposed and specified on the landscape plan, unless otherwise conditioned. Any additions or modifications may be submitted for review during the building plan check process.
26. Three (3) existing palm trees along Maple Avenue, north of the parking area, may be counted towards the minimum required street trees. Provide at least one canopy variety tree between the preserved palm trees. All other parking islands to provide a standard canopy tree in lieu of a palm.
27. Irrigation notes:
 - a. Provide dedicated landscape water meter.
 - b. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - c. Locate valve controller in a vandal resistant housing.
 - d. Hardwire power source to controller (a receptacle connection is not allowed).
 - e. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - f. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project. Provide temporary irrigation to existing landscape for period of time that irrigation system is out of repair. Design irrigation so existing trees are irrigated as part of the reconfigured system at the conclusion of this construction.
28. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
29. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
30. Trees shall be planted a minimum of 12'-0" from any existing or proposed public water or sewer lines located on-site. Trees near the main water or sewer lines located within the right of way shall be planted at least 20'-0" away. Final approval subject to determination by the Public Works, Water Utilities Division.
31. The tree planting separation requirements may be reduced from the waterline upon the installation of a linear root barrier, a minimum of 6'-0" parallel from the waterline, or around the tree. The root barrier shall be a continuous material, a minimum of 0.08" thick, installed 0'-2" above finish grade to a depth of 8'-0" below grade. Final approval subject to determination by the Public Works, Water Utilities Division.

Signage

32. Provide address sign on the north and south building elevation.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.

- 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
- b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- Parking screen walls required along parking spaces facing a public street. Locate screen beyond the 7 foot required landscape island.
- Sidewalks adjacent to parking spaces are required to provide a minimum 6 foot wide sidewalk to accommodate vehicle overhangs.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: www.tempe.gov/index.aspx?page=2147 or purchase book from the Public Works Engineering Division.
 - Access to refuse enclosure details and all other Building Safety forms at this link: www.tempe.gov/index.aspx?page=1033. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line.
- **WATER CONSERVATION:** Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.
- **SIDEWALKS:** Incorporate brick sidewalks along University Drive for all off-site pedestrian paving. Follow City of Tempe Public Works Department Detail T-353, when designing all sidewalk areas in the Right-of-Way. Alternative paver materials may be considered subject to review, and approval, by the Engineering and Planning Departments. These materials shall be compatible with the Americans with Disabilities Act, ADA, and the Building Code.
- **FIRE:**

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- ENGINEERING:
 - Underground all adjacent site utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.
- REFUSE:
 - Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- DRIVEWAYS:
 - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801 . Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- PARKING SPACES:
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578 or an alternate detail reviewed by staff. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- LIGHTING:
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- LANDSCAPE:

- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and “protected” trees and other plants on site. Move, preserve in place, or demolish native or “protected” trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm . Follow the link to “applications to move a native plant” to “notice of intent to clear land”.
- SIGNS: Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

March 15, 1989	Design Review Board approved the request for building elevations, site plan and landscape by TACO CABANA, located at 25 West University Drive in the CCD, Central Commercial District.
July 13, 1989	City Council approved the site plan for TACO CABANA, located at 25 West University Drive in the CCD, Central Commercial District.
April 21, 1993	Design Review Board approved site plan modifications and a drive-through for BURGER KING, located at 25 West University Drive.
March 2, 2010	Hearing Officer approved a Use Permit for BURGER KING to allow commercial parking (16 spaces) in conjunction with the existing restaurant, located at 25 West University Drive.
October 25, 2012	Applicant held a neighborhood meeting for this request, at the Westside Multi-Generational Center at 6 p.m.
November 13, 2012	Scheduled public hearing with the Development Review Commission for this request.
December 13, 2012	Proposed introduction and first public hearing with the City Council for this request.
January 10, 2013	Proposed second and final public hearing with the City Council for this request.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-305, Planned Area Development (PAD) Overlay districts
 Section 6-306, Development Plan Review



DEVELOPMENT PROJECT FILE

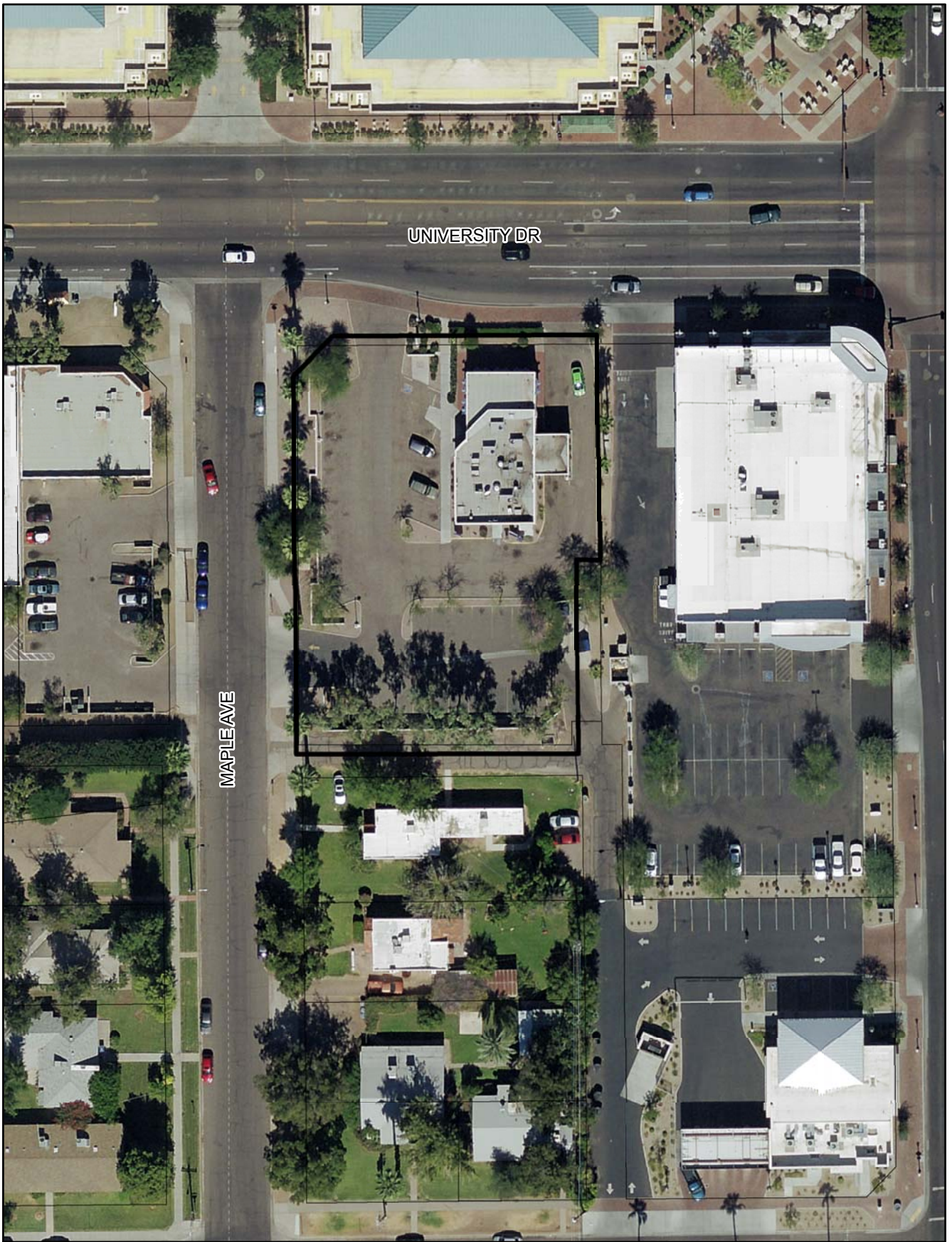
for
CHICK-FIL-A

ATTACHMENTS:

