



# Maryanne Corder Neighborhood Grant Application FY 2023/2024

Created in 1994, this grant funds neighborhood-initiated projects designed to benefit all community members. It is named in recognition of the founder and first director of the city's Neighborhood Services Program. **Applications must be submitted by 5 p.m. on April 24, 2023.**

<b>Name of association</b>	Hamilton Homes – Tempe
<b># of households</b>	82
<b>Project location and major cross streets</b>	Elliot between Lakeshore and Juniper; Lakeshore between Elliot and Vinedo
<b>Primary contact for grant follow up</b> Sharon A. Hansen, President <i>(please specify role i.e., Chair, board member, treasurer, resident)</i>	<b>Authorizing individual, if different</b> Twila Rothra, Sentry Management Inc. <i>(will accept funds, sign contract; for HOAs, typically Community Property Manager)</i>
<b>Primary contact email</b> [REDACTED]	<b>Authorizing individual email</b> [REDACTED]
<b>Primary contact phone number</b> [REDACTED]	<b>Authorizing individual phone number</b> [REDACTED]
<b>Primary contact address (include zip)</b> [REDACTED]	<b>Authorizing individual address</b> [REDACTED]

### 1. Project description: Describe your project in no more than three sentences.

Phase 1 (2023-2024) of Hamilton Homes–Tempe’s three-year, multi-faceted water conservation and landscape refurbishment project has as its goal the replacement of the failing and inefficient single-line drip irrigation system along our two HOA perimeter areas adjacent to City of Tempe streets (Elliot and Lakeshore) for a system that utilizes smart controllers, high-efficiency heads, rain sensors, and remote monitoring for better water management. Our perimeter areas, as well as all walkways within the neighborhood and two parks, have unrestricted access to the public, so while these planned improvements directly benefit our HOA, City of Tempe residents outside our HOA also will benefit. Adjunct to this three-year project — to include replacing a similar, single-line drip irrigation system in our north and south park water retention areas; removing dead trees, refurbishing seating areas, and installing additional granite in our parks; and replacing dead and missing trees and shrubs with desert-loving, low water usage varieties, bringing the number of trees and shrubs on our perimeter up to Tempe code — will be the creation of a Landscape Architectural Plan to be filed with the City of Tempe, as none presently exists.

### 2. PROJECT BUDGET

PHASE ONE: Perimeter Irrigation Replacement on Lakeshore and Elliot	\$55,866.00
Extra 10% of total budget for unforeseen costs/increases (tree removal, etc.)	\$ 5,600.00
TAX	<u>\$ 2,941.35</u>
TOTAL PROJECT COST:	\$64,407.35
HOA MATCH (min 25% for HOAs):	\$44,407.35
Grant funds requested:	\$20,000.00

## Maryanne Corder Neighborhood Grant Application – pg. 2

### Maryanne Corder Neighborhood Grant Application—pg. 2

3. **Staff contacts** Please select all staff that you have met with and/or contacted:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Neighborhood Services staff :<br><a href="#">Brenda Clark</a> , <a href="#">Laura Kajfez</a> , <a href="#">Elizabeth Thomas</a> , <a href="#">Shauna Warner</a> | <input checked="" type="checkbox"/> Trees: <a href="#">Richard Adkins</a>                 |
| <input type="checkbox"/> Art: <a href="#">Sarah Nieto</a>   | <input type="checkbox"/> Traffic Calming: <a href="#">Cathy Hollow</a>                    |
| <input type="checkbox"/> Landscape/Lighting/Walls: <a href="#">Steve Abrahamson</a>   | <input checked="" type="checkbox"/> Water Conservation: <a href="#">Robert Etchamendy</a> |
| <input type="checkbox"/> Parks/Playground: <a href="#">Dave McClure</a>   | <input checked="" type="checkbox"/> Other: <a href="#">Kellie Dunn</a>                    |
| <input type="checkbox"/> Signs: <a href="#">Mike Scarpitta</a>  |   |

4. **NARRATIVE:** applications are evaluated based on how well the project meets the below criteria.

**ABILITY: If approved for funding, briefly describe your ability to complete the project in a year and how it will be maintained in the future.**

COMPLETION. Hamilton Homes-Tempe will levy a Special Assessment to cover the project’s 2023-2024 Phase One costs. This Special Assessment will be the first such assessment in the HOA's history; a concentrated effort has been made (and will continue going forward) to reach all homeowners so they know the costs associated with the three-year project. **(See project summary, attachment 9.)**

In 2014-2015, Hamilton Homes was awarded a Neighborhood Grant for a project that entailed water conservation and adding benches to our green areas, thereby making the parks more amenable places in which neighbors could gather. This project was successfully completed in June 2015. The Hamilton Homes community has shown its capability to meet deadlines and budget for such projects.

MAINTENANCE: Since its inception, Hamilton Homes has regularly contracted with area Landscape Maintenance companies for common area upkeep. Indeed, since Hamilton Homes has no other community amenities other than our common areas, the greater portion of monthly assessments goes to landscape and tree maintenance. Over the past ten years, numerous changes in our landscape management companies because of fluctuations in the industry beyond our control have resulted in inconsistent and undependable care for our common areas. The present Board of Directors has proactively remedied this situation: as of April 1, 2023, our landscape and irrigation will be managed by Terra Verde Landscaping/Irrigation Company, a local company with a reputable thirty-eight-year history of providing outstanding landscape care.

## Maryanne Corder Neighborhood Grant Application – pg. 2, cont.

**COMMUNITY IMPACT, OUTREACH, and OUTCOMES:** How does your project plan demonstrate meaningful and varied efforts to increase neighbor participation and include diverse participants? Share how your outreach process and strategies are and will continue to be as intentional and inclusive as possible. Describe how your project will impact the neighborhood/community and the desired outcome. (i.e., better health due to more physical activity or public art promoting community identification and pride).

**PARTICIPATION AND DIVERSITY.** Throughout 2022, the Hamilton Homes Board of Directors made a concerted effort to increase neighbor participation, both in HOA activities and financial affairs. The HH-T Board of Directors faces a failing irrigation system and exceedingly high water bills. The City of Tempe further brought water issues to the board's attention through the Landscape Water budget program (initially Kellie Dunn, now Robert Etchamendy). Much discussion ensued about a proper way forward. As a result, the Board included these topics on open meeting agendas ([attachment 10](#)) and emailed and snail-mailed our community for their input to encourage as much feedback as possible.

- In July 2022, neighborhood resident Jillian McDonald (a Junior at Chandler Preparatory High school and a member of the City of Tempe Mayor's Youth Advisory Commission) and her mother, HH-T Board Member Kristy Hahn-McDonald, put forth the idea of polling HH-T neighbors about their thoughts for neighborhood water conservation and landscape improvements. As a result, in early August, every homeowner received a USPS letter and email e-Blast inviting them to learn about the landscape and irrigation challenges HH-T was facing, either by attending the October 22 GAIN Social Event or by providing feedback via a SurveyMonkey instrument ([attachment 1](#)).
- In August, the SurveyMonkey instrument went live online ([attachment 2](#)). The survey stayed active until October 24, 2022, at which time results were tabulated ([attachment 3](#)).
- In September 2022, Jillian McDonald prepared a hang tag flyer as a second reminder to all homeowners to attend the GAIN event and placed it on the door of every owner. The flyer explained her role as an *Institute for Citizens and Scholars* Fellowship Award winner with a mission of providing education about sustainability and information about local water and other resources ([attachment 4](#)).
- In October 2022, all owners received a third reminder via email e-Blast to attend the neighborhood GAIN event ([attachment 5](#)).
- On October 22, 2022, the GAIN event was held in our HOA's North Park. A Bounce House and painting station were provided for the children, and all participants enjoyed complimentary refreshments. Police Officers from the Tempe Police Department came and mingled with the neighbors. Courtesy of Jillian McDonald, numerous handouts were provided to all participants about Water Conservation and sustainable living. The event went very well, garnering much positive feedback from the forty or so neighbors attending. Neighbors commented that the many communications and conversations about our neighborhood's challenges were much appreciated.

- On October 27, 2022, the Hamilton Homes–Tempe HOA Annual Meeting occurred. We had a quorum of neighbors who all were very interested in discussing the upcoming proposed landscape and irrigation projects. Although we had a GRANT PROJECTS IDEAS sheet at sign-in, most neighbors spoke about their ideas rather than writing them down ([attachment 6](#)).
- In October and December 2022, the Board set out to gather facts and information about the City of Tempe grant requirements, City Code, and approved shrubs and trees.
- Finally, in early February, an e–Blast was emailed to all owners, inviting them to attend a neighborhood “Walk-About” ([attachment 7](#)). Those owners whose homes back up to the perimeter streets of Elliot and Lakeshore also received hand-delivered invitations. Guests gathered in the driveway of President Sharon Hansen for coffee and donuts. The group of 18 or so then walked the entire perimeter of our HOA properties on Elliot and Lakeshore. During that two-hour gathering, there was much meaningful discussion about tree types, cacti, shrubs, and City Code, and additional conversations about having our two parks become more functional for outdoor activities ([attachment 8](#)). (Additional photos of the common areas are found in [attachment 11](#).)

**INTENTIONALITY AND INCLUSIVITY.** Hamilton Homes–Tempe is a small HOA (only 82 homes). Because we have many long-time residents, many of our homeowners are familiar with each other and have a long history together, which enables communication and cooperation in our community. That said, not unlike many other neighborhoods of our age, our neighborhood is finding itself in transition. On the one hand, we have a number of elderly residents, in many cases, the original home builders when the HOA was first being developed. Unfortunately, these residents are often unable to attend in-person events; are unfamiliar with the Sentry Management PORTAL, in which many necessary HOA forms and documents are found; do not share their email addresses (if they have one); and are not as tech-savvy in general. On the other hand, this aging demographic is being countered by new, younger residents who are enthusiastic about neighborhood activities, completely tech-savvy, and interested in having their school-aged children play in our two parks. These newer residents (as well as others of our more active HOA members) have requested that we send all communication via email (both to save money and be environmentally conscious). To be inclusive, we have been and will continue to be intentional in how we deliver information: we use email as much as possible, then follow up with USPS snail mail or hand-delivered paper copies for all essential communications.

**NEIGHBORHOOD AND COMMUNITY IMPACT.** All common areas of the Hamilton Homes–Tempe HOA (our perimeter areas, all walkways within the neighborhood, and two parks) have unrestricted access to the public. Indeed, our perimeter along Tempe’s Elliot Road parallels a major East Valley east-west thoroughfare, and that along Lakeshore Drive parallels a Tempe school thoroughfare. While these planned improvements directly benefit our HOA, adults and children throughout the City of Tempe will also benefit.

Hamilton Homes has no “gated community” amenities: no tennis courts, clubhouse, pool, outdoor grills or dedicated picnic areas, lake, or water feature. Our only amenities are our two common area parks (water retention areas), our four entrance areas, and our perimeter sidewalk areas. Indeed, during the past year of discussions, the Board of Directors discovered that most homeowners wanted to save the turf in the two park areas. Some recent owners indicated that these two green spaces were an essential part of their decision to purchase.

That said, the overall landscape and irrigation system at Hamilton Homes–Tempe has fallen into a general malaise. As new owners are moving in, they have taken notice of how many dead shrubs and trees we have and how many burrs and weeds are in our two parks, rendering them almost unusable. In addition, our irrigation system wastes countless gallons of water each year through its inefficiency, its numerous leaks, and its one-line system of delivery.

Starting with water conservation and replacing our inefficient, money-and-water-wasteful irrigation system is step one in moving our community forward. Once we have a new irrigation system in place, we can begin to address the dead and dying landscape.

Furthermore, based on input from our homeowners on the importance of the parks, the board has decided on a strategy change regarding irrigation. As water costs rose, the Board discontinued winter overseeding solely to save water. However, given people’s desire to use the parks, we consulted our new landscape maintenance contractor about the advisability of reversing the watering strategy, i.e., provide useable turf in fall, winter, and spring seasons and water only the trees and shrubs in the summer. Our contractor stated that this strategy would reduce the large amount of water used in the summer and facilitate weed control. In addition, this strategy will provide pleasant and usable turf in the cool weather months when people WANT to be outdoors, rather than using water during the hottest months when people are indoors or out of town.

In taking on a three-phase landscape and irrigation project of this magnitude, the Hamilton Homes Board of Directors has researched the importance of landscapes in neighborhoods and along city streets. Although landscapes are often taken for granted, they provide essential environmental value. It is also true that when a homeowner considers purchasing a home, a community’s aesthetic is a vital factor in the decision-making process.

As research in the industry shows:

- As cities become more and more cement-covered, maintaining “cooling islands,” such as those of our two park areas, and planting appropriate shrubs and trees along perimeter streets, becomes increasingly important.
- Ensuring healthy turf in our two park areas can help protect families and pets from invasive and thorny weeds, ticks, mosquitoes, fleas, bees, and fire ants.
- Simple activities enabling Hamilton Homes’ community members to engage in authentic social interactions with their neighbors, such as walking in our parks, can potentially reduce social isolation and loneliness, especially in the over-60 demographic. Additionally, these activities can facilitate neighbors' access to essential resources, such as information, material resources, and social support. We live in an age characterized by an epidemic of social isolation and loneliness, especially post-Covid. Neighborhood walking represents a valuable and underappreciated everyday activity, particularly in our HH-T urban environment, where block walls surrounding our homes only reinforce anonymity. *Troy D. Glover, Joe Todd, and Luke Moyer: Frontiers in Sports and Active Living, 12 April 2022, Volume 4 – 2022, <https://doi.org/10.3389/fspor.2022.825224>*

- Neighborhoods that incorporate community green spaces have lower incidences of stress, have lower health care costs, and have an improved quality of life (*Elizabeth Housley, M.S., and Kathleen Wolf, Ph.D., The Benefits of Nearby Nature in Cities for Older Adults, <https://naturesacred.org/research/the-benefits-of-nearby-nature-in-cities-for-older-adults/>*).
- Neighbors who can look at plants and trees in our common areas, even through their front windows, can experience reduced stress and lower blood pressure (*Housley and Wolf*).
- Neighbors who walk in a natural environment with plants and trees, such as along our sidewalks or parks, can experience improved attention and memory (*Marc Berman, University of Michigan, "A Walk in the Park Improves Attention," <https://www.psychologicalscience.org/news/releases/a-walk-in-the-park-improves-attention.html>*).

For all these physical and mental health benefits, as well as the environmental benefits of improved landscape (air quality, cooling islands, rainfall absorption vs. runoff, noise reduction, reduction of water consumption), Hamilton Homes–Tempe is convinced that our multi-year project will have a considerable impact on our neighborhood/community specifically, as well as on the City of Tempe in general. With the improvements planned over the next three years, our water retention parks will become a real asset to the community during the months when people are outdoors. With these improvements in place, we hope to see more people out walking their dogs, pushing baby strollers, riding their bikes, enjoying the parks, and talking to each other on our streets and at the mailboxes.

Hamilton Homes-Tempe\_Landscape and maps



Lakeshore and Vinedo

**ATTACHMENT 11\_HH-T**



Elliot and Juniper



Entry at Lakeshore and Vinedo (we have four such entries: two here across from each other, one at Elliot and Lakeshore, and one at Elliot and Juniper)



Controllers that need to be replaced



Elliot west of Juniper





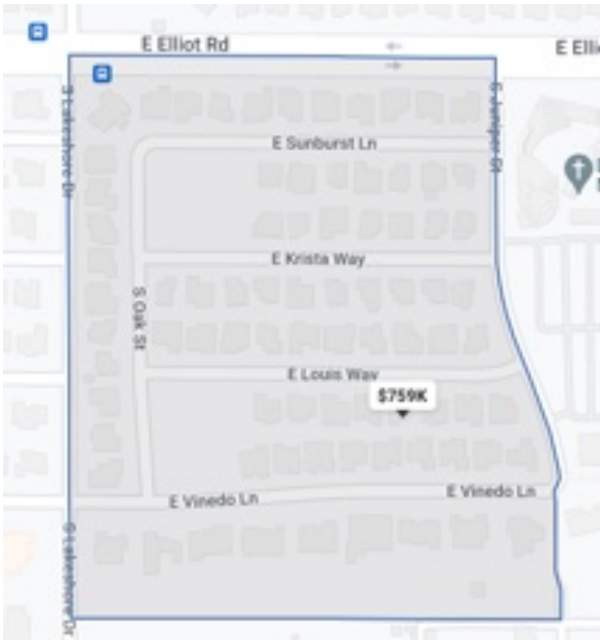
Elliot between Lakeshore and Juniper



South end of Lakeshore, just north of Vinedo (This is the only really “planted out” perimeter we have)



South end of Lakeshore, just north of Vinedo



Borders of Hamilton Homes. Two common area “Parks” visible.



“South” Park, between Louis and Vinedo off Oak



“North” Park, between Sunburst and Krista off Oak



“North” Park, between Sunburst and Krista off Oak



The two parks in aerial.

POCO VERDE POOLS AND LANDSCAPE INC. , an Arizona corporation

ROC #189791 KA - Dual Engineering  
www.pocoverde.com

**LANDSCAPE SPECIFICATION SHEET**

JOB ID:> 0	03/29/23
CUSTOMER NAME:> HAMILTON HOMES	
STREET ADDRESS: TEMPE, AZ 85284	
DESIGNER: RYAN MCCLAIN	20,230,430.00

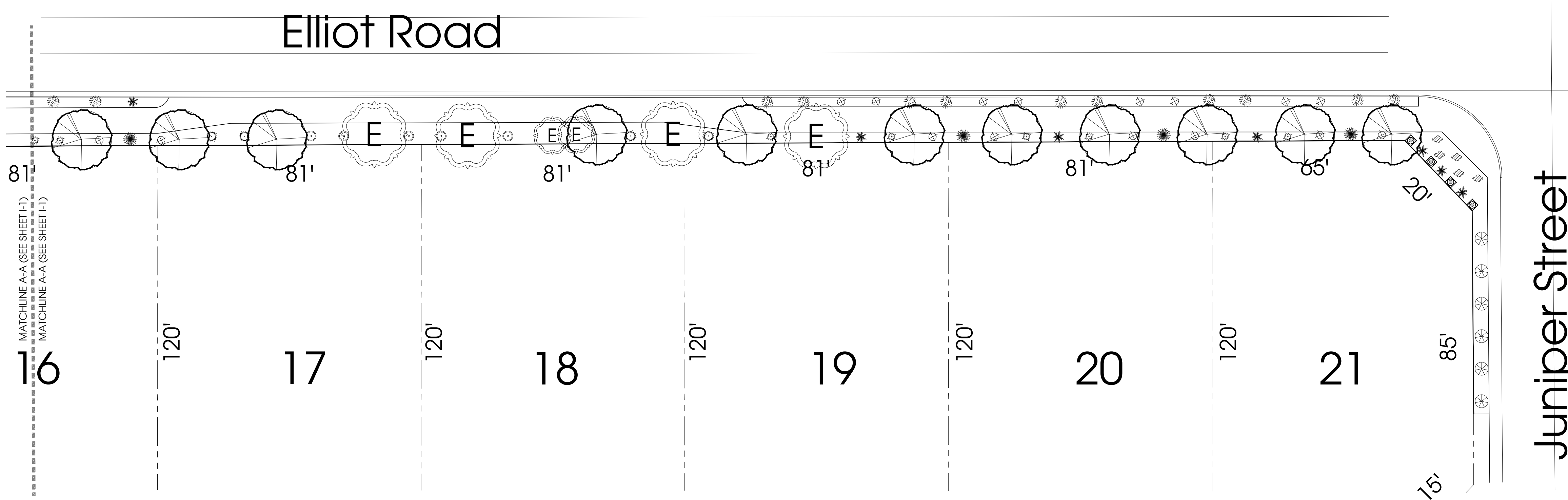
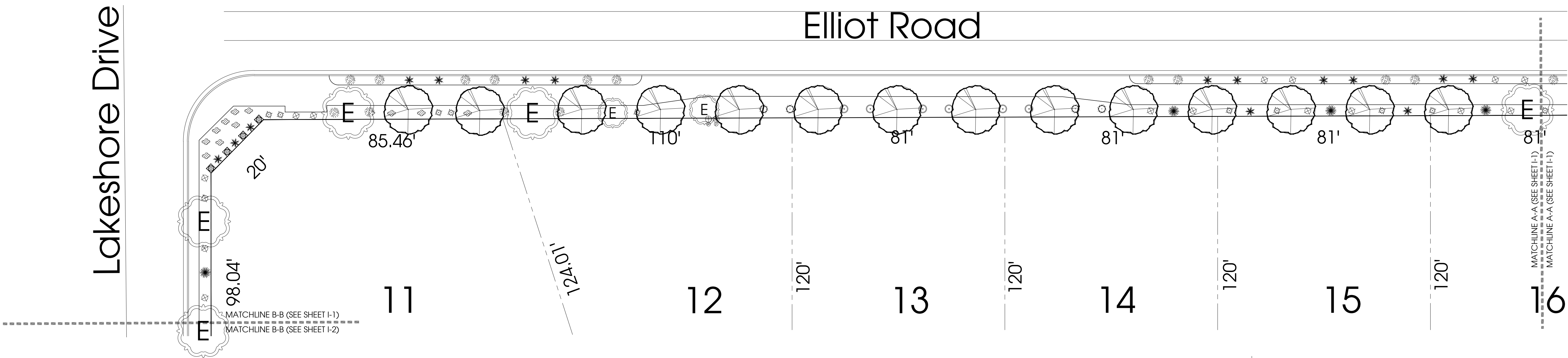
This is not the contract, but a detail of what is proposed for your job. A contract must be signed before your job can begin. All prices are subject to change until a contract is signed and approved by POCO VERDE'S HOME OFFICE.

Description	F/B	Quantity	Unit of Measure	Price
1 P PAYMENT TYPE - CASH or CHECK CASH		1	CASH	
2 ***** SOD, ARTIFICIAL TURF & IRRIGATION *****				
3 S QUOTE MASTER VALVE		1	QUOTE	850.00
4 S QUOTE HUNTER I-CORE-1C-600-M (w/ Solar Sync and Rain Click) Electric By Other		1	QUOTE	1,250.00
5 S QUOTE VALVES		8	QUOTE	1,760.00
6 S QUOTE Febco 825YA 1" Backflow		1	QUOTE	2,250.00
7 S QUOTE Backflow Security Enclosure		1	QUOTE	1,980.00
8 S QUOTE 1" PVC SCH 40 (shrubs)		3025	QUOTE	18,150.00
9 S QUOTE 1" PVC SCH 40 (trees)		2149	QUOTE	12,894.00
10 S QUOTE Bow Smith (2gph)		250	QUOTE	5,000.00
11 S QUOTE END CAPS		18	QUOTE	720.00
12 D QUOTE DIG THROUGH ROOT SYSTEMS OF ESTABLISHED TREES		1	QUOTE	2,450.00
13 D QUOTE DEMO EXISTING VALVES AND SYSTEM		1	QUOTE	750.00
14 S Timer Wire-7 Strand LF		2600	LF	5,642.00
15 S Valve Box (holds 2 valves)* Each		8	Each	920.00
16 S QUOTE MISC PVC PARTS AND FITTINGS		1	QUOTE	1,250.00
17 NOTE: BARRICADES & POSSIBLE POLICE-ASISSTED LANE CLOSURES COST TBD				
18 NOTE: PERMITS BY OTHERS				
19 The Total Price on this Spec Sheet reflects a pre-tax Cash (or Check) Discount of \$1728.00. The Total Price on this Spec Sheet will be \$60626.33 if paid by Credit Card.				

NOTICE: The pricing on this Landscape Specification Sheet will not be honored unless a binding contract is signed within 15 days.	<b>Subtotal</b>	<b>\$ 55,866.00</b>
	<b>Sales Tax</b>	<b>2,941.35</b>
	<b>TOTAL</b>	<b>\$ 58,807.35</b>

**ATTACHMENT 13\_HH-T**

Signature/Date: \_\_\_\_\_ Page 1 Signature/Date: \_\_\_\_\_



**PLANT LEGEND**

- EXISTING TREE or PLANT
- NEW TREE (SPECIES TBD)
- NATAL PLUM BOXWOOD
- RED YUCCA
- KATIE RUELLIA
- TRAILING NATAL PLUM OR DESERT CARPET
- PURPLE MUHLY
- SILVER CLOUD, THUNDER CLOUD, OR HEAVENLY CLOUD SAGE
- RUELLIA BRITTONIANA
- PINK FAIRY DUSTER

**ATTACHMENT 14\_HH-T**

**HAMILTON  
HOMES**



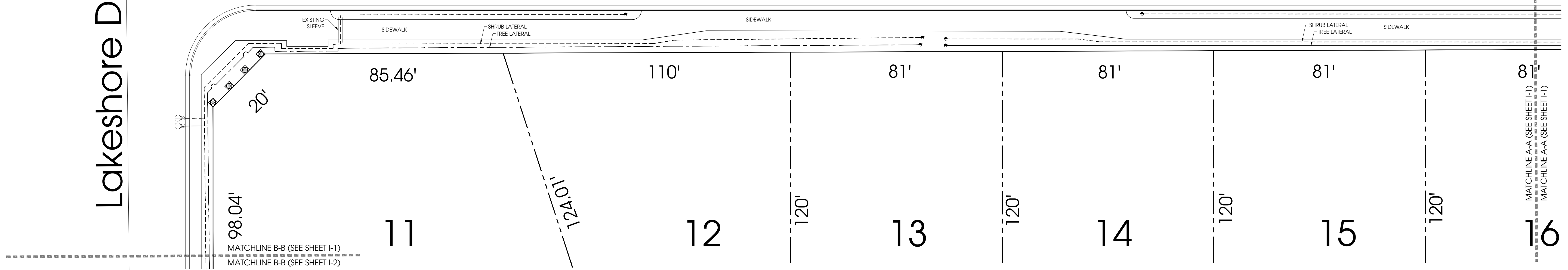
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DESIGNER: RYAN M.

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ROC#: 189791-KA

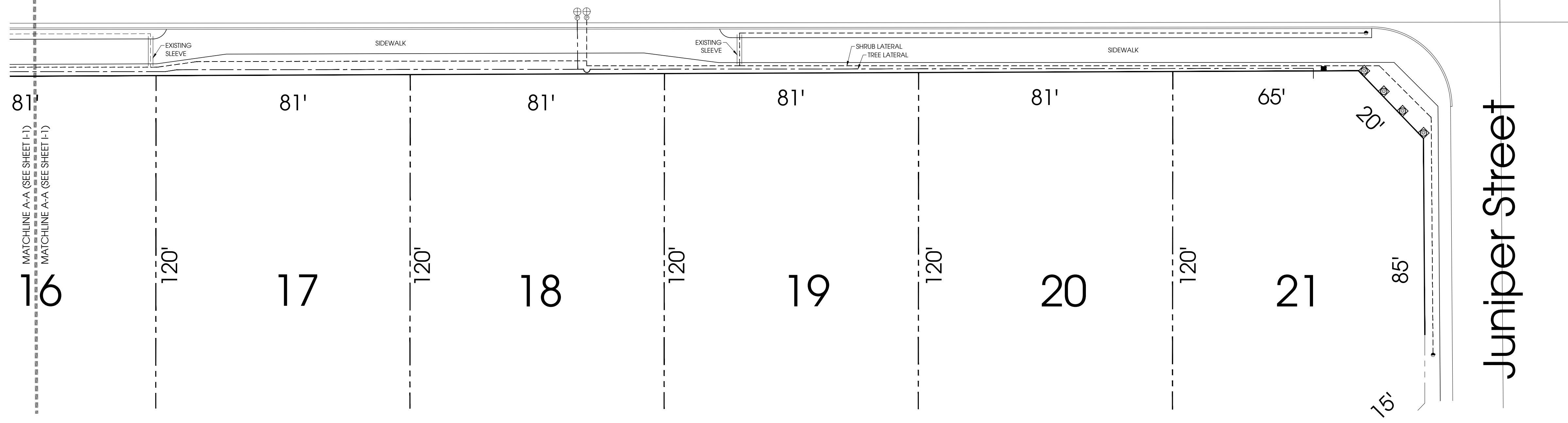
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EST. 1979

Lakeshore Drive

Elliot Road



Elliot Road



Juniper Street

# ATTACHMENT 17\_HH-T

**IRRIGATION LEGEND**

- EXISTING METER
- HUNTER I-CORE-1C-600-M (w/ SOLAR SYNC AND RAIN LICK) IN EXISTING HOUSING
- 1" FEBCO B257A REDUCED PRESSURE BACKFLOW PREVENTER (LOCATED AT METER)
- - - 1" PVC MAINLINE SCH 40 SHRUB LATERAL LINE (1 EMITTER 25GPH PER SHRUB)
- 1" PVC SCH 40 TREE LATERAL LINE (3 EMITTERS 2PH PER TREE)
- HUNTER ICV GATE VALVE (LOCATED AT METER)
- ⊕ HUNTER ICV 1" VALVE CONTROLLED BY HUNTER I-CORE
- ⊕ BATTERY OPERATED 1" VALVE
- FLUSH CAPS
- EMITTER LOCATIONS TO TBD IN FIELD

# HAMILTON HOMES

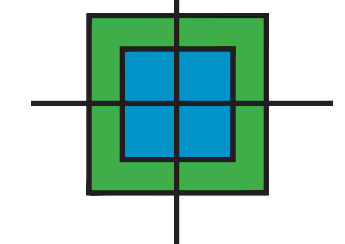


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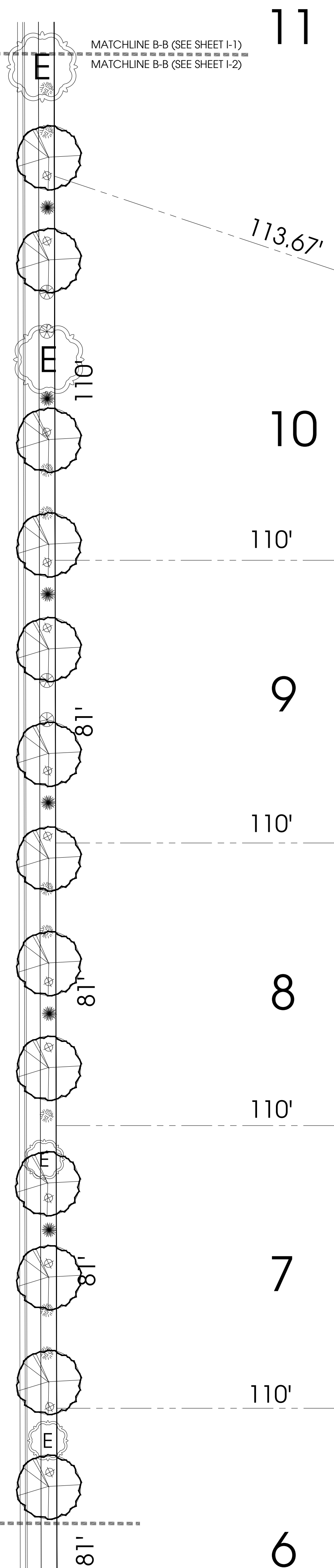
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Lakeshore Drive



11

10

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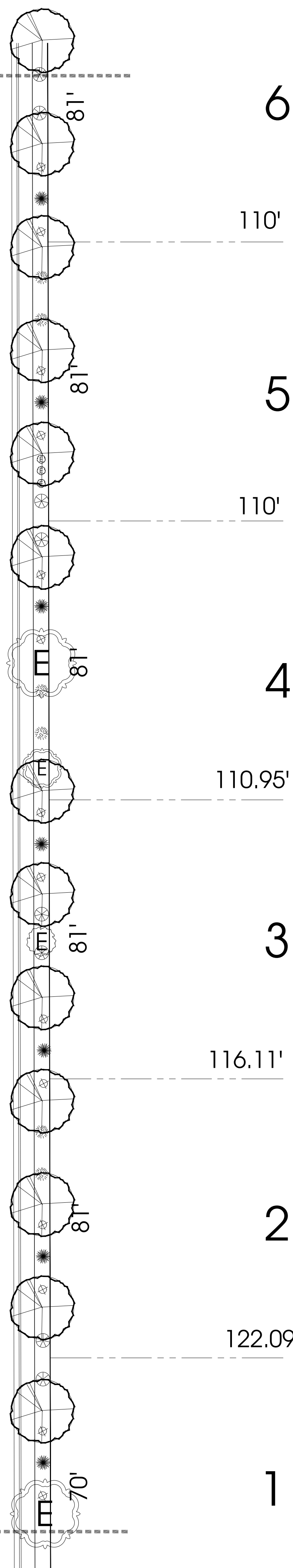
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7

6

MATCHLINE C-C (SEE SHEET I-2)  
MATCHLINE C-C (SEE SHEET I-2)

Lakeshore Drive



6

110'

5

110'

4

110.95'

3

116.11'

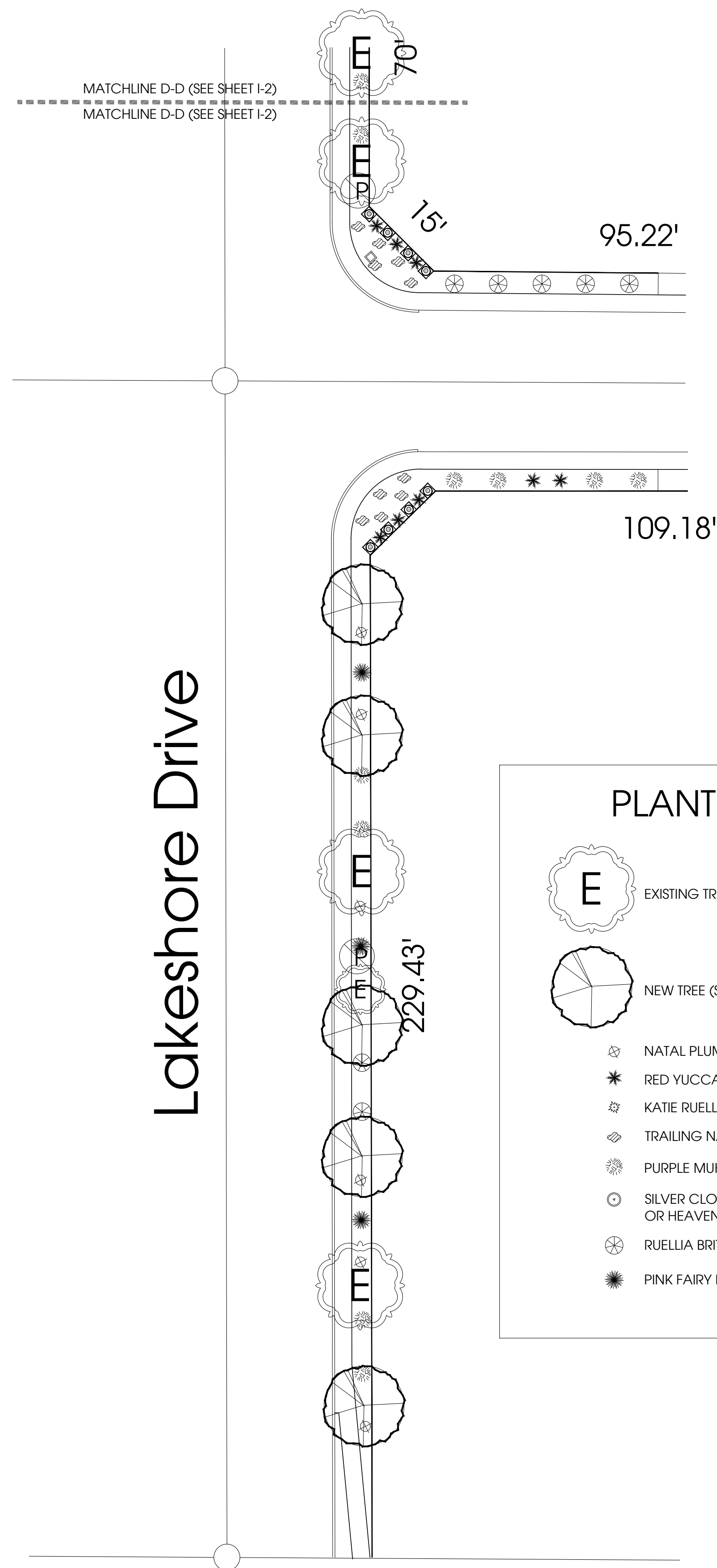
2

122.09'