- 1-3. Waiver of Rights and Remedies form
- 4. Location Map
- 5. Aerial Photo
- 6-20. Site Photos
- 21-29. Letter of Explanation/Justification
- 30-32. Neighborhood Meeting and Public Input Summary
- 33. PAD for Chick-fil-A
- 34-35. Site Plan
- 36-37. Floor Plans
- 38-43. Building Elevations
- 44. Building Sections
- 45-47. Landscape Plan
- 48. Preliminary Grading and Drainage
- 49. Public Comments



Location Map



CHICK-FIL-A (PL120217)

ATTACHMENT 2

WHEN RECORDED RETURN TO:
City of Tempe
Community Development Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by CHICK-FIL-A, Inc. a Georgia corporation and BP Properties, LLC, an Arizona limited liability company (Owner/s).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. **PL120217** to the City requesting that the City approve the following:

- GENERAL PLAN AMENDMENT
- ZONING MAP AMENDMENT
- PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- USE PERMIT
- VARIANCE
- DEVELOPMENT PLAN REVIEW
- SUBDIVISION PLAT/CONDOMINIUM PLAT
- OTHER _____

(Identify Action Requested))

for development of the following real property (Property):

Parcel No. : 132-42-030A

Address: 25 West University Drive, Tempe, Arizona 85281.

By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist as a result of the City's approval of the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owner warrants and represents that Owner is the fee title owner of the Property, and that no other person has an ownership interest in the Property.

Dated this _____ day of _____, 2012.

OWNER: CHICK-FIL-A, INC. (tenant lessee)

By Its Duly

Authorized Signatory: _____
(Printed Name)

(Signed Name)

Its: _____
(Title, if applicable)

State of _____)
) ss.
County of _____)

This instrument was acknowledged before me this _____ day of _____,
20_____ by _____.

Notary Public
My Commission Expires:

(Signature of Notary)

OWNER: **BP Properties, LLC (landlord)**

By Its Duly

Authorized Signatory: _____

(Printed Name)

(Signed Name)

Its: _____

(Title, if applicable)

State of _____)
) ss.

County of _____)

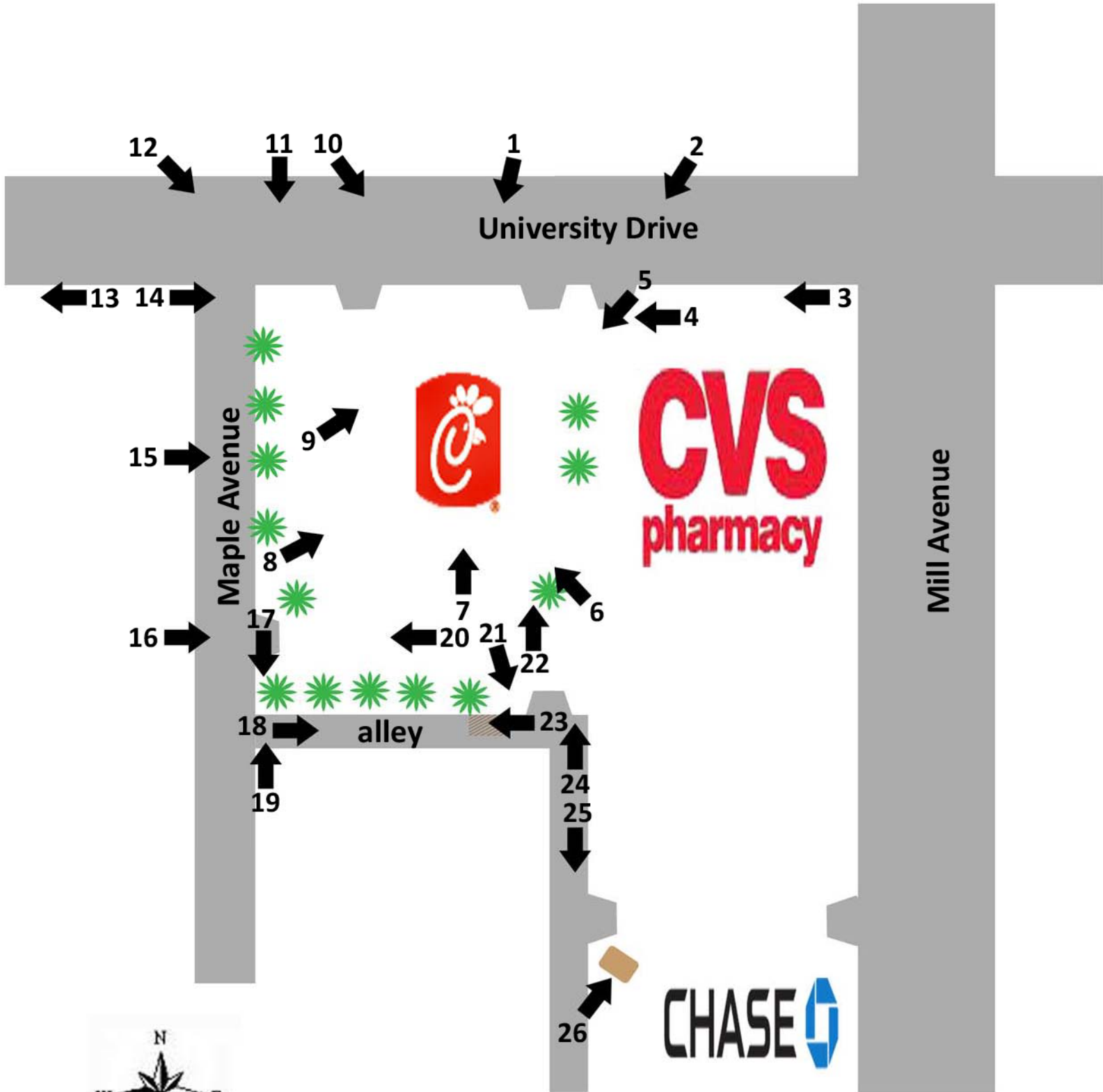
This instrument was acknowledged before me this _____ day of _____,
20_____ by _____.

Notary Public

My Commission Expires:

(Signature of Notary)

Chick-fil-A
25 W. University Drive
Tempe, AZ 85281





1



2

ATTACHMENT 7



3



4



5



6

ATTACHMENT 9



7



8



9



10

ATTACHMENT 11



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12

ATTACHMENT 12



13



14

ATTACHMENT 13



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ATTACHMENT 14



17



18



19



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21



22



23



24



25



26 - Chase Trash Enclosure
ATTACHMENT 19



Gate Valve in alley behind Burger King



Gate Valve in alley behind Burger King

Letter of Explanation
Proposed Chick-fil-A
25 West University Dr.

Project Description

Chick-fil-A is proposing to demolish the existing Burger King located at the above location, while retaining the existing, legal, nonconforming drive thru use, and constructing a new, 4,027 sq.ft Chick-fil-A restaurant, with drive thru service, interior and patio seating, and a walk up service window.

As depicted in the attached renderings, a high quality, modern architectural design is proposed that will complement the various design styles of the neighborhood. The building design incorporates the new Chick-fil-A “heritage theme”, a new design direction that adopts a contemporary building style with materials and colors that reflect the 50+ year history of the company.