1

MATCHLINE D-D (SEE SHEET I-2)  
MATCHLINE D-D (SEE SHEET I-2)

Lakeshore Drive



MATCHLINE D-D (SEE SHEET I-2)  
MATCHLINE D-D (SEE SHEET I-2)

PLANT LEGEND

- EXISTING TREE or PLANT
- NEW TREE (SPECIES TBD)
- NATAL PLUM BOXWOOD
- RED YUCCA
- KATIE RUELLIA
- TRAILING NATAL PLUM OR DESERT CARPET
- PURPLE MUHLY
- SILVER CLOUD, THUNDER CLOUD, OR HEAVENLY CLOUD SAGE
- RUELLIA BRITTONIANA
- PINK FAIRY DUSTER

HAMILTON  
HOMES



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L-2

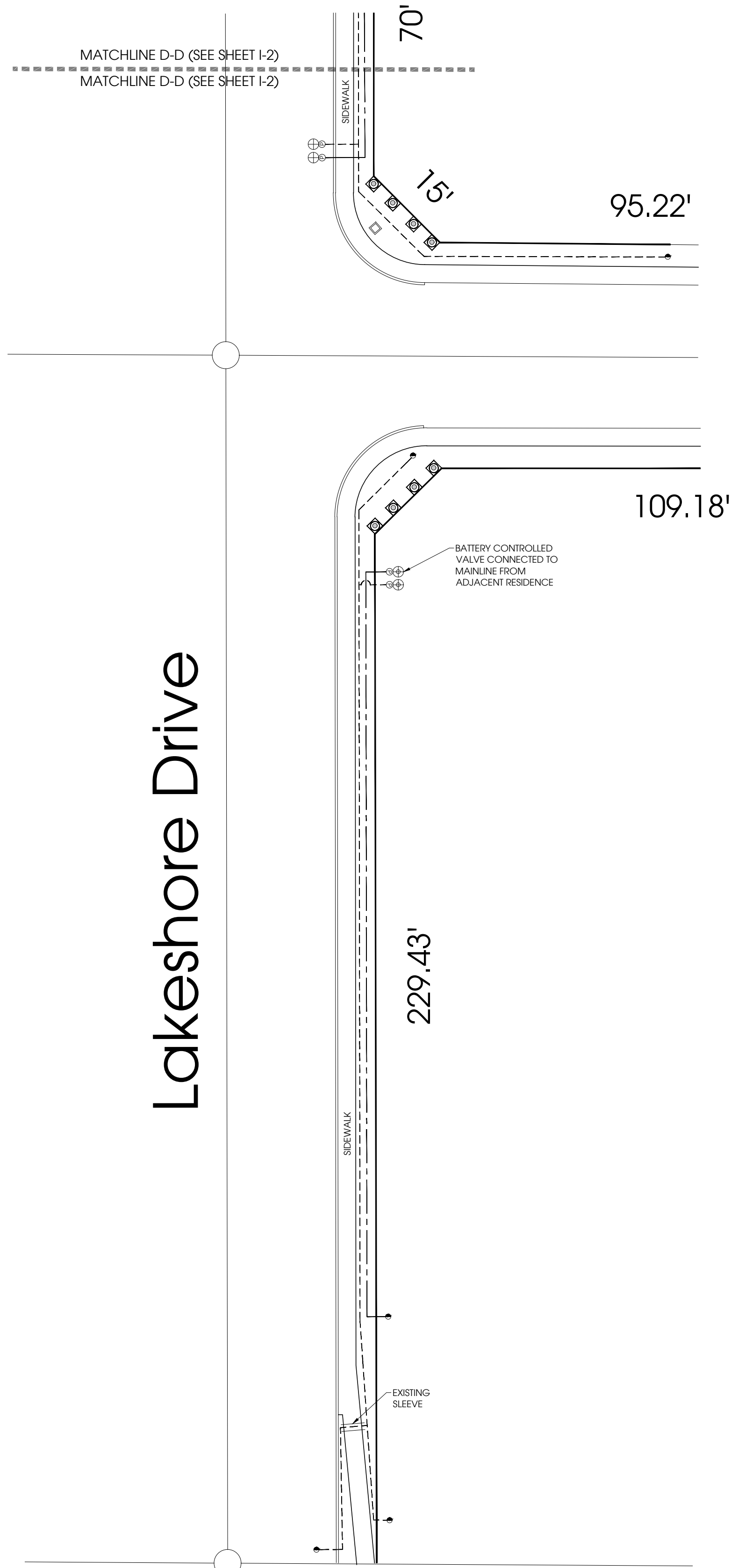
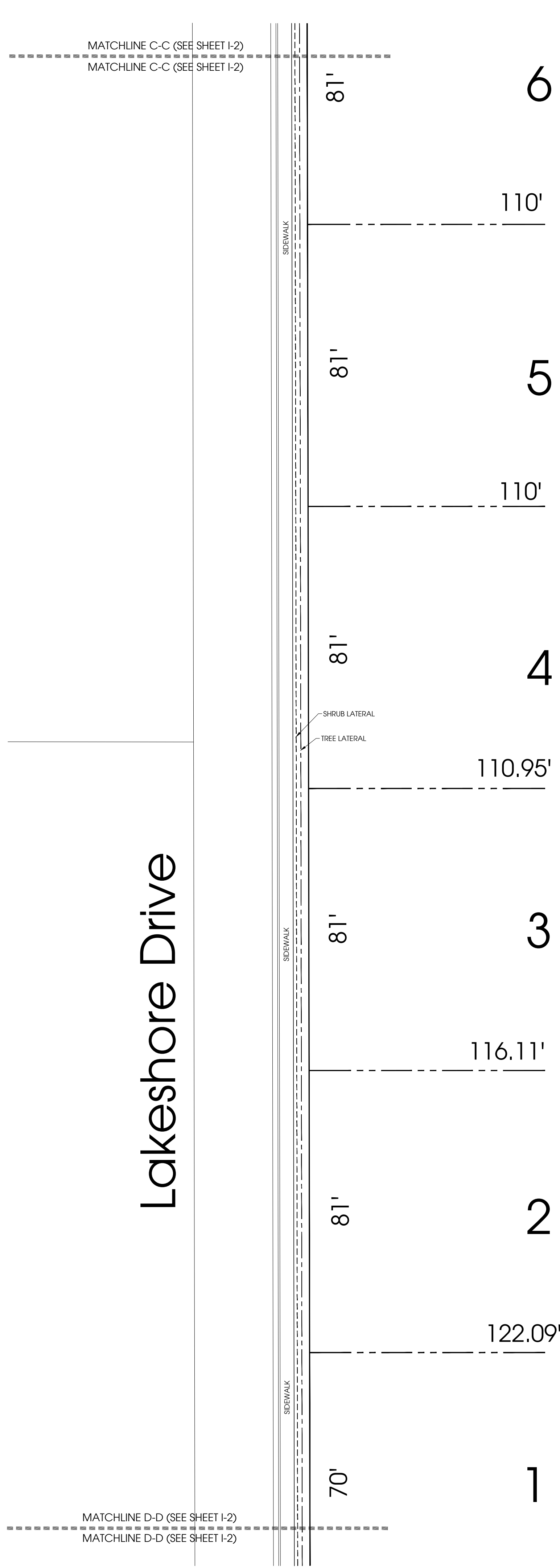
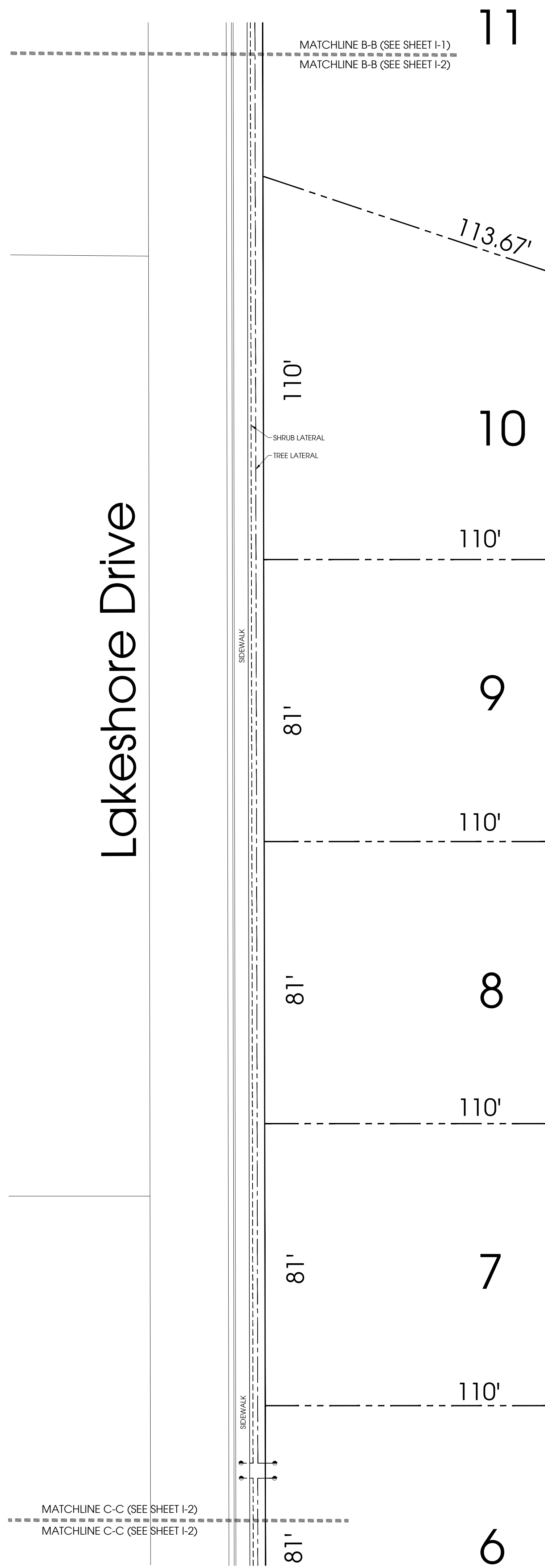
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Lakeshore Drive

Lakeshore Drive

Lakeshore Drive



**IRRIGATION LEGEND**

- EXISTING METER
- HUNTER I-CORE-1C-600M (w/ SOLAR SYNC AND RAIN LCK) IN EXISTING HOUSING
- 1" FIBCO 8257A REDUCED PRESSURE BACKFLOW PREVENTER (LOCATED AT METER)
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- ⊕ BATTERY OPERATED 1" VALVE
- FLUSH CAPS
- EMITTER LOCATIONS TO TBD IN FIELD

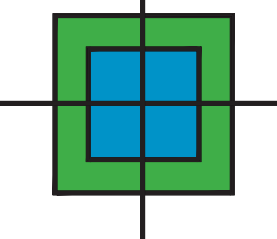
**HAMILTON HOMES**



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DESIGNER: RYAN M.

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ROC#: 189791-KA

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L-1

## Proposal for Extra Work at Hamilton Homes ATTACHMENT 12\_HH-T

Property Name	Hamilton Homes	Contact	Sharon Hansen
Property Address	██████████ ██████████	To	Hamilton Homes
	Tempe, AZ 85284	Billing Address	██

Project Name      Hamilton Homes–Tempe Landscape Grant  
 Project Description      Hamilton Homes–Tempe Landscape Grant

### Scope of Work

QTY	UoM/Size	Material/Description	Unit Price	Total	
<b>Irrigation</b>				<b>Subtotal</b>	<b>\$47,397.65</b>
1.00	EACH	Irrigation smart controller Rain Bird LXME2 Series w/Rain sensor	\$1,481.33	\$1,481.33	
1.00	EACH	Rain Bird Flow sensor	\$1,210.00	\$1,210.00	
1.00	EACH	Install of 2" Rain Bird PEB200 Master Valve	\$493.78	\$493.78	
1.00	EACH	Valve wire, Valve boxes, and wire nuts for Master Valve and Flow Sensor install	\$977.78	\$977.78	
3,257.00	LINEAR FEET	Drip system installation: Install all new valves with drip assembly and valve box, trenching, PVC pipe, flush end cap(s), multi-port emitters, drip tubing to each plant and trees as required.	\$8.36	\$27,228.52	
2,322.00	LINEAR FEET	Tree system installation: Install all new valves with drip assembly and valve box, trenching,PVC pipe, flush end cap(s), multi-port emitters, drip tubing to each plant and trees as required.	\$6.89	\$16,006.24	
<b>Trees and Shrubs</b>				<b>Subtotal</b>	<b>\$24,061.34</b>
354.00	EACH	5gal Shrubs (Lakeshore Dr & Eliot Rd)	\$35.00	\$12,391.56	
31.00	EACH	24" Box Tree (Lakeshore Dr & Eliot Rd)	\$376.44	\$11,669.78	
<b>Refurbish four (4) corner entry features</b>				<b>Subtotal</b>	<b>\$1,264.07</b>
16.00	EACH	5gal Shrub	\$35.00	\$560.07	
16.00	EACH	Irrigation modification	\$44.00	\$704.00	

For internal use only

SO#                    8040104  
 JOB#                394100043  
 Service Line        150

**Total Price**                    \$72,723.06

**THIS IS NOT AN INVOICE**

This proposal is valid for thirty (30) days unless otherwise approved by Contractor's Senior Vice President  
 , Mesa, AZ 85215 ph. fax

## TERMS & CONDITIONS

1. The Contractor shall recognize and perform in accordance with written terms, written specifications and drawings only contained or referred to herein. All materials shall conform to bid specifications.
2. **Work Force:** Contractor shall designate a qualified representative with experience in landscape maintenance/construction upgrades or when applicable in tree management. The workforce shall be competent and qualified, and shall be legally authorized to work in the U.S.
3. **License and Permits:** Contractor shall maintain a Landscape Contractor's license, if required by State or local law, and will comply with all other license requirements of the City, State and Federal Governments, as well as all other requirements of law. Unless otherwise agreed upon by the parties or prohibited by law, Customer shall be required to obtain all necessary and required permits to allow the commencement of the Services on the property.
4. **Taxes:** Contractor agrees to pay all applicable taxes, including sales or General Excise Tax (GET), where applicable.
5. **Insurance:** Contractor agrees to provide General Liability Insurance, Automotive Liability Insurance, Worker's Compensation Insurance, and any other insurance required by law or Customer, as specified in writing prior to commencement of work. If not specified, Contractor will furnish insurance with \$1,000,000 limit of liability.
6. **Liability:** Contractor shall not be liable for any damage that occurs from Acts of God defined as extreme weather conditions, fire, earthquake, etc. and rules, regulations or restrictions imposed by any government or governmental agency, national or regional emergency, epidemic, pandemic, health related outbreak or other medical events not caused by one or other delays or failure of performance beyond the commercially reasonable control of either party. Under these circumstances, Contractor shall have the right to renegotiate the terms and prices of this Contract within sixty (60) days.
7. Any illegal trespass, claims and/or damages resulting from work requested that is not on property owned by Customer or not under Customer management and control shall be the sole responsibility of the Customer.
8. **Subcontractors:** Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.
9. **Additional Services:** Any additional work not shown in the above specifications involving extra costs will be executed only upon signed written orders, and will become an extra charge over and above the estimate.
10. **Access to Jobsite:** Customer shall provide all utilities to perform the work. Customer shall furnish access to all parts of jobsite where Contractor is to perform work as required by the Contract or other functions related thereto, during normal business hours and other reasonable periods of time. Contractor will perform the work as reasonably practical after the Customer makes the site available for performance of the work.
11. **Payment Terms:** Upon signing this Agreement, Customer shall pay Contractor 50% of the Proposed Price and the remaining balance shall be paid by Customer to Contractor upon completion of the project unless otherwise, agreed to in writing.
12. **Termination:** This Work Order may be terminated by the either party with or without cause, upon seven (7) workdays advance written notice. Customer will be required to pay for all materials purchased and work complete to the date of termination and reasonable charges incurred in demobilizing.
13. **Assignment:** The Customer and the Contractor respectively, bind themselves, their partners, successors, assignees and legal representative to the other party with respect to all covenants of this Agreement. Neither the Customer nor the Contractor shall assign or transfer any interest in this Agreement without the written consent of the other provided, however, that consent shall not be required to assign this Agreement to any company which controls, is controlled by, or is under common control with Contractor or in connection with assignment to an affiliate or pursuant to a merger, sale of all or substantially all of its assets or equity securities, consolidation, change of control or corporate reorganization.
14. **Disclaimer:** This proposal was estimated and priced based upon a site visit and visual inspection from ground level using ordinary means, at or about the time this proposal was prepared. The price quoted in this proposal for the work described, is the result of that ground level visual inspection and therefore our company will not be liable for any additional costs or damages for additional work not described herein, or liable for any incidents/accidents resulting from conditions, that were not ascertainable by said ground level visual inspection by ordinary means at the time said inspection was performed. Contractor cannot be held responsible for unknown or otherwise hidden defects. Any corrective work proposed herein cannot guarantee exact results. Professional engineering, architectural, and/or landscape design services ("Design Services") are not included in this Agreement and shall not be provided by the Contractor. Any design defects in the Contract Documents are the sole responsibility of the Customer. If the Customer must engage a licensed engineer, architect and/or landscape design professional, any costs concerning these Design Services are to be paid by the Customer directly to the designer involved.

15. **Cancellation:** Notice of Cancellation of work must be received in writing before the crew is dispatched to their location or Customer will be liable for a minimum travel charge of \$150.00 and billed to Customer.

The following sections shall apply where Contractor provides Customer with tree care services:

16. **Tree & Stump Removal:** Trees removed will be cut as close to the ground as possible based on conditions to or next to the bottom of the tree trunk. Additional charges will be levied for unseen hazards such as, but not limited to concrete brick filled trunks, metal rods, etc. If requested mechanical grinding of visible tree stump will be done to a defined width and depth below ground level at an additional charge to the Customer. Defined backfill and landscape material may be specified. Customer shall be responsible for contacting the appropriate underground utility locator company to locate and mark underground utility lines prior to start of work. Contractor is not responsible damage done to underground utilities such as but not limited to, cables, wires, pipes, and irrigation parts. Contractor will repair damaged irrigation lines at the Customer's expense.
17. **Waiver of Liability:** Requests for crown thinning in excess of twenty-five percent (25%) or work not in accordance with ISA (International Society of Arboricultural) standards will require a signed waiver of liability.

### Acceptance of this Contract

By executing this document, Customer agrees to the formation of a binding contract and to the terms and conditions set forth herein. Customer represents that Contractor is authorized to perform the work stated on the face of this Contract. If payment has not been received by Contractor per payment terms hereunder, Contractor shall be entitled to all costs of collection, including reasonable attorneys' fees and it shall be relieved of any obligation to continue performance under this or any other Contract with Customer. Interest at a per annum rate of 1.5% per month (18% per year), or the highest rate permitted by law, may be charged on unpaid balance 15 days after billing.

**NOTICE: FAILURE TO MAKE PAYMENT WHEN DUE FOR COMPLETED WORK ON CONSTRUCTION JOBS, MAY RESULT IN A MECHANIC'S LIEN ON THE TITLE TO YOUR PROPERTY**

Customer

	<b>HOA President</b>
Signature	Title
<b>Sharon Hansen</b>	<b>February 14, 2023</b>
Printed Name	Date

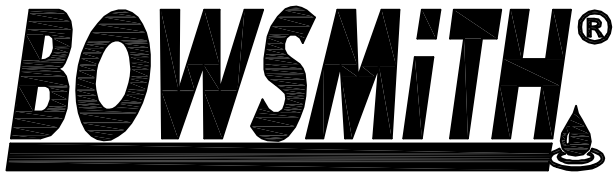
**BrightView Landscape Services, Inc. "Contractor"**

**Account Manager**

	<b>February 14, 2023</b>
Signature	Title
<b>Miguel Vazquez-wolf</b>	<b>February 14, 2023</b>
Printed Name	Date

**Job #: 394100043**

**SO #: 8040104      Proposed Price: \$72,723.06**



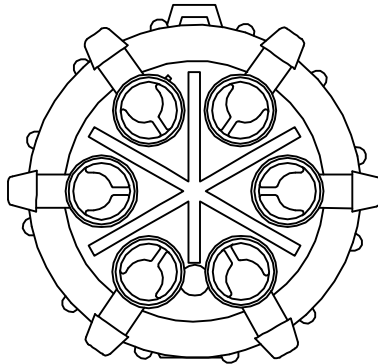
BOWSMITH, INC.  
P.O. BOX 428



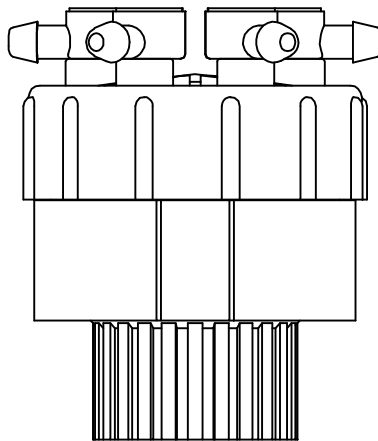
www.bowsmith.com

ML200 SERIES

## ATTACHMENT 15\_HH-T



TOP VIEW



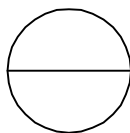
SIDE VIEW

STOCK NO.	MODEL NO.	NOMINAL FLOW*
7068	ML206 (GREEN CAP)	0.6 GPH (2.3 LPH)
7069	ML210 (BLUE CAP)	1.0 GPH (3.8 LPH)
7071	ML220 (RED CAP)	2.0 GPH (7.6 LPH)

\*NOMINAL FLOW AT 20 PSI

### NOTES:

1. SIX OPEN OUTLETS. EACH MAINTAINS FLOW PATH.
2. 1/2" FPT INLET.
3. INCLUDES FULL SET (6 EACH) OF ELBOW/OUTLET CAPS, AND LINE PLUGS.
4. ONE-PIECE ELBOW/OUTLET CAP FIXES POSITION OF ELBOW TO PREVENT IT FROM COMING LOOSE IN APPLICATION. 0.175" BARB FOR SECURE ATTACHMENT OF SPREADER TUBING.
5. THE ELBOW IS EASILY REVERSED TO CAP OFF ANY UNUSED OUTLETS.
6. LINE PLUGS CAN BE PLACED IN THE END OF THE SPREADER TUBES TO HELP KEEP BUGS OUT, BUT STILL ALLOW PASSAGE OF WATER.
7. DO NOT SCALE DRAWING.
8. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
9. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
10. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 4897-013.



## DRIP EMITTERS

ML200 SERIES NONSTOP EMITTER

# I-CORE®

Flow monitoring and two-wire capabilities make I-Core an ideal fit for standalone midsize commercial and high-end residential projects.

## KEY BENEFITS

- Number of stations:
  - Conventional: 6 to 30 (plastic), 6 to 42 (metal and pedestals)
  - With DUAL® decoder: up to 48
- 4 independent irrigation programs (8 start times each) allow for customized scheduling
- 12-hour maximum station run time provides flexibility for lower-flow zones
- Any 2 programs can operate simultaneously for more efficient watering
- Sensor inputs:
  - 2 (plastic)
  - 3 (metal and pedestals)
- 1 P/MV output for pump start relay and master valve activation
- Flow-monitoring capabilities provide real-time water usage data
- Programmable No Water Window prevents all irrigation for a specified time frame
- High-visibility, backlit display with 6 selectable languages

## OPERATING SPECIFICATIONS

- Transformer input: 120/230 VAC
- Transformer output (24 VAC): 1.4 A
- Station output (24 VAC): 0.56 A
- P/MV output (24 VAC): 0.28 A
- Approvals: Plastic Wall Mount IP44, Metal IP56, Plastic Pedestal IP34, NEMA 3R, UL, cUL, FCC, CE, RCM
- Warranty period: 5 years



### Plastic Wall Mount

Height: 11"  
Width: 13¼"  
Depth: 6¼"

### Metal Wall Mount

(gray or stainless steel)  
Height: 12¾"  
Width: 15½"  
Depth: 6½"



### Plastic Pedestal

Height: 39"  
Width: 24"  
Depth: 17"



### Metal Pedestal

(gray or stainless steel)  
Height: 36"  
Width: 15½"  
Depth: 5"

I-CORE	
Model	Description
IC-600-PL	Base 6-station controller, indoor/outdoor, plastic cabinet
IC-600-M	Base 6-station controller, indoor/outdoor, metal cabinet
IC-600-PP	Base 6-station controller, indoor/outdoor, plastic pedestal
IC-600-SS	Base 6-station controller, indoor/outdoor, stainless steel cabinet
ICM-600	6-station plug-in expansion module
ACC-PED	Metal pedestal, gray powder-coated, for use with I-Core and ACC metal controllers
PED-SS	Stainless steel pedestal for use with I-Core and ACC stainless steel controllers

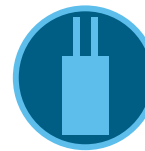
  

DUAL	
Model	Description
DUAL48M	DUAL decoder output module, up to 48-stations maximum
DUAL-1	DUAL 1-station decoder (includes 2 DBRY-6 connectors)
DUAL-2	DUAL 2-station decoder (includes 2 DBRY-6 connectors)
DUAL-S	DUAL surge arrester (includes 4 DBRY-6 connectors)

Compatible with:



**Solar Sync  
Sensor**  
Page 136



**DUAL Decoder**  
Page 125



**Flow-Sync  
Sensor**  
Page 138  
**WFS Sensor**  
Page 139



### EPA WaterSense

Add the WaterSense-labeled Solar Sync sensor to improve the water efficiency of this controller.

*This dependable valve works seamlessly with highly demanding systems.*

## KEY BENEFITS

- Optional Filter Sentry® Mechanism scours the filter screen in dirty water conditions
- External/internal manual bleed allows for quick and easy activation at the valve
- Glass-filled nylon construction provides high pressure rating and reliability
- Double-beaded diaphragm seal design ensures leak-free performance
- Fabric-reinforced EPDM diaphragm and seat ensure greater performance in all water conditions
- Captive bonnet screws eliminate the possibility of lost parts during disassembly
- Triple-tool bonnet screws are compatible with standard or Phillips screwdrivers as well as a nut driver
- Encapsulated solenoid with captive plunger used on every Hunter valve provides hassle-free service
- Flow control maximizes efficiency and prolongs the life of the system

## USER-INSTALLED OPTIONS

- Accu Sync® Pressure Regulator at the valve
- DC-Latching Solenoid for battery-operated controllers (P/N 458200)
- Filter Sentry easily added to an installed valve\*
- Solenoid conduit cover (P/N 464322)

## FACTORY-INSTALLED OPTIONS

- LS: Valve without solenoid
- DC: DC-Latching Solenoid for battery-operated controllers
- FS: Filter Sentry
- FS-R: Reclaimed option with Filter Sentry, purple control knob, and purple chlorine-resistant diaphragm

## OPERATING SPECIFICATIONS

- Flow:
  - ICV-101G: 0.1 to 40 GPM
  - ICV-151G: 0.1 to 150 GPM
  - ICV-201G: 0.1 to 200 GPM
  - ICV-301: 0.1 to 300 GPM
- Recommended pressure range: 20 to 220 PSI
- Temperature rating: 150°F
- Warranty period: 5 years

## SOLENOID SPECIFICATIONS

- 24 VAC solenoid
  - 350 mA inrush, 190 mA holding, 60 Hz
  - 370 mA inrush, 210 mA holding, 50 Hz
- Accu Sync product information



### ICV-101G

Inlet diameter: 1"  
Height: 5½"  
Length: 4¾"  
Width: 4"



### ICV-151G

Inlet diameter: 1½"  
Height: 7⅞"  
Length: 6⅞"  
Width: 5½"



### ICV-201G

Inlet diameter: 2"  
Height: 7⅞"  
Length: 6⅞"  
Width: 5½"



### ICV-301

Inlet diameter: 3"  
Height: 10¾"  
Length: 9"  
Width: 7¾"



### ICV-R

Inlet diameter: 1", 1½", 2", and 3"  
Height: 7⅞"  
Length: 6⅞"  
Width: 5½"

**Double-Beaded Diaphragm**



**Filter Sentry**

**ICV 1", 1½", 2", & 3" - SPECIFICATION BUILDER: ORDER 1 + 2 + 3 + 4**

1 Model	2 Standard Features	3 Feature Options	4 User Installed Options
<b>ICV-101G</b> = 1" <b>ICV-151G</b> = 1½" <b>ICV-201G</b> = 2" <b>ICV-301</b> = 3"	Globe valve with flow control  Globe / Angle valve with flow control	<b>(blank)</b> = No option <b>FS</b> = Filter Sentry <b>FS-R</b> = Filter Sentry purple reclaimed diaphragm and ID tag <b>DC</b> = DC-Latching Solenoid for battery-operated controllers <b>LS</b> = Less solenoid	<b>AS-ADJ</b> = Adjustable Accu Sync Pressure Regulator <b>458200</b> = DC-Latching Solenoid for battery-operated controllers <b>561205</b> = Reclaimed flow control handle angle (1", 1½", 2" only) <b>LIT-700</b> = Reclaimed ID tag

**Example:**

ICV-201G-AS-ADJ = 2" ICV globe valve with flow control, user-installed adjustable Accu Sync Pressure Regulator

**ICV PRESSURE LOSS  
(AT OPTIMAL FLOWS) IN PSI**

Flow (GPM)	1" Globe	1½" Globe	2" Globe	3" Globe	3" Angle
0.1	2.0				
0.5	2.0				
1	2.0				
5	2.5				
10	3.0				
15	3.0				
20	3.0	1.5			
30	9.0	1.5			
40	20.0	1.7	0.8		
50		2.2	1.2		
60		3.0	1.7		
75		3.9	2.4		
90		5.5	3.2		
100		7.0	4.2		
120		10.9	6.5		
135		12.7	7.9		
150		16.2	9.8	2.5	1.9
175			13.3	3.0	2.4
200			17.7	4.1	3.3
225				5.3	4.3
250				6.7	5.5
275				8.3	6.9
300				10.1	8.5

**Double-Beaded Chlorine-Resistant Diaphragm**

**Filter Sentry**

**Captive Bonnet Bolts**



Job Name \_\_\_\_\_

Contractor \_\_\_\_\_

Job Location \_\_\_\_\_

Approval \_\_\_\_\_

Engineer \_\_\_\_\_

Contractor's P.O. No. \_\_\_\_\_

Approval \_\_\_\_\_

Representative \_\_\_\_\_

# Series 825Y

## Reduced Pressure Zone Assemblies

Size: 3/4" - 2" (20mm - 50mm)

The FEBCO Series 825Y Reduced Pressure Zone Assemblies are used to protect against high hazard (toxic) fluids in water services to industrial plants, hospitals, morgues, mortuaries, and chemical plants. They are also used in irrigation systems, boiler feed, water lines and other installations requiring maximum protection.

### Features

- Ultimate mechanical protection of potable water, against hazards of cross-connection contamination.
- Meets all specifications of AWWA, ASSE, and CSA.
- Approved by the Foundation of Cross-Connection Control and Hydraulic Research at the University of Southern California.
- Modular relief valve for ease of maintenance.
- Simple Service procedures. All internal parts serviceable in line.
- Low head loss.
- Spring loaded "Y" type check valves.
- Internal relief valve pressure sensing passages.
- Replaceable seat rings on all sizes.
- End connection – NPT ANSI / ASME B1.20.1

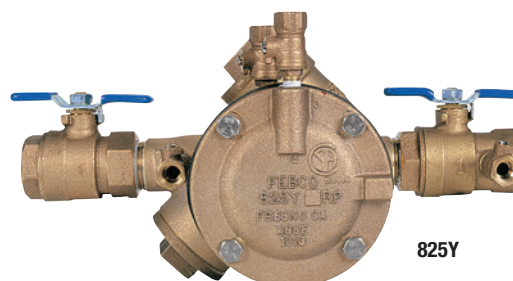
### Specifications

The reduced pressure zone assembly shall consist of two independently operating, spring loaded, "Y" pattern check valves and one hydraulically dependent differential relief valve. The assembly shall automatically reduce the pressure in the "zone" between the check valves to at least 5psi lower than inlet pressure. Should the differential between the upstream and the zone of the unit drop to 2psi, the differential relief valve shall open and maintain the proper differential.

Mainline valve body and caps including relief valve body and cover shall be bronze. Check valve moving member shall be center stem guided. All hydraulic sensing passages shall be internally located within the mainline and relief valve bodies and relief valve cover. Diaphragm to seat area ratio shall be 10:1 minimum. Relief valve shall have a removable seat ring. Check valve and relief valve components shall be constructed so they may be serviced without removing the valve body from the line. All seat discs shall be reversible. Shutoff valves and test cocks shall be full ported ball valves.

The assembly shall be rated to 175psi (12.1 bar) working pressure and water temperature range from 32°F to 140°F (0°C - 60°C).

The assembly shall meet the requirements of ASSE Standard 1013; AWWA Standard Code C511; CSA Standard B64.4; and approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.



### Operation

In a flow condition the check valves are open with the pressure between the checks, called the zone, being maintained at least 5.0psi lower than the inlet pressure and the relief valve is maintained closed.

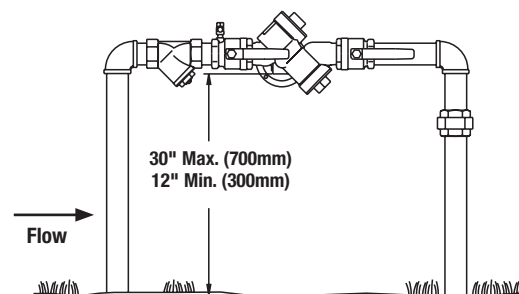
Should abnormal conditions arise under no flow or reversal of flow, the differential relief valve will open and discharge to maintain the zone at least 2psi lower than the supply.

When normal flow resumes, the zone's differential pressure will resume and the relief valve will close.