In order to provide a pedestrian friendly presence, the building has been oriented parallel to University Dr. along the street frontage. Ample patio seating is provided along the street frontages to further enhance the pedestrian presence.

41 parking spaces are provided as well as racks for bicycle parking (24 spaces).

In response to the various forms of transportation used in the university area, the proposed design offers a convenient dining option for customers who will walk, bike, drive, or use public transportation.

Operations

Chick-fil-A is a 'quick service' restaurant with drive thru service, specializing in chicken sandwiches, nuggets and tenders, salads and other assorted side dishes and soft drinks. This project will have indoor and patio seating. Alcohol is not served.

Every Chick-fil-A location is run by an "owner/operator" whose sole job is to run and operate that location's business.

Store Hours:

Monday thru Wednesday: 6 a.m. to 10 p.m.

Thursday, Friday, & Saturday: 6 a.m. to 2 a.m.

Sunday: Closed

Employees: Approximately 15 employees per shift

LEED and sustainability aspects of construction and operations

- Energy Management Controls for efficient HVAC and Lighting
- Energy Star Rated Equipment
- Single ply roof membrane that exceeds LEED solar reflectivity requirements (87.5% initial reflectivity, 95% emittance).
- LED lighting in building signage
- Low-E glass storefront systems
- Drought tolerant landscaping and water efficient irrigation
- Recycling practices during demolition, construction, and on going during operations.

Conformance with Development Standards Criteria

1. The placement of buildings reinforces and provides variety in the street wall, maximizes natural surveillance and visibility of pedestrian areas (building entrances, pathways, parking areas, etc.), enhances the character of the surrounding area, facilitates pedestrian access and circulation and mitigates heat gain and retention through:

- a. Shade for energy conservation and comfort as an integral part of the design;

The patio area is covered by a metal trellis that will provide shade for dining customers' comfort while still allowing natural light to infiltrate the space. Awnings are provided over windows for shading while also serving as decorative accents.

- b. Materials shall be of superior quality and compatible with the surroundings;

A high quality building design with a variety of building materials, colors, and articulation is proposed that is complementary with the surrounding development.

- c. Building and landscape elements have proper scale with the site and the surroundings;

A 4,027 sq.ft, single story building is proposed which is of an appropriate scale for a 0.63 acre site. 10% of the parking area is required to be landscaped; the landscape plan proposes 18%. Perimeter landscaping in place that is in good condition will be maintained when possible. A quality planting palette with materials appropriate for the climate and surrounding area is proposed. The focus areas include the perimeter of the patio, the base of the building, and abundant shading in the parking area.

- d. Large building masses are divided into smaller components that create a human scale as viewed from the sidewalk;

The building massing is broken up by the use of articulated planes, windows, decorative awnings, especially on the North and West elevations, fronting University Dr. and Maple Ave., to create a pedestrian friendly,

human scaled view from the sidewalks. Patio seating along both frontages further enhances pedestrian experience. A walk up window is provided for direct customer service to pedestrians.

- e. Buildings have a clear base and top, as identified by ground floor elements, roof forms, and detailing;

Not applicable (single story building)

- f. Building facades have architectural detail and contain windows at the ground level to create visual interest and to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility;

Prominent entries, windows accented by awnings, and architectural details maximize visual interest. A low wall is proposed around the patio area to define the space yet allow visibility and surveillance from the streets. The block wall at the south end of the property will be retrofitted with combination of a low wall (salvage existing footings to help preserve existing trees) of brick topped with wrought iron fencing to provide better visibility of the back of the building and the parking area.

- g. Special treatment of doors, windows, doorways, and walkways (proportionality, scale, materials, rhythm, etc...) contributes to attractive public spaces;

An expansive patio area is proposed along both the University Dr. and Maple Ave. frontages to create an attractive, pedestrian oriented environment. A quality landscape design is proposed to enhance the patio environment.

The decorative brick paving in the sidewalk along University Dr. will be either protected in place or replaced as needed. The decorative paving will continue across the new drive thru lane continuing the path of pedestrian travel.

- h. On-site utilities are placed underground;

All utilities will be located underground.

- i. Clear and well lighted walkways connect building entrances to one another and to adjacent sidewalks;

Wall sconces and lot lights will be provided for well lighted, safe paths of travel to and from the building to the parking areas and/or public right of way.

- j. Accessibility is provided in conformance with the Americans with Disabilities Act (ADA);

Paths of travel will be ADA compliant.

- k. Plans take into account pleasant and convenient access to multi-modal transportation options, and support the potential for transit patronage;

In response to the various forms of transportation used in the university area, the proposed design offers a convenient dining option for customers who will walk, bike, drive, or use public transportation, including the future street car project. Ample bicycle parking is provided as well as a walk up window for pedestrian service.

- l. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with the surrounding residential uses. Traffic impacts are minimized, in conformance with city transportation policies, plans, and design criteria;

A dedicated drive thru lane with ample queuing space is provided to prevent back up and/or conflict with the parking area circulation and to avoid any potential overflow onto public right of ways.

Pedestrian access is focused towards the front of the building and site with separate vehicular access in the back of the building.

- m. Safe and orderly circulation separates pedestrian and bicycles from vehicular traffic. Projects should be consistent with Tempe Pedestrian and Bicycle Facility Guidelines, contained in the Comprehensive Transportation Plan;

Pedestrian access is provided directly from both street frontages so that pedestrians and customers on bicycles can directly access the building or

the walk up service window from the right of ways without crossing parking areas or the drive thru lane.

- n. Plans appropriately integrate crime prevention principles such as territoriality, natural surveillance, access control, activity support, and maintenance;

Open low walls and metal lattice is proposed to delineate the patio area while still keeping it visible from the right of way for surveillance purposes. The block wall along the south side of the property will be retrofitted with a low wall of wrought iron for improved visibility and surveillance of the parking area and rear of building.

The two entries for the building are located along the street frontage for maximum visibility.

Every Chick-fil-A is run by an individual owner/operator whose sole business is operating that particular location. Proper maintenance and security for the safety of both employees and customers is a top priority for the operator's success.

- o. Landscaping accents and separates parking, buildings, driveways, and pedestrian walkways;

Ample landscaping, exceeding the minimum requirements, is provided along all perimeters of the property and to separate circulation/parking areas from the building and pedestrian areas.

- p. Lighting is compatible with the proposed building(s) and adjoining buildings and uses and does not create negative effects.

Adequate lighting will be provided on the building and in the patio and parking areas to insure customer and employee safety, but will be directed downward and utilize cutoffs to avoid impact on surrounding properties.

- 2. Signs must have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located. The decision making body shall consider the following:
 - a. Sign copy shall provide contrast with its background.

Chick-fil-A's prototypical script signage in red is proposed on the West elevation and is contrasted by the taupe colored cladding of the background wall material.

Chick-fil'A's new, stylistic logo sign is proposed on the East and West elevations. The red and ivory logo is contrasted by the taupe of the background wall material.

The monument sign design has been coordinated to complement the building and is of an appropriate pedestrian scale..

- b. Sign area and copy shall be proportional to the size of the building element on which it is located; and

Sign scale is proportionately appropriate to building mass.

- c. Signs for complexes or centers shall utilize materials which are complementary to the building and to other signs on the premises.

The sign design and colors are complementary to the modern building architecture.

Planned Area Development Overlay Justification

- A. Identify and provide justification for the specific modification(s) to the general development standards;

Chick-fil-A is seeking approval of a PAD Overlay to reduce the Code required 20 ft. landscape setback along University Dr. to allow for the placement of the building and patio along the street frontage. This layout creates a pedestrian oriented presence more appropriate for the City Center Zone. Approval to allow parking to encroach into a portion of the landscape setback along Maple is also requested. The encroachments into the setbacks on both frontages are necessary to establish a pedestrian oriented presence.