### Typical Installation

Reduced pressure zone assemblies should be installed with minimum clearance of 12" (300mm) between relief valve discharge port and floor or grade. They must be installed where discharge will not be objectionable and can be positively drained away. They should be installed where easily accessible for testing and maintenance and must be protected from freezing. Thermal water expansion and/or water hammer downstream of the backflow preventer can cause excessive pressure. Excessive pressure situations should be eliminated to avoid possible damage to the system and assembly.

Refer to local codes for specific installation requirements. Some codes may prohibit vertical installation.

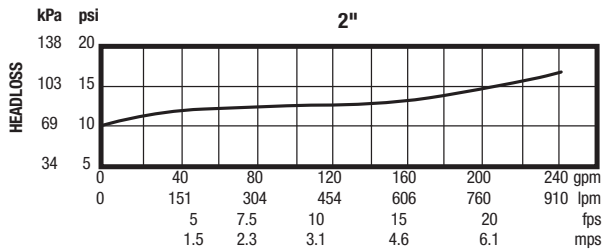
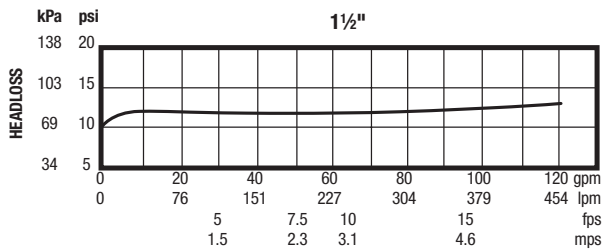
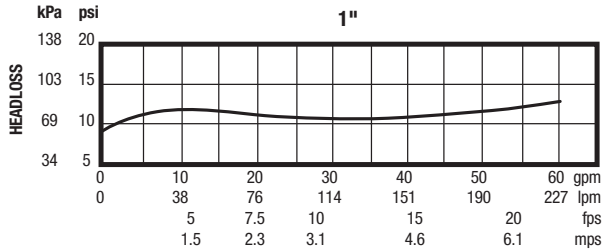
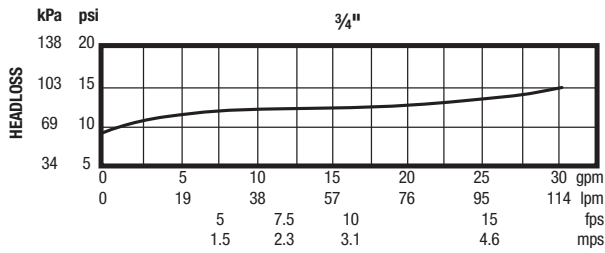


### WARNING

It is illegal to use this product in any plumbing system providing water for human consumption, such as drinking or dishwashing, in the United States. Before installing standard material product, consult your local water authority, building and plumbing codes.



## Capacity



## Dimensions – Weights

Size: 3/4" - 2"

SIZE	DIMENSIONS										WEIGHT	
	A		B*		C		D		E		lbs.	kgs.
in.	mm	in.	mm	in.	mm	in.	mm	in.	mm			
3/4	12	305	7 3/4	197	3 1/4	83	3 1/4	83	4 1/8	105	11.5	5.2
1	12 3/4	324	7 3/4	197	3 1/4	83	3 1/4	83	4 1/8	105	12.5	5.7
1 1/2	17	432	10 1/2	267	4 1/2	114	4 1/2	114	5	127	26.5	12.0
2	17 3/4	451	10 1/2	267	4 1/2	114	4 1/2	114	5	127	29.0	13.0

\* B Dimension is less shutoffs

### NOTICE

Weights shown are approximate. Dimensions shown are nominal, allowance must be made for normal manufacturing tolerances.



A WATTS Brand

## Temperature – Pressure

Maximum working pressure: 175psi (12.1 bar)

Hydrostatic test pressure: 350psi (24.1 bar)

Temperature range: 32°F to 140°F (0°C to 60°C)

## Materials

Main valve body: Bronze

Relief valve body: Bronze

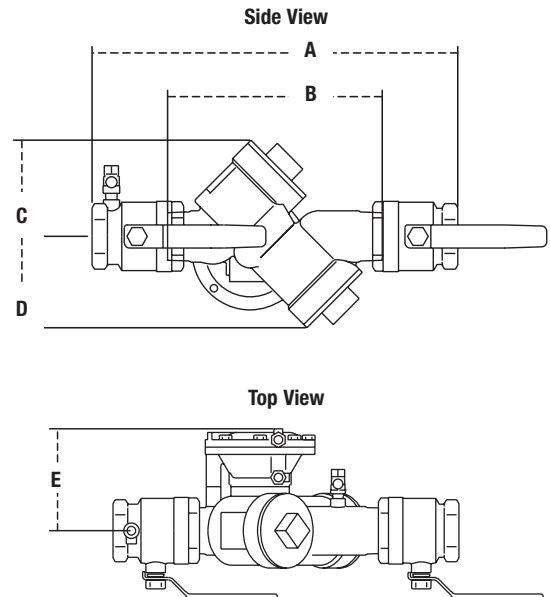
Elastomers: Nitrile Seat Discs

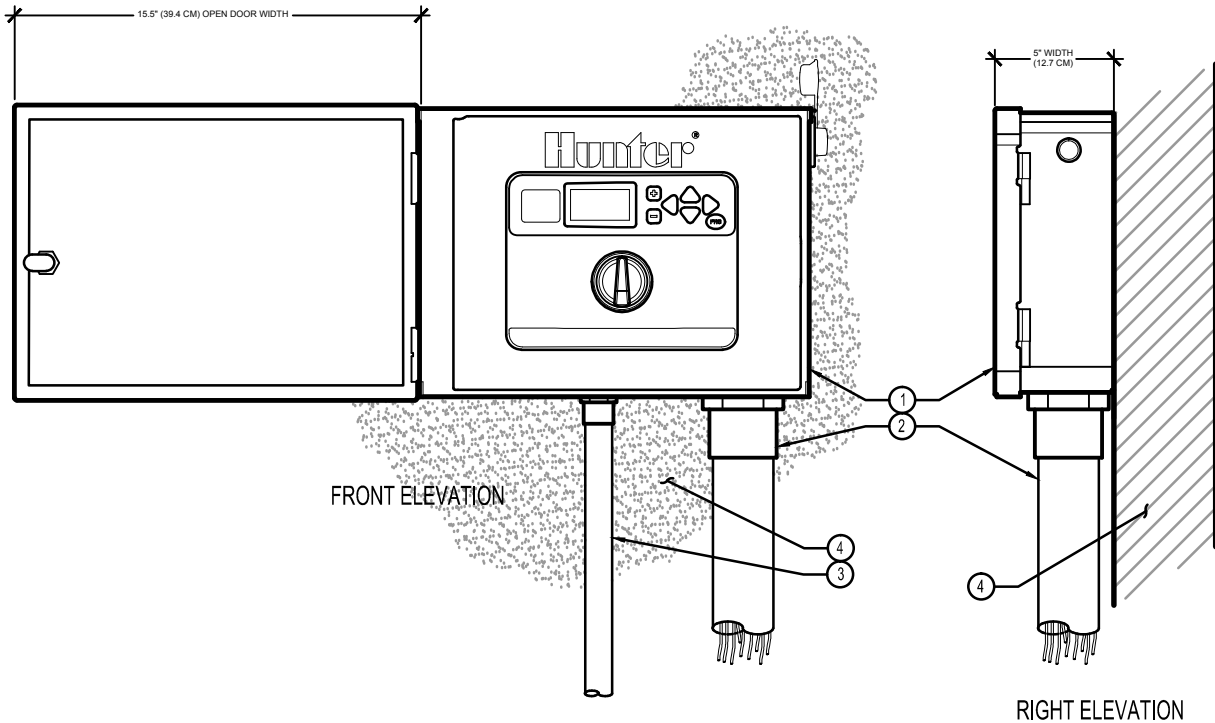
Diaphragms: Nitrile, fabric reinforced

Springs: Stainless Steel

## Approvals – Standards

- Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.
- AWWA C511 Conformance





- LEGEND:**
- ① IRRIGATION CONTROLLER (1 CORE) PER PLAN
  - ② IRRIGATION CONTROL WIRE IN CONDUIT  
SIZE AND TYPE PER LOCAL CODES
  - ③ ELECTRICAL SUPPLY CONDUIT  
CONNECT TO POWER SOURCE, J-BOX INSIDE  
CONTROLLER
  - ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE  
MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL,  
CONTROLLER SHALL BE HARD-WIRED TO GROUNDED  
110 VAC POWER SOURCE

# ATTACHMENT 16\_HH-T



## Hamilton Homes

February 21,2023

Prepared for:  
Hamilton Homes-Tempe HOA

Property location:  
Tempe Arizona 85249



Hamilton Homes-Tempe  
Attn: Dr. Sharon A. Hansen  
President  
Hamilton Homes-Tempe HOA  
Tempe, Arizona 85284

Creative Environments



Re: Hamilton Homes –Tempe  
Request for Design Proposals - Landscape Architectural Plans for Phase 1 Perimeter  
Land- scape Upgrading

February 21, 2023

Sharon,

We greatly appreciate the opportunity to provide you with the following proposal for the Landscape Architectural plans for the Phase 1 Perimeter Landscape Upgrading of the Hamilton Homes-Tempe community. As you have stated during our initial discussion, Hamilton Homes is applying for the 2023 City of Tempe Neighborhood Grant, Hamilton Homes will be needing Landscape Architectural drawings to be filed and approved by the City of Tempe. We fully understand the value of maintaining and enhancing the overall aesthetics and experience within your neighborhood.

Based upon the brief request that we received from you last December, along with all the information we were given after the RFP brief, we have outlined our scope of landscape design services to include the following tasks:

### **SCOPE OF WORK**

#### **Task A – Preliminary Landscape Plan**

Based upon the direction provided and scope of work requested in the RFP, Creative Environments (CE) will provide a preliminary landscape / hardscape and grading plan that will illustrate the following landscape / hardscape items for consideration:

- A. Proposed locations of trees, shrubs and ground cover plantings with accompanying landscape plant schedule. Note that all plant material selected with by low water use plants.
- B. Location of all existing trees and vegetation deemed to remain in place.
- C. Proposed locations of new and existing hardscape and amenity items such as, but not limited to:
  - Landscape accent mounding and boulders.
  - Refurbished corner entry feature planting areas (plants to be provided by chosen Landscape Contractor).
- D. Proposed Irrigation Plans for the perimeter Landscape in Phase 1.



- E. Prepare a opinion of probable cost of all items illustrated in the preliminary landscape / hardscape and grading plan to aid in budgeting/ phasing and construction implementation.
- F. Present the above plan to the Hamilton Homes-Tempe HOA Board of approving party, for consideration, review and comment.





Corner Entry Landscape 1

- E Elliot Road and Juniper Street



Corner Entry Landscape 2 and 3:

- S. Lakeshore Drive and East Vinedo Lane





Corner Entry Landscape 4

- E Elliot Road and S. Lakeshore Drive



Perimeter Landscape Upgrade:

- E. Elliot and S. Lakeshore Drive



### **Task B – Landscape Architectural Drawings**

- A. Based upon any review comments and revisions to the preliminary landscape plan generated from the presentation, CE will provide Landscape Architectural Documents for City of Tempe approval purposes. These documents will include the following:
1. Landscape cover notes and schedules.
  2. Landscape demolition plan if applicable
  3. Landscape planting plan.
  4. Landscape irrigation plan.
  5. Landscape planting and irrigation details.
  6. Hardscape layout plans and details if applicable
  7. Landscape construction specifications.
  8. Provide revisions to the plans per consultant / client coordination efforts
  9. Accommodate 2 submittals revision to the City of Tempe and the HOA approval team in order to obtain landscape improvement plan approval.

### **Task C – Meetings and Coordination**

CE will attend meetings and coordinate with the City of Tempe, Architect, Civil Engineer, and other Consultants as necessary on an hourly basis of \$150 per hour.

### **Task D – Construction and Contract Administration**

The following services will be provided to ensure landscape construction completeness and adherence to the landscape plans prepared in Task B.

- i. On-site review and approval of hardscape and amenity layout/ staking prior to installation of hardscape and amenities by selected landscape contractor.
- ii. Tagging trees at designated nurseries prior to deliver and installation. Contractor to provide Landscape Architect with at least 72 hour notice prior to plant load & delivery.
- iii. Review and approval of material submittals (provided by selected contractor) prior to start of construction.
- iv. Review and approval of plant layout prior to installation.
- v. Substantial completion walk-through with owner's rep. and selected landscape contractor
- vi. Final completion walk-through with owner's rep. and selected landscape contractor
- vii. Punch lists will be generated at each walk-through and sent to owner's rep. for distribution to the selected contractor(s).
- viii. Any additional CA services provided will be billed at a rate of \$120/ hour.







**Creative Environments Design Team**

The following team members will be participating in the services mentioned in this proposal.

- Sherilyn Ocampo-Palisoc: Chief Creative Officer (Team Captain / Project Director)
- Jeff Strehlow: Senior Design Project Manager (Design and Project Construction Coordination)
- Kamryn Wells: Junior Landscape Designer (Design, CAD and graphics support)
- Nathan Rhodes: Senior Technical Designer (CAD and Construction Documentation)

**FEES**

Proposal Cost Breakdown:

Project Orientation	included
Task A: Preliminary Landscape Plan	\$ 4,000.00
Task B: Landscape Architectural Drawings	\$ 6,500.00
Task C: Meetings and Coordination	hourly
Task D: Construction and Contract Administration	\$ 1,500.00

The total cost for design services is \$12,000. The payment schedule is \$4,000 retainer fee due at proposal signing, \$2,000 due at the completion of Task A, \$4,500 due at completion of Task B, and \$1,500 due at completion of Task D.

**Note: 25% of the fees paid to Creative Environments for design services shall be deducted from balance of construction contract if selected as the primary landscape contractor (pool construction, hardscape features, etc).** It is our goal to be a member of a complete design/build team which carries the project through from conceptual design to complete exterior construction (pool/spa, driveway, decks, landscape, water features, lighting, etc.).

**ITEMS NOT INCLUDED**

**Civil Engineering, Architectural Design, Electrical, Mechanical, and Plumbing and Structural Engineering services, Municipality and HOA submittal fees, Permit fees, Native Plant Inventory or Plant Salvage Plans.**



## Reference / Project Examples:

Creative Environments

### Calliandra Estates

Located within the San Tan Character Area of Gilbert, which is known for its Agrarian history and the San Tan Mountains to the south, this charming community is one of the newest enclave communities in the southeast valley. Calliandra Estates is an elegant neighborhood which contains plenty of open space, walking trails, and a large community park which includes a community club house and pavilion. Creative Environments was involved within the design and installation phases of the community.



Dorada Estates

Set in a serene open setting located at the border of Gilbert and Queen Creek, Dorada Estates is a nice family-oriented, walkable community located near SanTan Village and the newly developed Queen Creek Market Place. The community features a central park and boasts several amenity features that provide a safe place for children to play and for families and friends to spend time together. Creative Environments was involved within the design and installation phases of the community.



Seville

Overlooking the Seville Golf Course with views of the San Tan Mountains, Legacy at Seville is a 61 home site community that is currently under construction. Legacy at Seville integrates itself into the developed Seville master planned community, and ties seamlessly into the overall open space and trails network. Creative Environments was involved within the design phase, and the installation phase of the community.





## **DETAIL CONSIDERATIONS**

*Article 1. Payment:* All payments are due per the payment schedule above. If a delinquency by Client occurs, Consultant may choose to suspend the Work. If such decision is made, Consultant shall notify Client in writing. Consultant may choose to recommence Work, once the delinquency is cured, and any and all attendant collection costs, fees, increases in costs or fees, or other amounts required to be paid by Client under this Agreement are paid in full. If a delinquency by Client occurs and Consultant chooses not to suspend Work, no waiver or estoppel shall be implied or inferred. Client agrees and understands that if Consultant decides to suspend the Work, due to delinquency by the client, Consultant shall not be liable for any costs or damages, including, but not limited to delay and consequential damages, to the Owner, Client, or any other third party, that may arise from or be related to such suspension of Work. Client agrees to hold Consultant harmless from and completely indemnify Consultant from and against any and all damages, costs, attorney's fees, and/or other expenses which Consultant may incur as a result of any claim by any person or entity arising out of the suspension of the Work.

*Article 2. Executed Contract.* Prior to commencement of any services, Client shall return a fully executed contract.

*Article 3. Extra Work Services.* Extra Work services shall be performed only when requested and approved by Client in writing. These services shall be quoted either on a lump sum amount or performed based on hourly rates. Extra Work services may include, but not be limited to: (i) making planning surveys and special analysis of the Project's needs to clarify the requirements of the project when requested by Client, (ii) making measurements or drawings of existing construction, (iii) revising previously approved drawings to accomplish changes ordered by Client, (iv) providing any field observation on the project beyond what is listed, (v) attending any meetings or presentations beyond what is listed, (vi) assistance to Client in a reasonable, appropriate and professional manner in investigating and addressing claims of project constructions deficiencies, (vii) preparation of a Landscape Maintenance Manual, (viii) any work requested by Client or his representative that is not heretofore mentioned.

*Article 4. Excluded Services.* Consultant will not verify or otherwise be responsible for the accuracy or completeness of data, specifications and/or design work provided to Consultant by Client's other design professionals.

*Article 5. Ownership of Instruments of Service.* Client acknowledges that Consultant's reports, plans, specifications, field data, field notes, laboratory test data, calculations, estimates and other similar documents are instruments of professional service, not products.



Client recognizes that no such documents should be subject to unauthorized reuse, that is, use without the written authorization of Consultant, to do so. Such authorization is essential because it requires Consultant to evaluate the documents' applicability to new circumstances, not the least of which is passage of time. In return for Consultants' relinquishment of ownership, Client agrees to waive any claim against Consultant, its parent, subsidiaries, employees and officers (Indemnitees) and defend, indemnify and hold Indemnitees harmless from any claim or liability from injury or loss allegedly arising from unauthorized reuse of Consultant's instruments of service. Client further agrees to compensate Consultant for any time spent, or expenses incurred by Consultant in defense of any such claim, in accordance with Consultant's prevailing fee schedule and expense reimbursement policy. Consultant only agrees to relinquish ownership if all services are paid for.

*Article 6. Opinions of Probable Construction Costs.* Consultant has no control over the cost of labor, materials, or equipment, or over a Contractor's method of determining prices, or over competitive bidding, or market conditions. Consultant's Opinions of Probable Construction Costs provided for herein are to be made on the basis of Consultants experience and qualifications. These opinions represent Consultants best judgment due to Consultants familiarity with the construction industry. However, Consultant cannot and does not guarantee that the proposals, bid, or the construction cost will not vary from Opinions of Probable Construction Cost prepared by Consultant.

*Article 7. Assignment.* Neither party to this agreement shall assign its duties and obligations without the prior written consent of the other party.

*Article 8. Limitation of Liability.* Client agrees to limit Consultant's liability to Client and all construction contractors and subcontractors on the project, due to Consultant's negligent acts, errors or omissions, so that the total aggregate liability of Consultant shall not exceed the limits set forth under Consultant's Professional Liability policy. Creative Environments shall not be liable for any delays resulting from acts of God, terrorism, war, actions by government or quasi-government entities, fire, explosion, communication disruptions, strikes, or other events beyond the control of Creative Environments.

*Article 9.* Each party agrees to indemnify and hold the other harmless, and their respective officers, employees, agents, and representatives, for, from and against liability for all claims, losses, damages, and expenses, including reasonable attorney's fees, to the extent such claims, losses, damages, or expenses are caused by the indemnifying party's negligent acts, errors, or omissions. In the event claims, losses, damages, or expenses are caused by the joint or concurrent negligence of the parties, then each party shall bear its proportionate liability.



*Article 10. Termination of Agreement.* This agreement may be terminated by either party effective thirty (30) days after receipt from the other party of a written notice via registered mail, of such termination. In the event of termination, Consultant shall be entitled to receive full compensation for fees and expenses outstanding of the effective date of termination.

*Article 11. Attorney Fees.* This Agreement shall be governed by the laws of the state of Arizona. To the extent permitted by law, Client and Consultant hereby waive all rights to a trial by jury. Should either party employ an attorney to institute suit or any other procedure for the resolution of a dispute in order to enforce any of the provisions hereof, to protect its interest in any matter arising under this Contract, or to collect damages for the breach of this Contract or to recover on a surety bond given by a party under this Contract, the prevailing party shall be entitled to recover its attorney's fees, consultants and experts fees, costs, charges and expenses expended or incurred therein.

*Article 12.* Creative Environments will not, provide any engineering or environmental investigations on this site/project, has no knowledge of any adverse engineering or environmental conditions on the site/project, and is not responsible, and has no liability, for any such engineering or environmental conditions should they be found. It is your responsibility to investigate and make all engineering and environmental determinations on this site/project. Creative Environments assumes no liability, and is not responsible, for any damages resulting from actions or omissions taken by third parties, including consultants retained by Creative Environments, on your behalf.

*Article 13.* All expenses incurred by Creative Environments shall be reimbursed at 1.15 (115%) actual cost. In most cases, we will have you contract directly with consultants and suppliers. Reimbursable expenses include, but are not limited to, outside consultant services, reproduction costs for documents and drawings, photography, deliveries, long distance telephone calls, travel, lodging, government review fees, and data transmission.





**SUMMARY**

Sharon, we appreciate the opportunity to submit this proposal. If this proposal meets with your approval, please sign below and return one copy to me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sherilyn Ocampo-Palisoc'.

Sherilyn Ocampo-Palisoc, ASLA, FALA  
Chief Creative Officer  
Creative Environments

\* I agree to the above scope of work in the sum of 12,000:

\_\_\_\_\_  
Client Signature

\_\_\_\_\_  
Date:



## **Your HOA Board in Action!**

**SAVE THE DATE!**

ATTACHMENT 1\_  
HH-T

**GAIN Social Event  
Saturday, October 22, 2022  
5:30PM–7:00PM  
South Park**

Learn about the challenges our neighborhood is experiencing:

- Our landscape refreshment and refurbishment
  - Our tree maintenance and replanting
  - Our aging and inefficient irrigation system
    - City of Tempe zoning requirements
- City of Tempe Water Conservation and Neighborhood Grants

**How is your HOA Board planning to address these concerns?**

**COME TO THE GAIN EVENT AND FIND OUT!**

If you are interested in knowing more about what's going on, make sure Sentry has your email address so you can receive important neighborhood and HOA information.

If you are not able to attend our upcoming events, please provide your feedback via Survey Monkey:

*adsljaslsj32985ihsafkagf7qyriqbjab*

**AND SAVE THE DATE:**

**HAMILTON HOMES–TEMPE ANNUAL MEETING**

**Thursday, October 27, 2022  
Dayspring United Methodist Church  
7:30PM**

## ATTACHMENT 2

ATTACHMENT 2\_HH-T

### HAMILTON HOMES – TEMPE SURVEY MONKEY, October 2022

[https://forms.office.com/pages/responsepage.aspx?id=DQSIkWdsW0yxEjajBLZtrQAAAAAAAAAAAAAN\\_\\_gUXOARUNUc0QjFOWjM4QURHSkhOUjUyQlVPVEYwMy4u](https://forms.office.com/pages/responsepage.aspx?id=DQSIkWdsW0yxEjajBLZtrQAAAAAAAAAAAAAN__gUXOARUNUc0QjFOWjM4QURHSkhOUjUyQlVPVEYwMy4u)

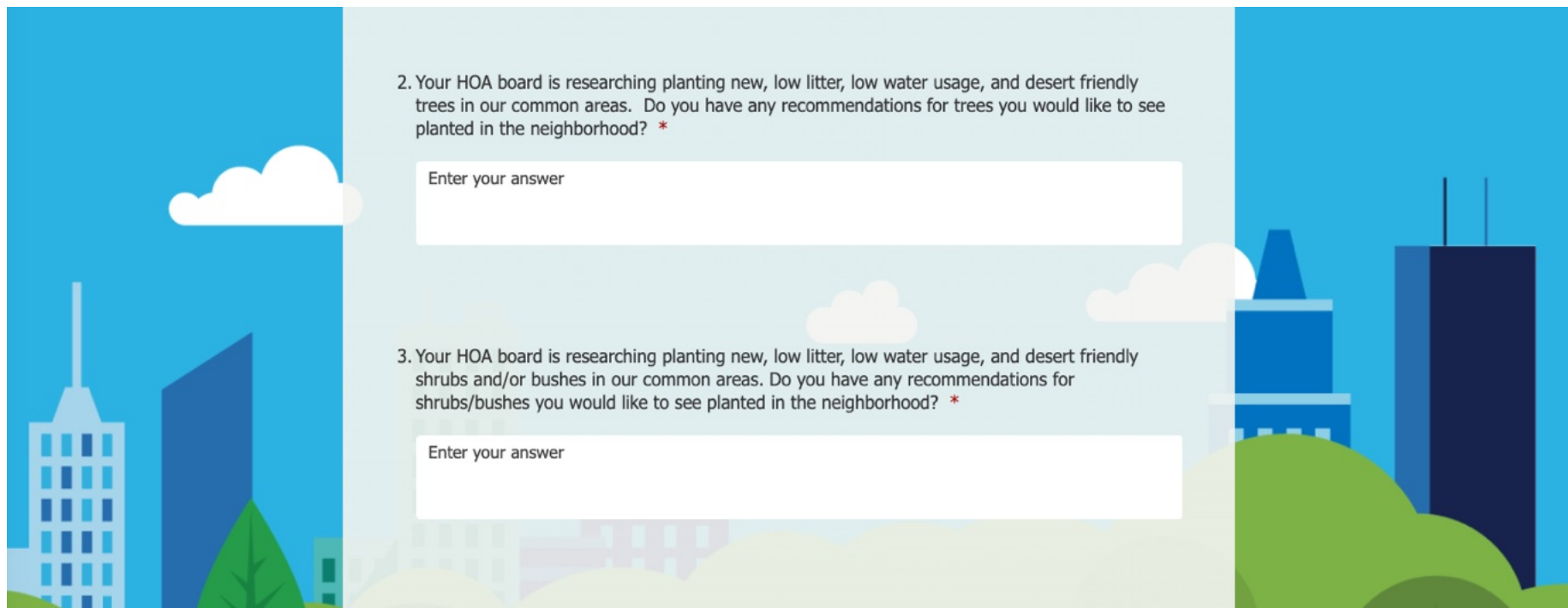
**"Building Bridges" in Hamilton Homes**

The purpose of this survey is twofold:  
First, to collect thoughts and opinions for the Hamilton Homes HOA Board of Directors on the landscaping of common areas along with potential ideas for resolutions to our inefficient irrigation system.  
Second, to engage in the fellowship opportunities presented by your neighbor and high school student Jillian McDonald. Jillian was selected for the 2022 Institute for Citizens and Scholars Spring Fellowship that is an opportunity for young people to lead a community project. The purpose of this project is to create meaningful change in a neighborhood as a result of Covid 19 impacts and learning more about living a more sustainable lifestyle.

\* Required

1. In an effort to better understand the demographics of our neighborhood, can you provide your name and total number in your household including a breakdown of your household type, such as: family, retiree, couple, or single- family household. \*

Enter your answer

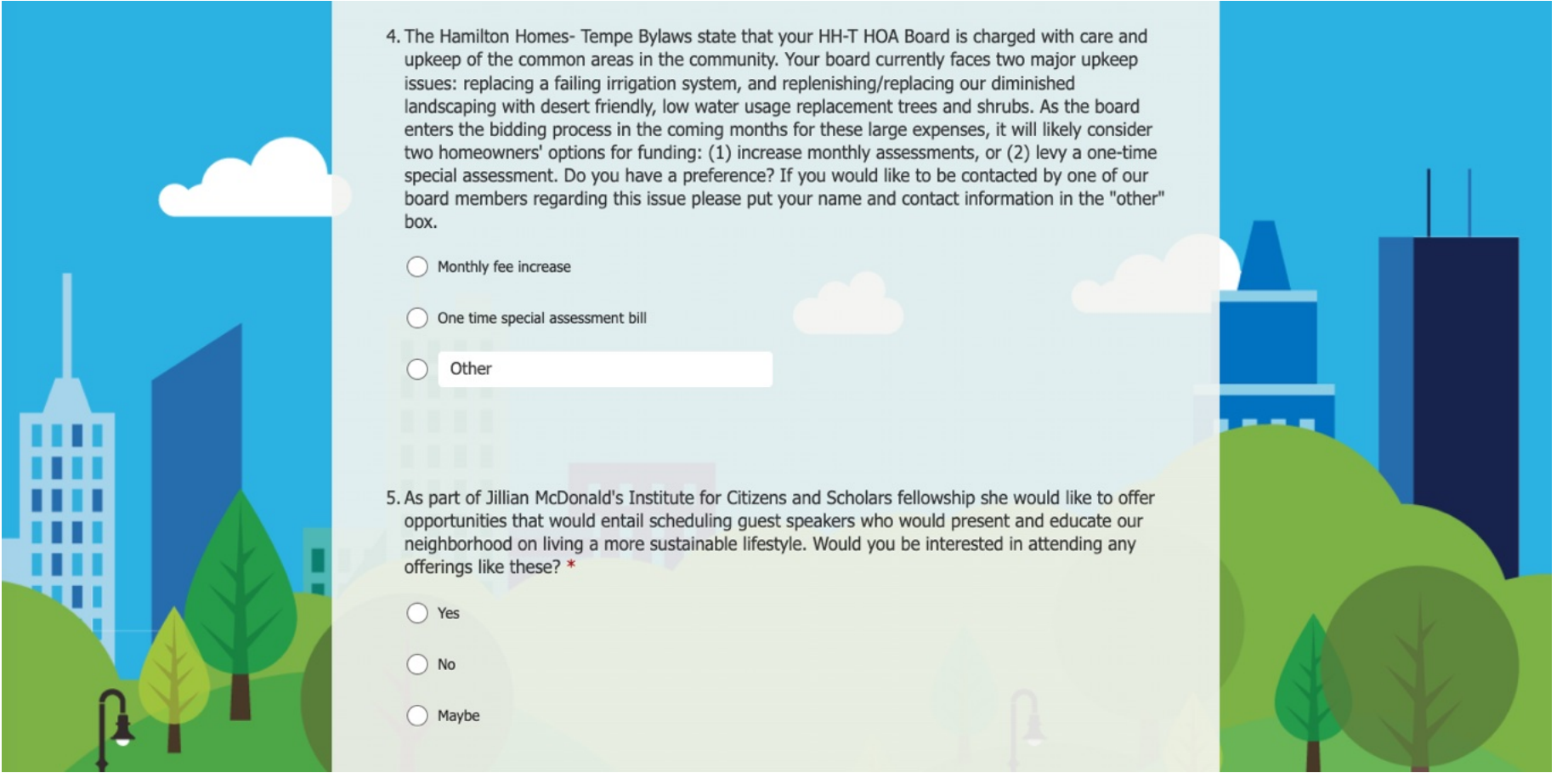


2. Your HOA board is researching planting new, low litter, low water usage, and desert friendly trees in our common areas. Do you have any recommendations for trees you would like to see planted in the neighborhood? \*

Enter your answer

3. Your HOA board is researching planting new, low litter, low water usage, and desert friendly shrubs and/or bushes in our common areas. Do you have any recommendations for shrubs/bushes you would like to see planted in the neighborhood? \*

Enter your answer

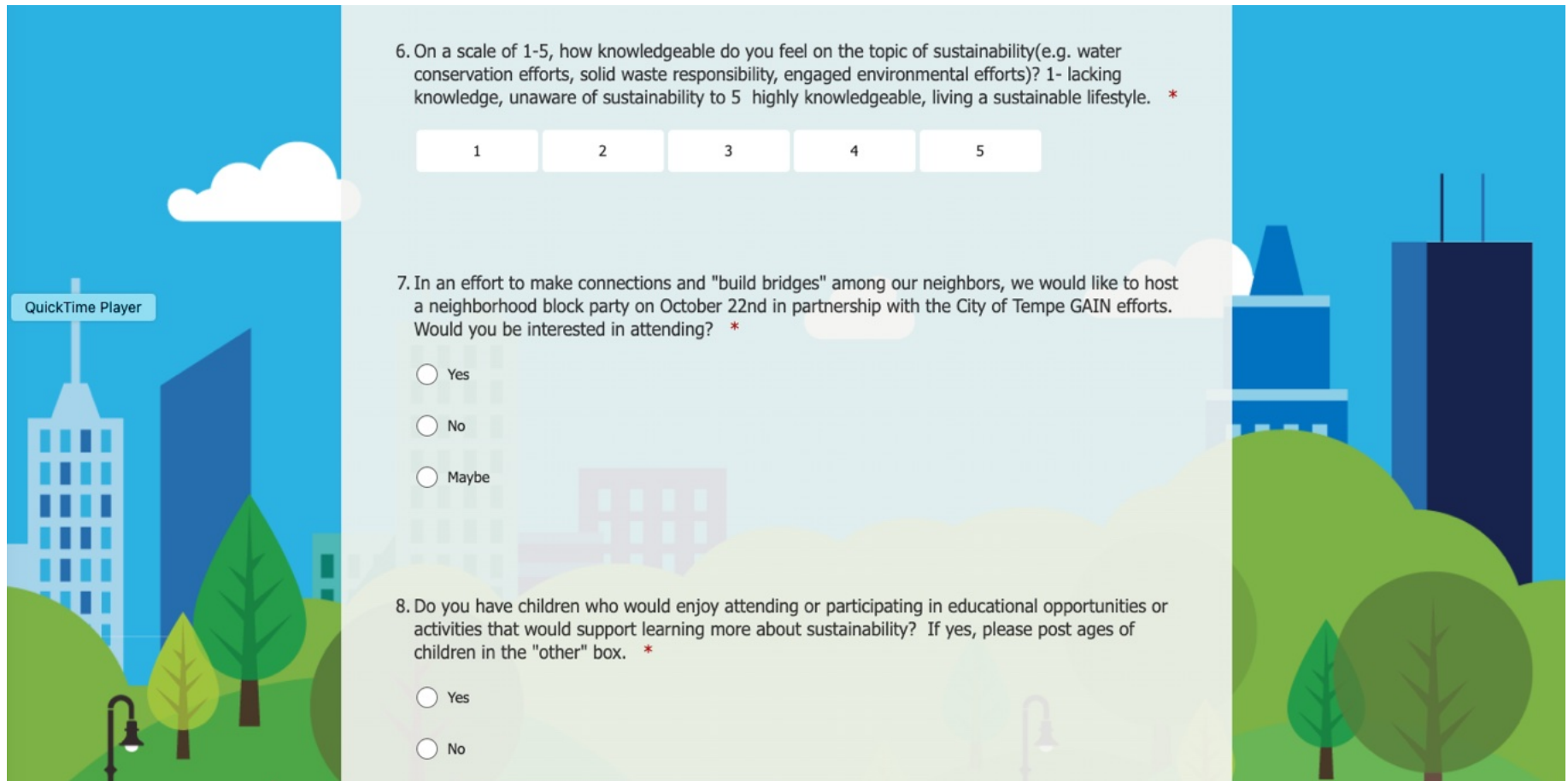


4. The Hamilton Homes- Tempe Bylaws state that your HH-T HOA Board is charged with care and upkeep of the common areas in the community. Your board currently faces two major upkeep issues: replacing a failing irrigation system, and replenishing/replacing our diminished landscaping with desert friendly, low water usage replacement trees and shrubs. As the board enters the bidding process in the coming months for these large expenses, it will likely consider two homeowners' options for funding: (1) increase monthly assessments, or (2) levy a one-time special assessment. Do you have a preference? If you would like to be contacted by one of our board members regarding this issue please put your name and contact information in the "other" box.