A reduction in the parking requirement is also requested. Based on a 4,027 sq.ft. building and 1,300 sq.ft. of patio seating, 60 parking spaces are required. 41 spaces are provided. Various forms of transportation are used in the university area, including public transit. It is anticipated that many of Chick-fil-A's customers will walk or bike to the business. Ample storage for 24 bike parking is provided. A walk up window will provide direct customer service to pedestrians in addition to the service offered inside the restaurant. Furthermore, a significant portion of the vehicular business will utilize the drive thru lane and not require parking.

METRO has received local and regional approval to construct a new modern streetcar in Tempe's Mill Ave. Corridor. The approved route for the street car will run eastbound on University in front of this site thereby designating the property as a "corridor area" of the Transportation Overlay District (TOD).

The Corridor Area of the TOD allows a 25% reduction in the parking requirement and excludes the patio area from the parking calculation. Based on the TOD Corridor Standards, 40 parking spaces are required. 41 spaces are provided.

- B. Explain how the PAD Overlay District accommodates, encourages, and promotes innovatively designed developments involving residential and/or nonresidential lands uses, which form an attractive and harmonious unit of the community; and

The reduction of the landscape setback and parking requirements allow for an innovative, pedestrian oriented design that is complementary and beneficial to the community. The pedestrian orientation is appropriate for the urban setting. The large, shaded patio area along both street frontages offers a comfortable and pleasant dining environment for customers.

- C. Describe how the PAD Overlay District is deemed appropriate or necessary, and traditional zoning regulations are replaced by performance considerations to fulfill the objectives of the General Plan.

The proposed PAD Overlay District is appropriate for the urban, pedestrian oriented environment and is necessary for the redevelopment of the property.

The proposed development is consistent with the following objectives of the General Plan:

- ***Encourage and enhance pedestrian movement***
- ***Promote sustainable concepts***
- ***Encourage architecture that will withstand changes in style and economy***
- ***Provide flexibility in lot size, configuration and vehicular access to facilitate compact, efficient infill development***
- ***Provide opportunities for flexibility in standards where creative solutions that serve the community are proposed.***

The City parking standard cannot be accommodated on this site while still providing the pedestrian oriented building and amenities.

In Chick-fil-A's western region (CA, AZ, UT), the typical parking standard is one space per 100 sq.ft. which has proven to be more than sufficient, even in more vehicular oriented locales.

The parking proposed is sufficient for both the existing conditions based on the historical standards noted above, but more importantly, forward looking, will be consistent with the provisions of the TOD overlay district in which the site will be located when the streetcar is constructed (anticipated completion date of 2016).



October 29, 2012

Mr. Ryan Levesque
Senior Planner
City of Tempe
Community Development Department – Planning
31 East Fifth Street
Tempe, AZ 85281

Subject: Neighborhood Meeting

Dear Ryan:

The following is a summary of the details related to the Neighborhood Meeting and the issues and discussion that occurred.

The meeting took place on Thursday, October 25, 2012, at the Westside – Multi-Generational Center at 715 West Fifth Street, Tempe, AZ. The meeting started at 6:00 p.m. and was scheduled for one hour. The meeting actually lasted approximately 90 minutes. Chick-fil-A representatives displayed design boards (24"x36") illustrating the building (perspective drawings), the site plan, landscape plan and floor plan. Refreshments were served.

Six residents of the neighborhood were present. Five identified themselves as living in the Maple-Ash neighborhood area, and one gentleman was from the Gililand and Holdeman neighborhood.

In addition to the residents, a representative from Planning was present. Also four representatives from Chick-fil-A attended, including the proposed owner/operator of the franchise restaurant.

The key discussion items were as follows:

Trash – concern was voiced over proper policing of the property as well as the need for good practices in trash disposal to avoid impacts on the alley and neighborhood. The example used was the Subway on Mill Ave. Response: The Chick-fil-A operator described his good practices at his current location for regular policing of the property and careful trash disposal. It was noted that Subway is using residential trash containers and not the commercial grade that CFA will utilize.

Security – concern was voiced relating to the homeless population in the neighborhood and the need for high security and clear visibility on the property. Response: Chick-fil-A is aware and sensitive to the problem. We have approached it from several fronts. First, the block wall at the rear of the property will be modified to a steel post fence that will allow visibility into and out of the site (CFA will maintain the wall footing to not disturb the existing trees). The walls and fences around the property are also designed to improve visibility. Security cameras will be trained on the drive-thru and rear parking lot and monitored during the hours the restaurant is open. As part of the patio service and trash patrol, Chick-fil-A team members will regularly walk and police the property to insure no one is trying to loiter or linger on the premises.

Landscape – many questions were asked about the landscaping – both what is remaining and new. Most were questions or clarifications, with no immediate concerns or requests for modifications. Someone mentioned a tree species that should be considered – Chick-fil-A is open to modifying species types for the project. There were many favorable comments about the landscape appearance from the street.

Project design – the pedestrian nature of the layout and design was very well received. The community members all appreciated the orientation to the street, the large patio, abundant bicycle parking and the walk-up window.

Site design – there was discussion about the site layout and the consensus was the site design best served the pedestrian orientation, as well as parking and drive-thru layout. One resident was concerned that a second driveway is being added to Maple, however acknowledged the benefit to closing the curb cut on University. Response: Chick-fil-A will work with the City to minimize the size of the curb cuts, however also acknowledged that the design must conform to current City standards.

Neighborhood Traffic – the neighbors acknowledge that there is an existing high volume of traffic in the area, in particular on 9th and Maple. They are concerned Chick-fil-A will add more cars and would like the City to once again investigate measures to reduce through traffic on neighborhood streets. Many ideas were discussed including limiting access to the local streets, however it was also recognized that any changes must be studied as part of a comprehensive analysis of the area. Response: Chick-fil-A is willing to consider future traffic calming efforts, but there were no specific site/project related solutions.

Parking – it was well received that Chick-fil-A will add 7 additional parking spaces (41) as compared to Burger King (34). Also it was noted that Burger King rents up to seven parking spaces to long term/daily users.

Alley – discussion also ensued regarding the alley use, closure, and circulation. Like the neighborhood traffic, there was no single solution presented or site/project specific related solutions. The future closing of the alley south of the Chick-fil-A associated with the recently approved CVS site modification was also discussed.

Social Issues - There was discussion regarding CFA's position on the LGBT community. Response: Chick-fil-A, Inc is being more sensitive in giving to prevent giving to groups that have a political agenda. Second, CFA has and will continue to serve ALL guests with honor, dignity and respect. Lastly, the Operator is a franchisee that can select the organizations that he will partner with.

We feel that there were more positive than negative comments about the project. The overall design was well received, in particular the pedestrian nature of the new design.

Please let me know if you have any questions or need additional information.

Best regards,

A handwritten signature in black ink, appearing to read "Deborah Kerr". The signature is fluid and cursive, with a large initial "D" and "K".