- Monthly fee increase
- One time special assessment bill
- Other

5. As part of Jillian McDonald's Institute for Citizens and Scholars fellowship she would like to offer opportunities that would entail scheduling guest speakers who would present and educate our neighborhood on living a more sustainable lifestyle. Would you be interested in attending any offerings like these? \*

- Yes
- No
- Maybe



QuickTime Player

6. On a scale of 1-5, how knowledgeable do you feel on the topic of sustainability(e.g. water conservation efforts, solid waste responsibility, engaged environmental efforts)? 1- lacking knowledge, unaware of sustainability to 5 highly knowledgeable, living a sustainable lifestyle. \*

1 2 3 4 5

7. In an effort to make connections and "build bridges" among our neighbors, we would like to host a neighborhood block party on October 22nd in partnership with the City of Tempe GAIN efforts. Would you be interested in attending? \*

Yes

No

Maybe

8. Do you have children who would enjoy attending or participating in educational opportunities or activities that would support learning more about sustainability? If yes, please post ages of children in the "other" box. \*

Yes

No

9. Save the Date: The annual Hamilton Homes HOA board meeting will take place at 7:30 p.m. on Thursday, October 27th, 2022 at Dayspring United Methodist Church. At this time, the board will discuss our neighborhood's pending landscape issues and present information related to potential City of Tempe grant opportunities that would support our neighborhood improvements. To learn more please plan to attend. If you cannot attend but would like to express your thoughts on any of the concerning issues please report them in the open box below. \*

Enter your answer

10. Please provide your email address so you can receive up-to date information regarding the future efforts of the "Building Bridges" project happening in Hamilton Homes. In addition, to communicating the winner of our raffle prize. \*

Enter your answer

**Submit**

Never give out your password. [Report abuse](#)

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**ATTACHMENT 3:  
SURVEY MONKEY RESULTS**

**"Building Bridges" in Hamilton Homes  
July – October, 2022**

**ATTACHMENT 3\_  
HH-T**

**13 Responses**  
**08:56 Average time to complete**

\_1\_ In an effort to better understand the demographics of our neighborhood, can you provide your name and total number in your household including a breakdown of your household type, such as: family, retiree, couple, or single- family household.

**13 Responses**

*"Family - one 16-year-old "*  
*"Empty nesters, Couple with 2 geriatric dogs"*  
*"Couple"*  
*"Retired couple"*  
*"Retired couple with dogs"*

\_2\_ Your HOA board is researching planting new, low litter, low water usage, and desert friendly trees in our common areas. Do you have any recommendations for trees you would like to see planted in the neighborhood?

**13 Responses**

*"none that i can think of. "*  
*"DO NOT RECOMMEND PALO VERDE SPECIES"*  
*"Red Push Pistache trees are commonly planted all over this area, along road up and down Rural. They lose their leaves in winter, but have beautiful red foliage."*

\_3\_ Your HOA board is researching planting new, low litter, low water usage, and desert friendly shrubs and/or bushes in our common areas. Do you have any recommendations for shrubs/bushes you would like to see planted in the neighborhood?

**13 Responses**

*"none that I can think of. "*  
*"Rosemary and Lantana bushes seem to keep many of the bugs away"*  
*"Ocotillo would be lovely to have around the perimeter. They are drought tolerant and would deter wall jumpers. Bougainvillea, Mexican Bird of Paradise."*

4. The Hamilton Homes- Tempe Bylaws state that your HH-T HOA Board is charged with care and upkeep of the common areas in the community. Your board currently faces two major upkeep issues: replacing a failing irrigation system, and replenishing/replacing our diminished landscaping with desert friendly, low water usage replacement trees and shrubs. As the board enters the bidding process in the coming months for these large expenses, it will likely consider two homeowners' options for funding: (1) increase monthly assessments, or (2) levy a one-time special assessment. Do you have a preference? If you would like to be contacted by one of our board members regarding this issue please put your name and contact information in the "other" box.

**13 Responses**

Monthly fee increase	3
One time special assessment bill	5
Other	5

\_5\_ As part of Jillian McDonald's Institute for Citizens and Scholars fellowship she would like to offer opportunities that would entail scheduling guest speakers who would present and educate our neighborhood on living a more sustainable lifestyle. Would you be interested in attending any offerings like these?

**13 Responses**

Yes	3
No	5
Maybe	5

\_6\_ On a scale of 1-5, how knowledgeable do you feel on the topic of sustainability(e.g. water conservation efforts, solid waste responsibility, engaged environmental efforts)? 1- lacking knowledge, unaware of sustainability to 5 highly knowledgeable, living a sustainable lifestyle.

**13 Responses**

3.54. Average Number

\_7\_ In an effort to make connections and "build bridges" among our neighbors, we would like to host a neighborhood block party on October 22nd in partnership with the City of Tempe GAIN efforts. Would you be interested in attending?

**13 Responses**

Yes	8
No	0
Maybe	5



\_8\_ Do you have children who would enjoy attending or participating in educational opportunities or activities that would support learning more about sustainability? If yes, please post ages of children in the "other" box.

**13 Responses**

Yes 1  
No 10  
Other 2

9. Save the Date: The annual Hamilton Homes HOA board meeting will take place at 7:30 p.m. on Thursday, October 27th, 2022 at Dayspring United Methodist Church. At this time, the board will discuss our neighborhood's pending landscape issues and present information related to potential City of Tempe grant opportunities that would support our neighborhood improvements. To learn more please plan to attend. If you cannot attend but would like to express your thoughts on any of the concerning issues please report them in the open box below.

**12 Responses**

*"none at this time "*

*"Unable to attend due to travel"*

*"Interested in finding out if the neighborhood is allowed to work alongside contractors to keep costs down on new irrigation projects. In the past we were able to do some of the work ourselves."*

\_10\_ Please provide your email address so you can receive up-to date information regarding the future efforts of the "Building Bridges" project happening in Hamilton Homes. In addition, to communicating the winner of our raffle prize.

**12 Responses**



*Online SurveyMonkey Instrument  
Results compiled October 24, 2022*

## ATTACHMENT 4\_HH-T

### *Attention Hamilton Homes Neighbors! Introducing "Building Bridges"*

**SAVE THE DATE: GAIN  
October 22nd 5:00-7:00 p.m**

My name is Jillian McDonald and I am a Junior at Chandler Preparatory High School. I am the award recipient of the 2022 Citizens and Scholars Fellowship award. I am working to create a sense of community in our neighborhood. In collaboration with your HOA Board of Directors, we ask that you complete a simple survey in response to our efforts and to meet the needs of our neighborhood. Through this fellowship I hope to provide education on living a more sustainable lifestyle, along with information about local resources.



PLEASE JOIN US FOR THE  
HAMILTON HOMES NEIGHBORHOOD

**BLOCK**

*party*



THIS IS IN COLLABORATION WITH THE CITY OF TEMPE'S GAIN EVENT  
(GETTING ARIZONA INVOLVED IN NEIGHBORHOODS)  
COME MEET YOUR NEIGHBORS, PLAY A YARD GAME, JUMP IN A BOUNCE  
HOUSE, AND MEET YOUR LOCAL GOVERNMENT REPRESENTATIVES.

**SATURDAY, OCTOBER 22ND**

**5-7:30PM**

**NORTH GREEN BELT**  
REFRESHMENTS PROVIDED

RAFFLE PRIZES AND OPPORTUNITIES TO  
NETWORK. CONTACT JILLIAN AT  
TO GET INVOLVED.

DON'T  
FORGET YOUR  
CHAIRS!



COME JOIN YOUR NEIGHBORS  
FOR A HAMILTON HOMES

ATTACHMENT 7\_HH-T

COMMON AREA

# WALK-ABOUT



**Let's talk Landscaping!**

SATURDAY

FEBRUARY 25, 2023

9:00-10:00 AM

7712 SOUTH OAK ST.

Coffee and pastries starting at 8:30

Neighbors whose homes abut Lakeshore or Elliot  
are particularly encouraged to attend.

# ATTACHMENT 8\_HH-T

## Hamilton Homes–Tempe Walkabout February 25<sup>th</sup>, 2023 – 9:00 AM to 11:00 AM

Attendance: Approximately 18 people, from seven or eight families.



Neighbors gathering for coffee and donuts before the walk at the home of Sharon Hansen, HH-T HOA President.

## ATTACHMENT 8



Neighbors gathering for coffee and donuts before the walk at the home of Sharon Hansen, HH-T HOA President.

## ATTACHMENT 8



Neighbors observing the missing plant material along Lakeshore.



## ATTACHMENT 8



Neighbors examining one of four entry points to the Hamilton Homes – Tempe neighborhood, this at Elliot and Juniper.

## ATTACHMENT 8



Neighbors examining one of four entry points to the Hamilton Homes – Tempe neighborhood, this at Elliot and Juniper.

## ATTACHMENT 8

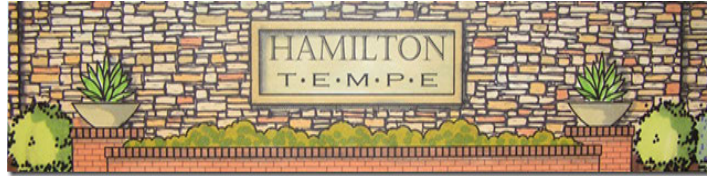


After a considerable discussion about the burrs and other weeds in North Park, neighbors picked up shovels and did some work themselves.

## ATTACHMENT 8



After a considerable discussion about the burrs and other weeds in North Park, neighbors picked up shovels and did some work themselves.



HAMILTON HOMES–TEMPE HOMEOWNERS’ ASSOCIATION

**ATTACHMENT 9\_**  
**HH-T**

**WATER CONSERVATION, IRRIGATION, AND LANDSCAPE REFURBISHMENT PROJECT**  
**PHASES 1 through 3: 2023 – 2026**

NOTE: Adjunct to this project will be the creation of a Landscape Architectural Plan to be filed with City of Tempe, as none presently exists.

- |                |                  |  |
|----------------|------------------|--|
| <u>Phase 1</u> | <u>2023-2024</u> | <u>Water conservation:</u> replace the failing and inefficient single-line drip system along our City of Tempe perimeter streets (Elliot and Lakeshore) with a system that utilizes smart controllers, high efficiency heads, rain sensors, and remote monitoring for better water management.   |
| <u>Phase 2</u> | <u>2024-2025</u> | <u>Water conservation and code compliance:</u> remove and replace dead and missing trees and shrubs along our <b>Lakeshore perimeter</b> and two entrance areas with desert-loving, low water usage varieties, bringing the number of trees and shrubs up to Tempe code; replace the failing and inefficient single-line drip irrigation system in our <b>north park</b> water retention area with a system that utilizes smart controllers, high efficiency heads, rain sensors, and remote monitoring for better water management; and remove dead trees, refurbish seating areas, and install additional granite in <b>north park</b> . |
| <u>Phase 3</u> | <u>2025-2026</u> | <u>Water conservation and code compliance:</u> remove and replace dead and missing trees and shrubs along our <b>Elliot perimeter</b> and two entrance areas with desert-loving, low water usage varieties, bringing the number of trees and shrubs up to Tempe code; replace the failing and inefficient single-line drip irrigation system in our <b>south park</b> water retention area with a system that utilizes smart controllers, high efficiency heads, rain sensors, and remote monitoring for better water management; and remove dead trees, refurbish seating areas, and install additional granite in <b>south park</b> .    |

**BUDGET, PHASE I (2023–2024)**

<b>Expenses</b>		
Irrigation		\$ 55,866.00
Contingency - 10 % (tree removal, etc)		\$ 5,600.00
	Sub Total	\$ 61,466.00
 Tax		 \$ 2,941.35
	Total	\$ 64,407.35
 <b>Funds</b>		
Existing Reserves		
Landscape renovation reserve		\$ 3,407.35
Grant		\$ 20,000.00
	Sub Total	\$ 23,407.35
Required additional funding: Special Assessment		\$41,000.00
Number of Homeowners: 82		
Assessment per owner: \$500 per lot		
	Total	\$ 64,407.35

July 14, 2022

**HAMILTON HOMES--TEMPE HOA**  
**Board of Directors Meeting**  
**THURSDAY July 14, 2022 • 7:30 PM**  
**Internet Video Call using Zoom**

**ATTACHMENT 10\_**  
**HH-T**

**AGENDA – REGULAR SESSION**

Topic: HHT HOA Monthly Board Meeting July 14, 2022  
Time: July 14, 2022 07:30 PM Arizona

Join Zoom Meeting  
<https://us02web.zoom.us/j/84342267250?pwd=ISlhZcD0YwsHYlaHjtO8UpsLk376hc.1>  
Meeting ID: 843 4226 7250  
Passcode: 135444

One tap mobile  
+16469313860,,84342267250#,,,,\*135444# US  
+19292056099,,84342267250#,,,,\*135444# US (New York)  
Dial by your location  
+1 646 931 3860 US  
+1 929 205 6099 US (New York)  
+1 301 715 8592 US (Washington DC)  
+1 312 626 6799 US (Chicago)  
+1 669 444 9171 US  
+1 669 900 6833 US (San Jose)  
+1 253 215 8782 US (Tacoma)  
+1 346 248 7799 US (Houston)  
Meeting ID: 843 4226 7250  
Passcode: 135444

Find your local number: <https://us02web.zoom.us/j/84342267250?pwd=ISlhZcD0YwsHYlaHjtO8UpsLk376hc.1>

Please download and import the following iCalendar (.ics) files to your calendar system.

Monthly: [https://us02web.zoom.us/meeting/tZUpc-uorDqiHdf\\_jBZ7G8Pzk520zdNDZr1T/ics?icsToken=98tyKuGpqj8oGtaWuB6ERpwcBo-ga\\_TzpnZHqqdboxXHOXd0QDPsPbcQYoh7Pvzq](https://us02web.zoom.us/meeting/tZUpc-uorDqiHdf_jBZ7G8Pzk520zdNDZr1T/ics?icsToken=98tyKuGpqj8oGtaWuB6ERpwcBo-ga_TzpnZHqqdboxXHOXd0QDPsPbcQYoh7Pvzq)

**1. CALL TO ORDER**

- Roll Call
- Post Office Box Check

**2. SECRETARY'S REPORT AND APPROVAL OF MAY MINUTES**

**3. TREASURER'S REPORT AND APPROVAL OF MAY FINANCIALS**

**4. PUBLIC INPUT**

**5. OLD BUSINESS**

- Landscaping and Irrigation
- Architectural Forms
- Block Watch

**6. NEW BUSINESS**

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Sentry Management

**7. EXECUTIVE SESSION**

**NEXT MEETING: Thursday, August 11, 2022, at 7:30 PM.**  
Zoom format and details will be provided 48 hours in advance.

August 11, 2022

**HAMILTON HOMES--TEMPE HOA**  
**Board of Directors Meeting**  
**THURSDAY August 11, 2022 • 7:30 PM**  
**Internet Video Call using Zoom**

**AGENDA – REGULAR SESSION**

Topic: HHT HOA Monthly Board Meeting July Aug Sept 2022  
Time: August 11, 2022 07:30 PM Arizona

**Join Zoom Meeting**

<https://us02web.zoom.us/j/84342267250?pwd=ISlhZcD0YwsHYlaHjtO8UpsLk376hc.1>

**Meeting ID: 843 4226 7250**

**Passcode: 135444**

One tap mobile

+16469313860,,84342267250#,,,,\*135444# US

+19292056099,,84342267250#,,,,\*135444# US (New York)

Dial by your location

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 843 4226 7250

Passcode: 135444

Find your local number: <https://us02web.zoom.us/j/84342267250?pwd=ISlhZcD0YwsHYlaHjtO8UpsLk376hc.1>

Please download and import the following iCalendar (.ics) files to your calendar system.

Monthly: [https://us02web.zoom.us/meeting/tZUpC-uorDqIHdf\\_jBZ7GBPzk520ZdNDZr1T/ics?icsToken=98tyKuGpqj8oGtaWuB6ERpwcBo-ga\\_TzpnZHqadboxXHOXd0QDPsPbcQYoh7Pvzq](https://us02web.zoom.us/meeting/tZUpC-uorDqIHdf_jBZ7GBPzk520ZdNDZr1T/ics?icsToken=98tyKuGpqj8oGtaWuB6ERpwcBo-ga_TzpnZHqadboxXHOXd0QDPsPbcQYoh7Pvzq)

**1. CALL TO ORDER**

- Roll Call
- Post Office Box Check

**2. SECRETARY'S REPORT AND APPROVAL OF JULY MINUTES**

**3. TREASURER'S REPORT AND APPROVAL OF JULY FINANCIALS**

**4. PUBLIC INPUT**

**5. OLD BUSINESS**

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Block Watch

**6. NEW BUSINESS**

- Landscaping and Irrigation
- Architectural Forms
- Sentry Management

**7. EXECUTIVE SESSION**

***NEXT MEETING:* Thursday, September 8, 2022, at 7:30 PM.**

Zoom format and details will be provided 48 hours in advance.