Deborah Kerr

PLANNED AREA DEVELOPMENT OVERLAY FOR THE CHICK-FIL-A

A PORTION BLOCK 21, GAGE ADDITION TO TEMPE, ACCORDING TO BOOK 3 OF MAPS, PAGE 58, RECORDS F MARICOPA COUNTY, ARIZONA, AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____, 2012, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____ WHO ACKNOWLEDGE HIMSELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL

BY: _____ NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

BP PROPERTIES, L.L.C., AN ARIZONAL LIMITED LIABILITY COMPANY:

BY: OWNER _____ DATE _____
ITS: OWNER _____

LEGAL DESCRIPTION

SEE SHEET SP-1

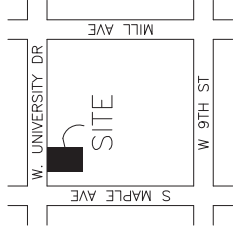
APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS _____ DAY OF _____ 2012.

OWNER/DEVELOPER

BP PROPERTIES, LLC,
AN ARIZONA LIMITED LIABILITY COMPANY
410 N. 44TH STREET, SUITE 290
PHOENIX, AZ 85008
PHONE: (602) 273-7997
FAX: (602) 273-9170
CONTACT: RONALD H. BROATCH

SITE VICINITY MAP



PROJECT DATA

ZONING DISTRICT: CC-CITY CENTER
BUILDING HEIGHT
Maximum building height: 50 feet
BUILDING LOT COVERAGE
Building footprint area: 4,027 s.f. / Net site area: 29,478 s.f.
- Maximum allowed: 13.7%
SITE LANDSCAPE COVERAGE
Landscape area: 7,531 s.f. / Net site area: 29,478 s.f.
- Minimum allowed: 25.6%
BUILDING SETBACKS: None
North: Parking or drive-thru - 20 feet
South: None
East: None
West: Parking or drive-thru - 20 feet
VEHICLE PARKING QUANTITY
Parking spaces provided: 41
BICYCLE PARKING QUANTITY
Parking spaces provided: 24


CONDITIONS OF APPROVAL:

GENERAL NOTES:

DS000000

PAD000000


REC000000



5200 Billington Rd.
Atlanta Georgia,
30349-2386

Revisions:

Mark	Date	By



Seal

C · R · H · O

Architectural & Interior Planning
195 South 17th Street 200
Phoenix, Arizona 85008
TEL: 602-955-1000
FAX: 602-955-1000

STORE
Location:
FSU 508A SMALL
MILL
SVC UNIVERSITY &
TEMPLE, AZ

SHEET TITLE
COVER SHEET

PERSON: _____
ISSUE DATE: 10-2011

Job No. : 11-17A
Store : 3064
Date : 9/20/12
Drawn By : _____
Checked By : _____

Sheet
TLJ

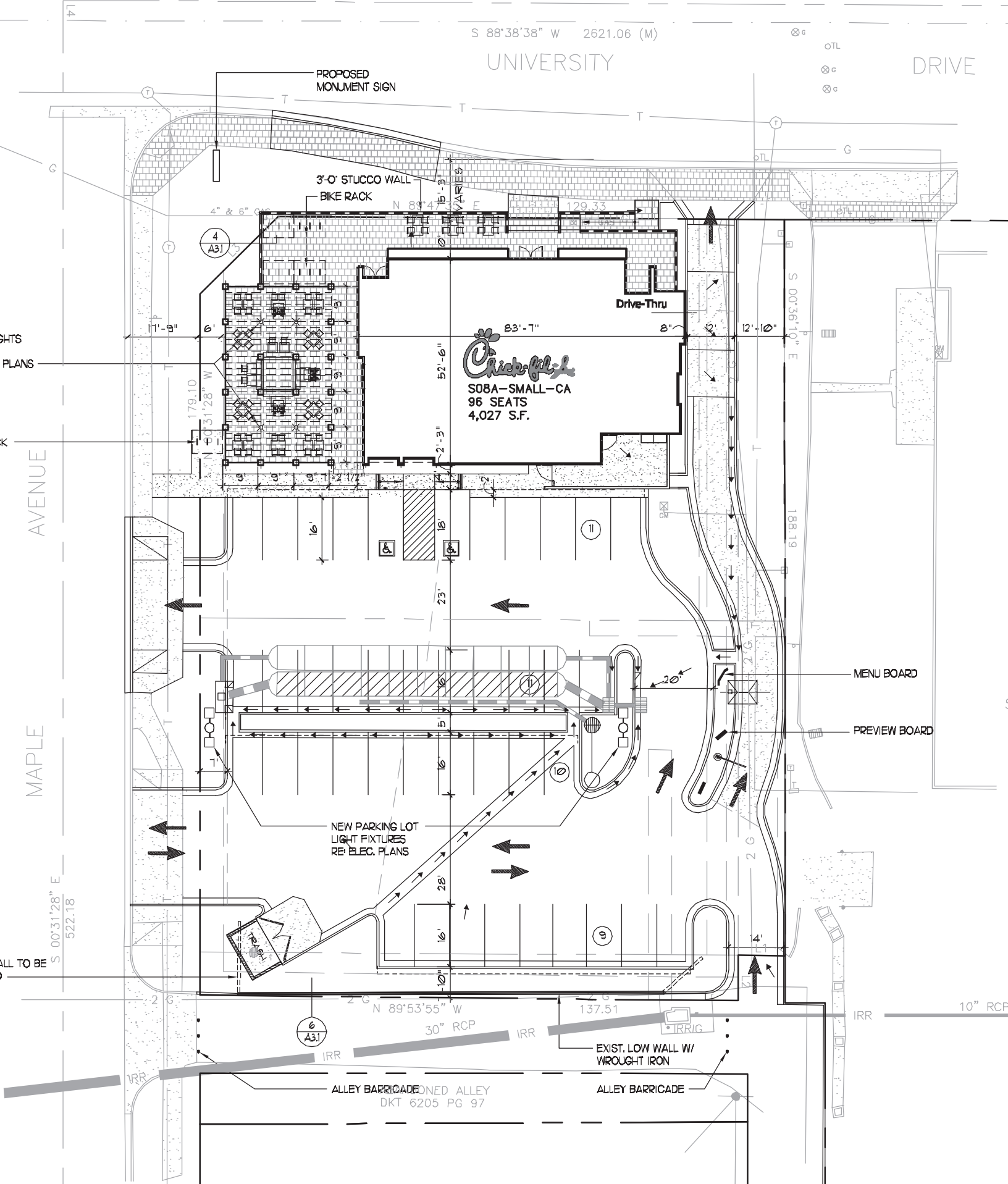
DS000000

PAD000000

REC000000

UNIVERSITY

DRIVE



DESCRIPTION



Revisions:
 Mark Date By
 10-2-21



C.R.H.O.
 Architecture Interior Planning
 195 South "C" Street 200
 North, Columbus, 31906
 774-632-1500
 774-632-1919
 0

STORE
 FSU 508A SMALL
 SMC UNIVERSITY &
 MILL
 TEMPE, AZ

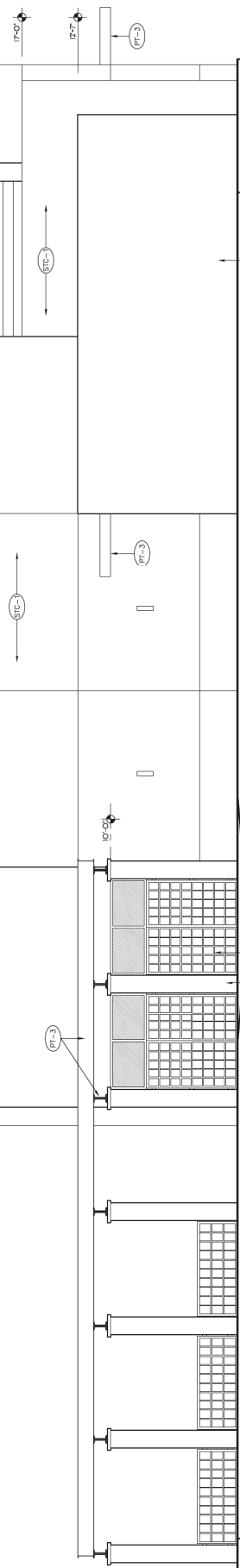
SHEET TITLE
 EXTERIOR
 ELEVATIONS

VERSION: 7
 ISSUE DATE: 10-2011
 Job No. : 11-174
 Store : 3064
 Date : 9/20/12
 Drawn By : K.K.N.
 Checked By : R.H.

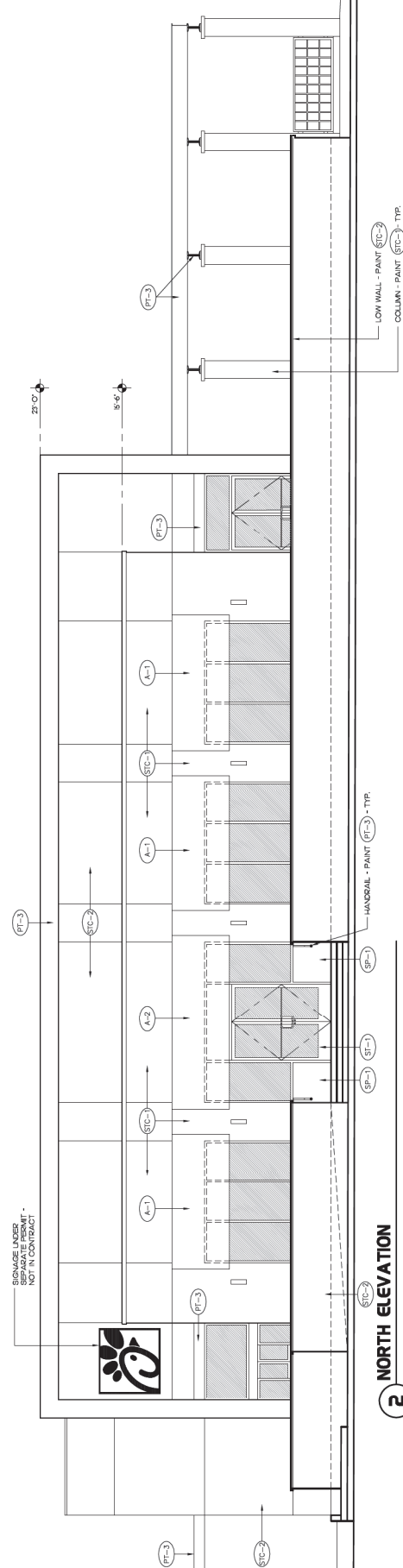
Sheet
A-2.2

EXTERIOR FINISHES - FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS

(SIC-1)	STUCCO #1 SHERWIN WILLIAMS COLOR: DARK GREY #97541 GREY CAN 1X07	(TC1)	TERRACOTTA CLADDING SHERWIN WILLIAMS COLOR: DARK GREY #97541 GREY CAN 1X07
(SIC-2)	STUCCO #2 TO MATCH SHERWIN WILLIAMS FS/7549 STUDIO TAPE	(A-1)	FABRIC AWNING SUNRELLA #2 608 - SIZE: 10'8" LENGTH COLOR: JET BLACK
(SIC-3)	ALUMINUM STOREFRONT #97644 STEELY GRAY	(A-2)	FABRIC AWNING SUNRELLA #2 608 - SIZE: 13'4" LENGTH COLOR: JET BLACK
(SIT)	STEEL PANEL CUSTOM STEEL FABRICATOR PRIMED & PAINT WITH P-F4	(PT-3)	PANT #3 SHERWIN WILLIAMS COLOR: DARK BRONZE ANODIRED PLUS #977020 BLACK FOXT
(SP-1)			



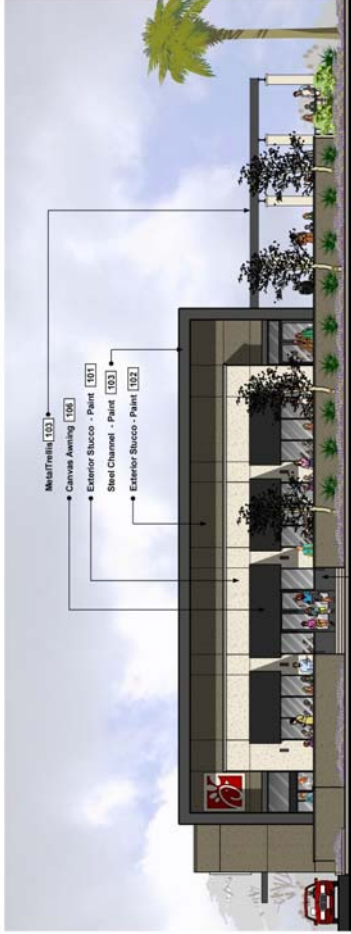
1 SOUTH ELEVATION
 1/4" = 1'-0"



2 NORTH ELEVATION
 1/4" = 1'-0"



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Note:
 All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

COLOR AND MATERIAL LEGEND

- [101] Exterior Stucco - Paint
- [102] Exterior Stucco - Paint
- [103] Steel Channeled - Paint
- [104] Exterior Stucco - Paint
- [105] Terracotta Cladding
- [106] Canvas Awning
- [107] Steel Panel
- [108] Metal Lattice - Paint
- [109] Metal/Trails

6-15-12 Revised: 8-8-12
 Revised: 9-14-12 Revised: 10-23-12



File Name: 111746-10-23-12

C • R • H • O
 Architecture • Interior • Planning
 115 South "C" Street Suite 200
 Tempe, California 85280
 714.822.1834
 FAX 714.822.1919



VIEW FROM CORNER OF UNIVERSITY DR. & MAPLE AVE.

Chick-fil-A - Tempe, AZ



ATTACHMENT 42

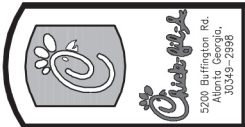
VIEW FROM MAPLE AVE.

Chick-fil-A - Tempe, AZ



VIEW FROM UNIVERSITY DR.

Chick-fil-A - Tempe, AZ



5200 Burlington Rd.
Atlanta Georgia,
30349-1286

Revisions:
Mark Date By
1 02-2

Mark Date By
1 02-2

Mark Date By
1 02-2



C · R · H · O
ARCHITECTURE
135 South "N" Street 200
Tuck, Georgia 30086
770-832-1500
770-832-1515