*NOTE: If meeting date is changed, Zoom format and details will be provided 48 hours in advance.*

Sept. 22, 2022

**HAMILTON HOMES–TEMPE HOA**  
**Board of Directors Meeting**  
**THURSDAY, September 22, 2022 • 7:30 PM**  
**Internet Video Call using Zoom**

**AGENDA – REGULAR SESSION**

Topic: HHT HOA Monthly Board Meeting July Aug Sept 2022

Time: September 22, 2022 07:30 PM Arizona

**Join Zoom Meeting**

<https://us02web.zoom.us/j/84342267250?pwd=ISlhZcD0YwsHYlaHjtO8UpsLk376hc.1>

**Meeting ID: 843 4226 7250**

**Passcode: 135444**

One tap mobile

+16469313860,,84342267250#,,,,\*135444# US

+19292056099,,84342267250#,,,,\*135444# US (New York)

Dial by your location

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 843 4226 7250

Passcode: 135444

Find your local number: <https://us02web.zoom.us/j/84342267250?pwd=ISlhZcD0YwsHYlaHjtO8UpsLk376hc.1>

Please download and import the following iCalendar (.ics) files to your calendar system.

Monthly: [https://us02web.zoom.us/meeting/tZUpc-uorDqiHdf\\_jBZ7GBPzk520ZdNDZr1T/ics?icsToken=98tyKuGpai8oGtaWuB6ERpwcBo-ga\\_TzpnZHqqdboxXHOXd0QDPsPbcQYoh7Pvzq](https://us02web.zoom.us/meeting/tZUpc-uorDqiHdf_jBZ7GBPzk520ZdNDZr1T/ics?icsToken=98tyKuGpai8oGtaWuB6ERpwcBo-ga_TzpnZHqqdboxXHOXd0QDPsPbcQYoh7Pvzq)

**1. CALL TO ORDER**

- Roll Call
- Post Office Box Check

**2. SECRETARY'S REPORT AND APPROVAL OF JULY MINUTES**

**3. TREASURER'S REPORT AND APPROVAL OF JULY FINANCIALS**

**4. PUBLIC INPUT**

**5. OLD BUSINESS**

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Block Watch

**6. NEW BUSINESS**

- Landscaping and Irrigation
- Architectural Forms
- Sentry Management

**7. EXECUTIVE SESSION**

**ANNUAL MEETING**  
**THURSDAY OCTOBER 27, 2022**  
**7:30PM**  
**Dayspring United Methodist Church**  
*(No Zoom format)*

***NEXT MONTHLY MEETING: Thursday, October 13, 2022, at 7:30 PM.***

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*



Oct. 13, 2022

**HAMILTON HOMES—TEMPE HOA**  
**Board of Directors Meeting**  
**THURSDAY, October 13, 2022 • 7:30 PM**  
**Internet Video Call using Zoom**

**AGENDA – REGULAR SESSION**

Topic: HHT HOA Monthly Board Meeting Oct 13, 2022 07:30 PM; Nov 10, 2022 07:30 PM

**Join Zoom Meeting**

<https://us02web.zoom.us/j/81331000014?pwd=RFg3YlBNdkJPOXp6SFFMMzMzb1BWQT09>

**Meeting ID: 813 3100 0014**

**Passcode: 117727**

One tap mobile

+13462487799,,81331000014#,,,,\*117727# US (Houston)

+16694449171,,81331000014#,,,,\*117727# US

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 719 359 4580 US

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 386 347 5053 US

+1 564 217 2000 US

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 309 205 3325 US

**Meeting ID: 813 3100 0014**

**Passcode: 117727**

Find your local number: <https://us02web.zoom.us/j/81331000014?pwd=RFg3YlBNdkJPOXp6SFFMMzMzb1BWQT09>

Please download and import the following iCalendar (.ics) files to your calendar system.

Monthly: [https://us02web.zoom.us/meeting/tZUudOiorjsqG9BfmPg1GsUH9ce68rXdJjZP/ics?icsToken=98tyKuGprTgrGtSVsBiDRpwcA4jCd\\_TziGJfjfp\\_mhLVBHF0cTbeb-FHZOptKNz6](https://us02web.zoom.us/meeting/tZUudOiorjsqG9BfmPg1GsUH9ce68rXdJjZP/ics?icsToken=98tyKuGprTgrGtSVsBiDRpwcA4jCd_TziGJfjfp_mhLVBHF0cTbeb-FHZOptKNz6)

**1. CALL TO ORDER**

- Roll Call
- Post Office Box Check

**2. SECRETARY'S REPORT / APPROVAL OF SEPTEMBER MINUTES**

**3. TREASURER'S REPORT / APPROVAL OF SEPTEMBER FINANCIALS**

**4. PUBLIC INPUT**

**5. OLD BUSINESS**

- Landscaping and Irrigation:  
City of Tempe Landscaping Grant
- Architectural Forms
- GAIN EVENT
- Annual Meeting

**6. NEW BUSINESS**

- Landscaping and Irrigation
- Architectural Forms

**7. EXECUTIVE SESSION**

**8. END**

**\* \* \* GAIN EVENT \* \* \***

**SAT., OCTOBER 22, 2022**

**5:00–7:00 PM**

**NORTH PARK**

**\* \* \* ANNUAL MEETING \* \* \***

**THURS., OCTOBER 27, 2022**

**7:30 PM**

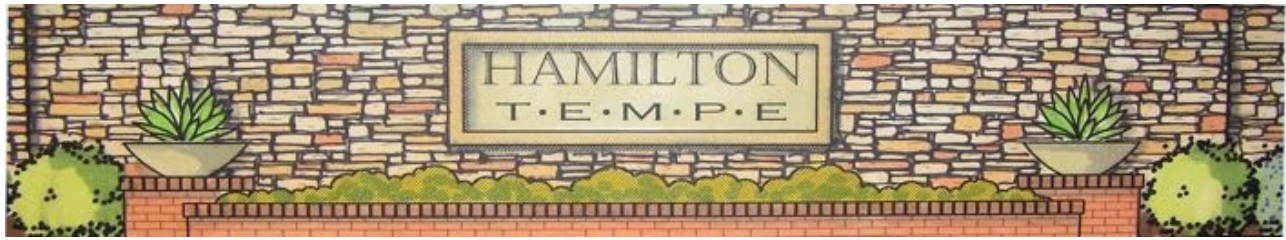
**DAYSPRING UNITED METHODIST CHURCH**

*(NO ZOOM FORMAT)*

***NEXT MONTHLY MEETING: Thursday, November 10, 2022, at 7:30 PM.***

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*



**Hamilton Homes Homeowners Association  
2022 Annual Meeting**

**Oct. 27, 2022**

**THURSDAY, OCTOBER 27, 2022  
DAYSPRING UNITED METHODIST CHURCH  
CHECK IN 7:15PM / MEETING 7:30PM – 9:00PM**

**Agenda**

1. Call to Order (Sharon Hansen)
2. Introduction of Board Members
3. Certification of Quorum (Lance Labun)
4. Secretary's Report (Kristy Hahn-McDonald)
  - Approval of 2021 Annual Meeting Minutes
  - Introduction of New Homeowners in the Neighborhood
  - Brief report on 2021-2022 neighborhood activities and planned activities for 2022-23
5. Treasurer's Report (Lance Labun)
  - Review of 2021 Balance Sheet and 2022–2023 Annual Budget
6. 2022 President's Report (Sharon Hansen, Lance Labun, Mark Lishko)
  - Landscaping
    - Landscape Contractor change and price increase (Lance Labun)
    - 2022 Irrigation Challenges (Mark Lishko)
    - 2022 Trees, Plants, and Shrubs: Challenges and Replacements (Sharon Hansen)
    - City of Tempe Grant Applications 2023 (Sharon Hansen)
7. Nominations — vote on new Board members. (Sharon Hansen)
8. Discussion Topics
  - By Laws and CC&Rs (Aaron Simpson)
  - Voices of Our Community:
    - a. Topics submitted by members in advance for discussion as Agenda Items (Sharon Hansen)
    - b. Topics of discussion from the Floor (if time allows) (Sharon Hansen)
  - Other
9. Reminder: Architectural, Board Contact forms on Sentry Portal.
10. Adjourn (Sharon Hansen)



Nov. 10, 2022

## HAMILTON HOMES–TEMPE HOA

Board of Directors Meeting  
THURSDAY, November 10, 2022 • 7:30 PM  
Internet Video Call using Zoom

### AGENDA – REGULAR SESSION

Topic: HHT HOA Monthly Board Meeting Nov 10, 2022 07:30 PM

#### Join Zoom Meeting

<https://us02web.zoom.us/j/81331000014?pwd=RFg3YlBNdkJPOXp6SFFMMzMzb1BWQT09>

Meeting ID: 813 3100 0014

Passcode: 117727

#### 1. CALL TO ORDER

- Roll Call
- Post Office Box Check
- Introduction of Guests

#### 2. SECRETARY’S REPORT AND APPROVAL OF OCTOBER MINUTES

#### 3. TREASURER’S REPORT AND APPROVAL OF OCTOBER FINANCIALS

#### 4. PUBLIC INPUT

#### 5. OLD BUSINESS

- Landscaping and Irrigation
- Architectural Forms
- Officer Job Descriptions

#### 6. NEW BUSINESS

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms

#### 7. EXECUTIVE SESSION

**NEXT MONTHLY MEETING: Thursday, December 15, 2022, at 7:30 PM.**

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*

## HAMILTON HOMES–TEMPE HOA

Dec. 15, 2022

Board of Directors Meeting  
THURSDAY, December 15, 2022 • 7:30 PM  
Internet Video Call using Zoom

### AGENDA – REGULAR SESSION

Topic: HHT HOA Monthly Board Meeting Dec 15, 2022 07:30 PM

#### Join Zoom Meeting

<https://us02web.zoom.us/j/82931982143?pwd=cEdxOThoTE1yNTJYUzBtTGdlZmZlZz09>

Meeting ID: 829 3198 2143

Passcode: 750978

#### 1. CALL TO ORDER

- Roll Call
- Introduction of Guests
- Post Office Box Check

#### 2. SECRETARY’S REPORT AND APPROVAL OF NOVEMBER MINUTES

#### 3. TREASURER’S REPORT AND APPROVAL OF NOVEMBER FINANCIALS

#### 4. PUBLIC INPUT

#### 5. OLD BUSINESS

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Agenda Items: Board of Directors \_HOA Yearly Timeline

#### 6. NEW BUSINESS

- Architectural Forms
- Landscaping and Irrigation
- Other

#### 7. EXECUTIVE SESSION

**NEXT MONTHLY MEETING: WEDNESDAY, January 25, 2023, at 7:30 PM.**

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*

## HAMILTON HOMES–TEMPE HOA

Jan. 25, 2023

Board of Directors Meeting  
WEDNESDAY, Jan 25 2023 • 7:30 PM  
Internet Video Call using Zoom

[Join Zoom Meeting](#)

<https://us02web.zoom.us/j/81345557547?pwd=TysvZ3dWZ0U0RlpFYytuV0pvL1FMQT09>

### AGENDA – REGULAR SESSION

#### 1. CALL TO ORDER

- Roll Call
- Introduction of Guests
- Post Office Box Check

#### 2. SECRETARY’S REPORT AND APPROVAL OF DECEMBER MINUTES

#### 3. TREASURER’S REPORT AND APPROVAL OF DECEMBER FINANCIALS

#### 4. PUBLIC INPUT

#### 5. OLD BUSINESS

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Agenda Items: Board of Directors \_HOA Yearly Timeline

#### 6. NEW BUSINESS

- Architectural Forms
- Landscaping and Irrigation

#### 7. EXECUTIVE SESSION

***NEXT MONTHLY MEETING: THURSDAY, February 9, 2023, at 7:30 PM.***

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*

## HAMILTON HOMES–TEMPE HOA

Feb. 23, 2023

Board of Directors Meeting  
WEDNESDAY, Feb 23 2023 • 7:30 PM  
Internet Video Call using Zoom

[Join Zoom Meeting](#)

<https://us02web.zoom.us/j/83151249207?pwd=YWZ4MEZYay9ZU05udEc1VVJJRUFpUT09>

### AGENDA – REGULAR SESSION

#### 1. CALL TO ORDER

- Roll Call
- Introduction of Guests
- Post Office Box Check

#### 2. SECRETARY’S REPORT AND APPROVAL OF JANUARY MINUTES

#### 3. TREASURER’S REPORT AND APPROVAL OF JANUARY FINANCIALS

#### 4. PUBLIC INPUT

#### 5. OLD BUSINESS

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Agenda Items: Board of Directors \_HOA Yearly Timeline

#### 6. NEW BUSINESS


- Architectural Forms
- Landscaping and Irrigation

#### 7. EXECUTIVE SESSION

***NEXT MONTHLY MEETING:*** THURSDAY, March 9, 2023, at 7:30 PM.

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*



March 9, 2023

## HAMILTON HOMES–TEMPE HOA

Board of Directors Meeting  
THURSDAY, March 9, 2023 • 7:30 PM  
Internet Video Call using Zoom

[Hamilton Homes HOA - March Board MEETING LINK](#)

### AGENDA – REGULAR SESSION

#### 1. CALL TO ORDER

- Roll Call
- Introduction of Guests
- Post Office Box Check

#### 2. SECRETARY’S REPORT AND APPROVAL OF FEBRUARY MINUTES

#### 3. TREASURER’S REPORT AND APPROVAL OF FEBRUARY FINANCIALS

#### 4. PUBLIC INPUT

#### 5. OLD BUSINESS

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms
- Agenda Items: Board of Directors \_HOA Yearly Timeline

#### 6. NEW BUSINESS


- Architectural Forms
- Landscaping and Irrigation

#### 7. EXECUTIVE SESSION

***NEXT MONTHLY MEETING:*** THURSDAY, April 13, 2023, at 7:30 PM.

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*



**April 13, 2023**

## **HAMILTON HOMES–TEMPE HOA**

**Board of Directors Meeting  
THURSDAY, April 13, 2023 • 7:30 PM  
Internet Video Call using Zoom**

[\*Hamilton Homes HOA - March Board MEETING LINK\*](#)

### **AGENDA – REGULAR SESSION**

#### **1. CALL TO ORDER**

- Roll Call
- Introduction of Guests
- Post Office Box Check

#### **2. SECRETARY’S REPORT AND APPROVAL OF FEBRUARY MINUTES**

#### **3. TREASURER’S REPORT AND APPROVAL OF FEBRUARY FINANCIALS**

#### **4. PUBLIC INPUT**

#### **5. OLD BUSINESS**

- Landscaping and Irrigation: City of Tempe Landscaping Grant
- Architectural Forms

#### **6. NEW BUSINESS**

- Architectural Forms
- Landscaping and Irrigation

#### **7. EXECUTIVE SESSION**

***NEXT MONTHLY MEETING: THURSDAY, May 11, 2023, at 7:30 PM.***

Zoom format and details will be provided 48 hours in advance.

*NOTE: If the meeting date is changed, Zoom format and details will be provided 48 hours in advance.*



**Thomas, Elizabeth**

---

**From:** Sharon A Hansen [REDACTED]  
**Sent:** Friday, April 21, 2023 2:43 PM  
**To:** Neighborhoods  
**Cc:** [REDACTED]  
**Subject:** Hamilton Homes–Tempe\_FINAL VERSION\_Maryanne Corder Neighborhood Grant Application  
**Attachments:** ALL Hamilton Homes-Tempe ATTACHMENTS\_FINAL.zip; Hamilton Homes\_Grant\_FINAL.pdf

April 21, 2023

Good afternoon.

Please find enclosed Hamilton Homes–Tempe HOA's final, formal application for the Maryanne Corder Neighborhood Grant. Also attached are 17 accompanying documents.

We sought bids from eight established contractors for this multi-year, three-phase project. Three turned us down outright; the other five responded. Of those five, two declined to bid, and three agreed. Of those three remaining contractors, two provided actual bids for the work of Phase One, and one provided a bid to "create a bid" for the work. The three bids we received are attached.

Poco Verde Landscape Company-Tempe would be our chosen contractor. Just so you know, although we have enclosed Poco Verde's sample planting design, this is only a sample. Plant selection and installation will not be thoroughly researched and completed until Phase Two of this project.

We are incredibly grateful to you for your consideration.

Sincerely yours,

Sharon A. Hansen, President  
Board of Directors  
Hamilton Homes–Tempe HOA

← Note: Ordering of pages changed by NS staff

Encl:  
Hamilton Homes–Tempe\_Maryanne Corder Neighborhood Grant Application FY 2023/2024\_FINAL  
Attachment 1\_Letter to Homeowners July 2022  
Attachment 2\_SurveyMonkey Website\_Building Bridges  
Attachment 3\_SurveyMonkey Results\_Building Bridges  
Attachment 4\_Invitation to Survey and GAIN Event\_Sept 2022\_Building Bridges  
Attachment 5\_Block Party Invitation\_Oct 22, 2022  
Attachment 6\_Grant Project Ideas\_Annual Meeting Suggestion Box\_Oct 2022  
Attachment 7\_Walk-About Invitation  
Attachment 8\_Walk-About Photos  
Attachment 9\_Grant and Budget Summary\_2023

Attachment 10\_Combined HHT-HOA Open Meeting Agendas\_July 2022-April 2023  
Attachment 11\_Photos\_Hamilton Homes-Tempe Landscape  
Attachment 12\_BrightView Bid  
Attachment 13\_Poco Verde Bid  
Attachment 14\_Poco Verde SAMPLE Landscape Design for PHASE 2 (not definitive)  
Attachment 15\_Poco Verde Equipment List  
Attachment 16\_Creative Environments Bid  
Attachment 17\_Poco Verde Irrigation Design

*Grant application for 2023 - 2024. This is a fillable PDF. You can fill out online, save and email to [neighborhoods@tempe.gov](mailto:neighborhoods@tempe.gov).  
Questions please call 480-350-8234 or email [neighborhoods@tempe.gov](mailto:neighborhoods@tempe.gov)*