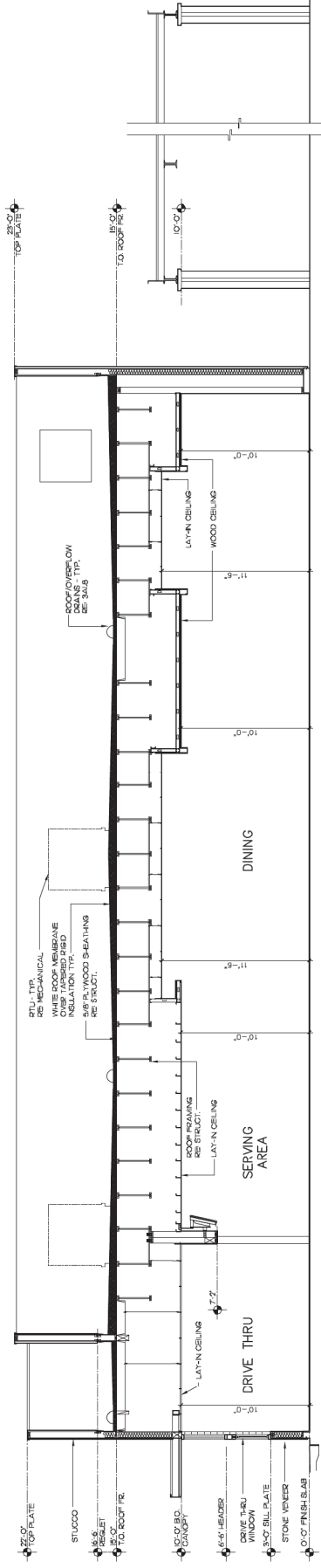
STORE
FSU 308A SMALL

SWC UNIVERSITY &
MILL
TEMP. AZ

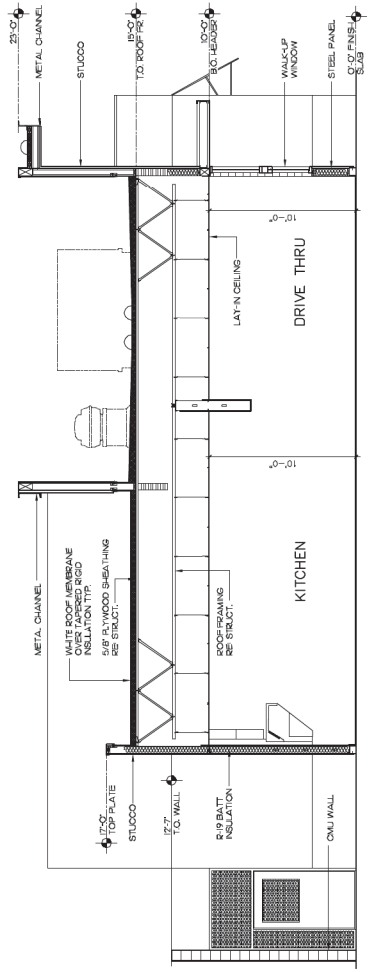
ISSUE DATE: 10-2011

Job No. : 11-174
Store : 364
Date : 9/20/12
Drawn By : .K.N.
Checked By : .R.H.

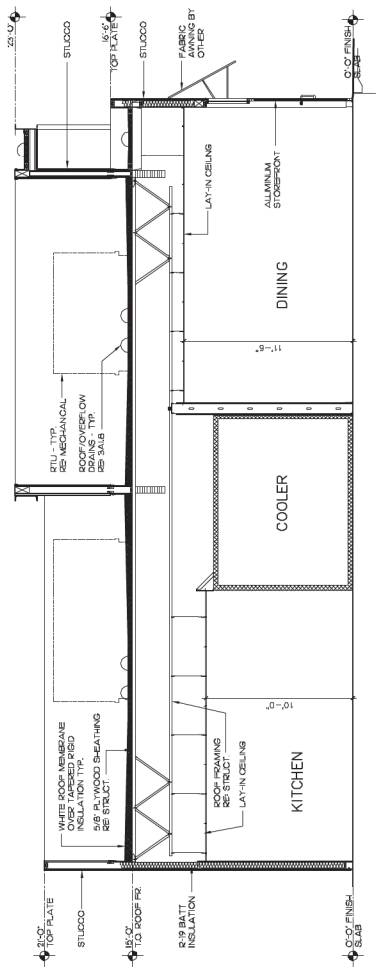
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A-31



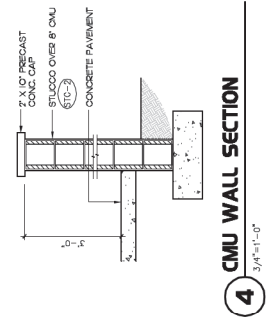
1 LONGITUDINAL SECTION
1/4" = 1'-0"



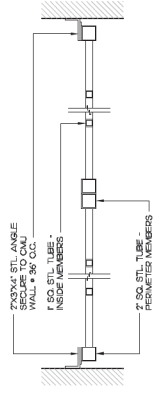
2 TRANSVERSE SECTION
1/4" = 1'-0"



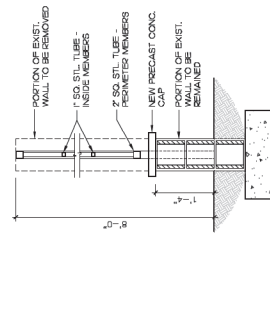
3 TRANSVERSE SECTION
1/4" = 1'-0"



4 CMU WALL SECTION
3/4" = 1'-0"



5 METAL LATTICE
1/2" = 1'-0"



6 CMU WALL SECTION
3/4" = 1'-0"

UNIVERSITY DRIVE

S 88°38'38" W 2621.06 (M)

OTL

⊗ 6

⊗ 6

EXISTING PALM TO REMAIN.

EXISTING PALM TO BE RELOCATED.

EXISTING PALM TO BE RELOCATED TO THIS AREA

EXISTING PALM TO BE RELOCATED TO THIS AREA

MAPLE AVENUE

S 00°31'28" E 522.18

LIGHT POLE (S)

EXISTING QUERCUS TO BE REMOVED. NON-SALVAGABLE POOR CONDITION & BAD FORM.

EXISTING PROSOPIS TO BE REMOVED. NON-SALVAGABLE

PROVIDE DECOMPOSED GRANITE IN PLANTER. SEE NOTE M



S08A-SMALL-CA
96 SEATS
4,027 S.F.

EXISTING MESQUITE TO BE REMOVED.

EXISTING MESQUITE TO BE REMOVED.

LIGHT POLE SEE ELECTRICAL PLAN.
EXISTING PALM TO REMAIN

EXISTING EUCALYPTUS TO BE REMOVED.

EXISTING EUCALYPTUS TO BE REMOVED.

EXISTING EUCALYPTUS TO REMAIN.

EXISTING EUCALYPTUS TO BE REMOVED.





















PARCEL 1
EXISTING MESQUITE TO BE REMOVED.

ABANDONED ALLEY
DKT 6205 PG 97

EXISTING BUILDING

RIM 65.04
INV 57.05
E,W&S

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
<u>TREES</u>					
	DEMO EXISTING PROSOPIS	CHILEAN MESQUITE	-	4	REMOVE GRIND STUMP
	DEMO EXISTING QUERCUS	SOUTHERN LIVE OAK	-	4	REMOVE GRIND STUMP
	EXISTING PALM WASHINGTONIA FILIFERA	HYBRID FAN PALM	FIELD VERIFY	3	EXISTING TO REMAIN PROTECT IN PLACE
	EXISTING EUCALYPTUS	COOLIBAH	FIELD VERIFY	2	EXISTING TO REMAIN PROTECT IN PLACE
	DEMO EUCALYPTUS	COOLIBAH	-	6	REMOVE GRIND STUMP
	EXISTING RELOCATED PALM	VERIFY SIZE IN FIELD	FIELD VERIFY	3	REFER TO PLAN FOR NOTES
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	36" BOX 2 1/2" CALIPER	2	STANDARD
	ACACIA SALINGA	BLUE-LEAF WATTLE	24" BOX 1 1/2" CAL	10	STANDARD
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX 1 1/4" CAL	5	STANDARD
	CHILOPSIS LINEARIS 'DARK STORM'	DESERT WILLOW	24" BOX 1 1/4" CAL	9	AS SHOWN
<u>SHRUBS</u>					
	AGAVE ATTENUATA 'VARIEGATA'	VAR. FOXTAIL AGAVE	5 GALLON	9	2'-0" O.C.
	CONVOLVULUS CNEORUM	BUSH MORNING	1 GALLON	273	2'-0" O.C.
	DASYLIRION WHEELERI	DESERT SPOON	5 GALLON	45	5'-0" O.C.
	HESPERALOE PARVIFLORA	RED YUCCA	5 GALLON	90	3'-0" O.C.
	DODONEA VISCOSA	HOP SEED BUSH	5 GALLON	4	4'-0" O.C.
	RUELLIA BRITTONIANA 'LITTLE KATIE'	DWARF RUELLIA	1 GALLON	48	1'-0" O.C.
	RUELLIA BRITTONIANA 'CHI CHI'	PINK RUELLIA	1 GALLON	86	1'-6" O.C.
<u>GROUNDCOVERS</u>					
	LANTANA HYBRID 'GOLD MOUND'	GOLD MOUND LANTANA	1 GALLON	125	3'-0" O.C.
	LANTANA HYBRID 'RADIATION'	RADIATION LANTANA	1 GALLON	120	3'-0" O.C.
<u>VINES</u>					
	BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA	15 GALLON	7	AS SHOWN REMOVE FROM STAKE ATTACH TO WALL

ED
...

S 88°38'38" W 2621.06 (M)

UNIVERSITY DRIVE



EXISTING QUERCUS TO BE REMOVED, NON-SALVAGABLE POOR CONDITION & BAD FORM.

EXISTING PROSOPIS TO BE REMOVED, NON-SALVAGABLE.

PROVIDE DECOMPOSED GRANITE IN PLANTER. SEE NOTE M.

Chick-fil-A

SOBA-SMALL-CA
96 SEATS
4,027 S.F.

EXISTING PALM TO REMAIN.

EXISTING PALM TO BE RELOCATED.

EXISTING PALM TO BE RELOCATED TO THIS AREA.

EXISTING PALM TO BE RELOCATED TO THIS AREA.

MAPLE AVENUE

S 00°31'28" E 522.18

RIM 63.54
INV 57.32
E&W

N 89°53'55" W 137.51

EXISTING EUCALYPTUS TO BE REMOVED.

EXISTING EUCALYPTUS TO BE REMOVED.

EXISTING EUCALYPTUS TO REMAIN.

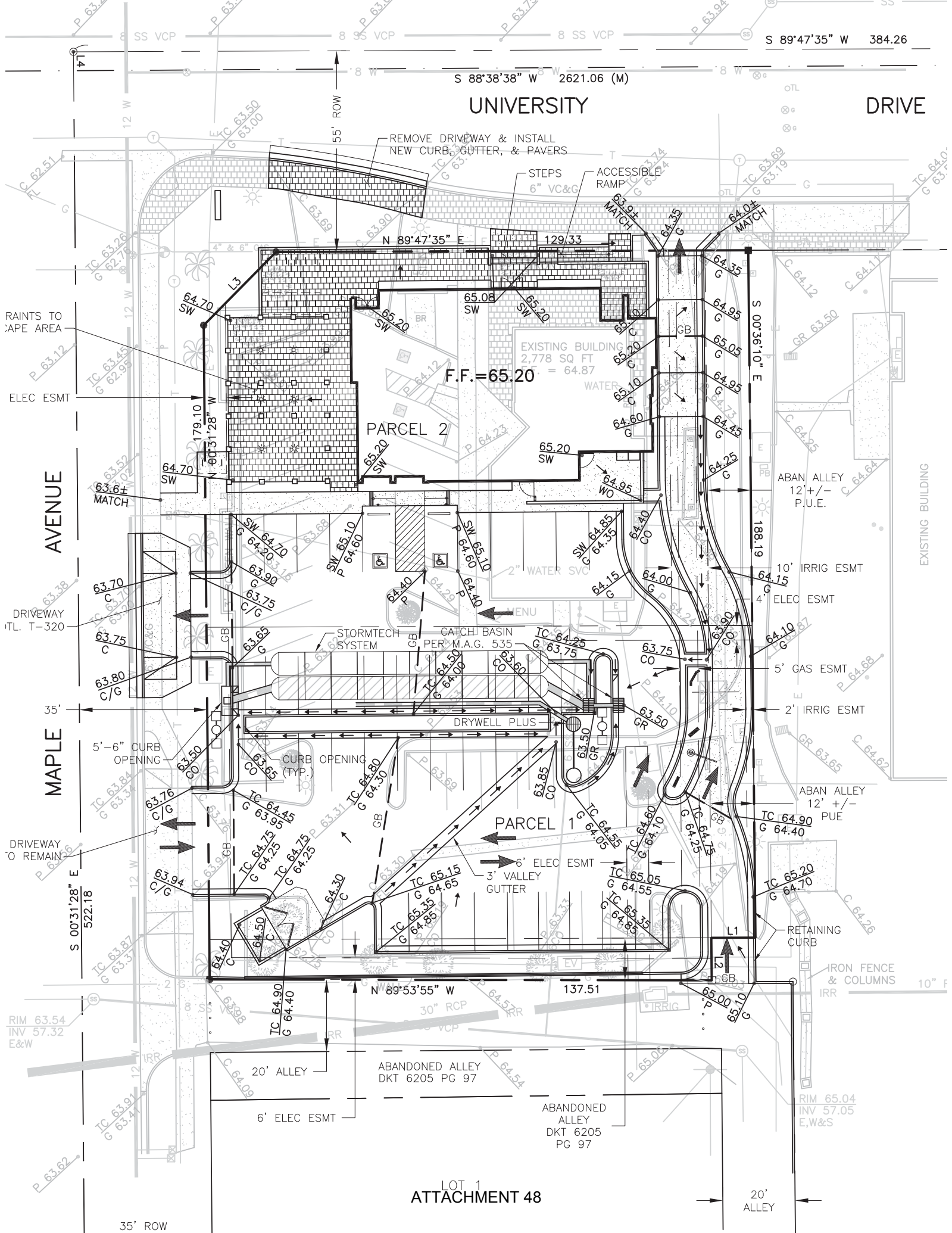
EXISTING EUCALYPTUS TO BE REMOVED.

S 89°47'35" W 384.26

S 88°38'38" W 2621.06 (M)

UNIVERSITY

DRIVE



LOT 1 ATTACHMENT 48

20' ALLEY

35' ROW BK 3

From: Mill Properties
Sent: Monday, October 22, 2012 7:27 AM
To: Levesque, Ryan
Subject: Re: Chick-Fil-A development proposal

dear ryan

thank you for the information concerning chick fil a. as the largest landowner in maple ash and with much at stake, i support the chick fil a because of the investment this company will make to replace the again (aging) burger king. the proposed patio better integrates a commercial property into the neighborhood and allows for a better pedestrian experience along university. there is on (one) issue i want the city to address in this matter - i believe it is time to close off maple street south of the restaurant. we proposed this several years ago and before that, a decade, ago, as a way of eliminating unwanted commrecial traffic in a residential neighborhood that struggles with traffic, noise and transient issues. please consider this a request to have the city begin the process of shutting off maple. with the inability to go south on ash avenue, closing maple would be a great step toward protecting the residents in that area.

sincerely
steven a. tseffos

On Oct 18, 2012, at 9:33 AM, Levesque, Ryan wrote:

Hello Steve,

Here is my contact information.

Ryan Levesque, Senior Planner
City of Tempe | Community Development Dept.
31 E. 5th St. Tempe, AZ 85281
direct line: 480.858.2393